

## KAUA'I HISTORIC PRESERVATION REVIEW COMMISSION

SUSAN REMOALDO, CHAIR  
LEE GATELY, VICE CHAIR

CHUCKY BOY CHOCK, MEMBER  
KATHLEEN KIKUCHI-SAMONTE, MEMBER  
CAROLYN LARSON, MEMBER  
SANDI QUINSAAT, MEMBER  
VICTORIA WICHMAN, MEMBER

Pursuant to Hawai'i Revised Statutes Section 92-3.7, which codified Act 220, SLH 2021, the meetings of the County of Kaua'i Historic Preservation Review Commission will be conducted as follows:

- **The meeting location that will be open to the public is:**

**Līhu'e Civic Center, Moikeha Building  
Meeting Room 2A-2B  
4444 Rice Street, Līhu'e, Kaua'i, Hawai'i**

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- **Written testimony** indicating your 1) name or pseudonym, and if applicable, your position/title and organization you are representing, and 2) the agenda item that you are providing comment on, may be submitted on any agenda item in writing to [planningdepartment@kauai.gov](mailto:planningdepartment@kauai.gov) or mailed to the County of Kaua'i Planning Department, 4444 Rice Street, Suite A473, Līhu'e, Hawai'i 96766. Written testimony received by the Planning Department at least **24 hours prior** to the meeting will be posted as testimony to the Kaua'i Historic Preservation Review Commission's website prior to the meeting (<https://www.kauai.gov/Government/Boards-and-Commissions/Historic-Preservation-Commission>). Any testimony received after this time will be retained as part of the record, but we cannot assure the Commission will receive it with sufficient time for review prior to the meeting.
- **Oral testimony** will be taken on specific agenda items, at the public meeting location indicated on the meeting agenda.
- **IF YOU NEED AN AUXILIARY AID/SERVICE, OTHER ACCOMMODATION DUE TO A DISABILITY, OR AN INTERPRETER FOR NON-ENGLISH SPEAKING PERSONS, PLEASE CONTACT THE OFFICE OF BOARDS & COMMISSIONS AT (808) 241-4917 OR [ADAVIS@KAUAI.GOV](mailto:ADAVIS@KAUAI.GOV) AS SOON AS POSSIBLE. REQUESTS MADE AS EARLY AS POSSIBLE WILL ALLOW ADEQUATE TIME TO FULFILL YOUR REQUEST. UPON REQUEST, THIS NOTICE IS AVAILABLE IN ALTERNATE FORMATS SUCH AS LARGE PRINT, BRAILLE, OR ELECTRONIC COPY.**

OFFICE OF  
THE COUNTY CLERK  
COUNTY OF KAUAI

**KAUA'I HISTORIC PRESERVATION REVIEW COMMISSION MEETING**  
**NOTICE AND AGENDA**

**Thursday, May 16, 2024**  
**1:00 p.m. or shortly thereafter**  
**Līhu'e Civic Center, Moikeha Building**  
**Meeting Room 2A-2B**  
**4444 Rice Street, Līhu'e, Kaua'i, Hawai'i**

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OFFICE OF  
THE COUNTY CLERK  
COUNTY OF KAUAI

- A. CALL TO ORDER
- B. ROLL CALL
- C. APPROVAL OF AGENDA
- D. MINUTES OF THE MEETING(S) OF THE KHPRC
  - 1. March 21, 2024 Meeting Minutes
- E. GENERAL BUSINESS
- F. COMMUNICATIONS
- G. UNFINISHED BUSINESS
- H. NEW BUSINESS
  - 1. **County of Kaua'i**  
**Former Big Save Building**  
**Proposed Conversion and Alteration of the former Big Save grocery store to a Piikoi Youth Center**  
Tax Map Key: (4) 3-6-005:027  
Property Address: 4444 Rice Street Suite #301  
Līhu'e, Hawai'i  
  
Consideration of a zoning permit for the proposed exterior and interior renovations for the proposed conversion of the former Big Save Space to a Youth Center.
    - a. Director's Report pertaining to this matter.

2. **HRT Realty LLC/ Harry & Jeanette Weinberg Foundation Inc. C/O CBRE  
Dr. Kuhn's Former Residence  
Preliminary conceptual plans for the proposed demolition and reconstruction of an existing historic structure**

Tax Map Keys: (4) 3-7-001:033 and (4) 3-7-001:034

Property Address: 4460 and 4480 Ahukini Road

Līhu'e, Hawai'i

Consideration of a zoning permit for the proposed demolition of an existing structure and the proposed reconstruction of a structure to a neighboring adjacent site.

I. **EXECUTIVE SESSION:**

Pursuant to Hawai'i Revised Statutes Sections 92-4 and 92-5(a)(4), the purpose of this executive session is to consult with the County's legal counsel on questions, issues, status and procedural matters. This consultation involves consideration of the powers, duties, privileges, immunities, and/or liabilities of the Commission and the County as they relate to the following matters:

1. **County of Kaua'i**

**Former Big Save Building**

**Proposed Conversion and Alteration of the former Big Save grocery store to a Piikoi Youth Center**

Tax Map Key: (4) 3-6-005:027

Property Address: 4444 Rice Street Suite #301

Līhu'e, Hawai'i

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J. **ANNOUNCEMENTS**

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K. SELECTION OF NEXT MEETING DATE AND AGENDA TOPICS (June 20, 2024)

L. ADJOURNMENT

COUNTY OF KAUA'I  
Minutes of Meeting  
OPEN SESSION

**DRAFT To Be Approved**

Board/Commission:	Kaua'i Historic Preservation Review Commission	Meeting Date	March 21, 2024
Location	Mo'ikeha Meeting Room 2A/2B	Start of Meeting: 1:00 p.m.	End of Meeting: 1:59 p.m.
Present	Chair Susan Remoaldo. Vice Chair Lee Gately. Commissioners: Gerald Ida, Kathleen Kukuchi-Samonte ( <i>in at 1:05 p.m.</i> ), Carolyn Larson, Sandra Quinsaas, and Aubrey Summers. Deputy County Attorney Stephen Hall. Planning Department Staff: Director Ka'aina S. Hull, Planner Marisa Valenciano, Secretary Duke Nakamatsu, and Planner Myles Hiranaka. Office of Boards and Commissions: Boards and Commissions Administrator Ellen Ching and Commission Support Clerk Arleen Kuwamura.		
Excused	Commissioner Victoria Wichman		
Absent			
<b>SUBJECT</b>	<b>DISCUSSION</b>		
<b>A. Call to Order</b>	Chair Remoaldo called the meeting to order at 1:00 p.m.		
<b>B. Roll Call</b>	Planning Director Ka'aina S. Hull verified attendance by roll call: Commissioner Ida replied here. Commissioner Larson replied here. Commissioner Quinsaas replied here. Commissioner Summers replied here. Commissioner Wichman was excused. Vice Chair Gately replied here. Chair Remoaldo replied here.		
<b>C. Approval of the Agenda</b>	Chair Remoaldo requested to amend the agenda to move item E. General Business to the position of H. New Business and move item H. New Business to the position of E. General Business.  Quorum was established with six commissioners present. Vice Chair Gately moved to amend the agenda to move item E. General Business to the position of H. New Business and H. New Business to the position of E. General Business. The motion was seconded by		

**D.I.**

MAY 16 2024

SUBJECT	DISCUSSION	ACTION
<p><b>D. Approval of the Minutes of the Meeting(s) of the KHPRC</b></p>	<p>The Commission had no minutes to approve.</p>	<p>Ms. Larson. Motion carried 6:0.</p>
	<p>There being no objections, item H. New Business was taken pursuant to the amended agenda.</p>	
<p><b>H. New Business</b></p>	<p>1. <u>County of Kaua'i Housing Agency</u>  <u>Uahi Ridge Affordable Rental Housing Project-Phase 2</u>  <u>Tax Map Key: (4) 3-8-005:022:0003</u>  <u>Lihū'e, Hawai'i</u></p> <p><u>National Historic Preservation Act, Section 106: Consultation with Native Hawaiian Organizations and Potential Consulting Parties.</u></p> <p>a. <u>Director's Report pertaining to this matter.</u></p> <p>Director Hull stated that there was no one signed up to testify on this matter and asked if there was anyone present who wanted to testify. There being no one present to testify, the meeting proceeded.</p> <p>Ms. Valenciano explained to the Commission that before them is a Section 106 consultation process which was triggered by the use of Federal funds. She noted that the previous owner of the property received Planning Commission approval of the project back in 2009. The property was going to be used for a 220-unit condominium project. At the time of review, comments were received from SHPD and KHPRC relating mostly to the proposed demolishing of three residential structures that were over fifty years old. Since then, the property was sold to new owners who were present to respond to any comments related to the Section 106 process. Ms. Valenciano further explained that in the Director's Report are comments from the Department on the aerial potential effect (APE) boundary, the identification of historic properties in the APE and</p>	

SUBJECT	DISCUSSION	ACTION
	<p>the surrounding area, and suggestions on potential mitigation commitments to address the effect on the historic property.</p> <p>Ms. Valenciano also provided additional findings which included the following:</p> <ol style="list-style-type: none"> <li>1. She looked at historical area images. There were three dwelling units prior to 2018. Two of those three structures were demolished and currently there exists only one dwelling unit on the subject property.</li> <li>2. The Department went on a site visit with the Housing Agency, and it was confirmed that there is only one existing dwelling unit on the property.</li> <li>3. The existing tented structure which was photographed and included in the Director's Report is situated on top of an existing driveway that was once the location of one of the dwelling units that was demolished. Given that, the Department could account for at least two of the dwelling units having existed. The Department believes that the third dwelling unit could have been on CPR Unit 2 which was a previous application that the Department looked at and reviewed in November of 2023.</li> <li>4. As a part of the Building Permit process and Section 106 process, the Housing Agency and the property owner should work with the State Historic Preservation Division to determine if the existing structure has any historic significance and if there are any follow-up requirements regarding the proposed effect on the historic property, which is the demolition of the structure.</li> </ol> <p><i>Ms. Kikuchi-Samonte was noted as present at 1:05 p.m.</i></p> <p>Given the above findings, the Planning Department recommended that the KHPRC provide comments relating to the Section 106 process, pertaining to the area of potential effect boundary, the identification of historic properties, and the effect that the proposed property would have on this historic property. The County's Housing Agency and developers were present to answer any questions from the KHPRC.</p> <p>Ms. Larson asked if the three units discussed included the Manager's House and the workers' houses. Ms. Valenciano responded that the Lihū'e Plantation Manager's House is on the same lot</p>	

SUBJECT	DISCUSSION	ACTION
	<p>of record, but it is actually CPR Unit 1, which is not a part of the Uahi Ridge Project. In conversations with the Housing Agency, the Manager's House would not be affected by this project.</p> <p>Ms. Larson asked if back when the first project came in for 300+ units, did the KHPRC look at the Manager's House and the workers' houses as a unit. Ms. Valenciano responded that she was unsure, as she was not working for the County at that time. She further stated that in the KHPRC letter that was issued in 2009 in review of that Class IV Zoning Permit, the KHPRC asked if the three residential structures present were associated with the Lihu'e Plantation Manager's House, and in the end, they were unable to make that determination. The KHPRC looked to SHPD to look into that further to see if any additional was available. The KHPRC did know that those structures may have been associated, but they were not quite sure. Ms. Valenciano confirmed for Ms. Larson that discussion centered around three residential structures and whether those three residential structures were associated with the Lihu'e Plantation Manager's House or not, and if those structures were historically significant. In the end, it appears that the KHPRC had hoped that SHPD would comment on that situation.</p> <p>Ms. Larson stated that she called a contact who lived in one of those structures to inquire with them about the association between all of the structures noted in the reports and the Manager's House to see if they have an answer to that question.</p> <p>The Commission heard from Adam P. Roversi, Housing Director for the County of Kaua'i. Mr. Roversi stated that the County's Housing Agency is technically not the applicant, as they only have a delegated authority from the U.S. Department of Housing and Urban Development (HUD). Mr. Roversi stated that the Housing Agency considers this 100+ affordable housing development project in the Lihu'e Town Core area critically important for the community. Mr. Roversi stressed the importance of moving projects like this along the approval process to get much needed affordable housing to the people.</p> <p>The Commission heard from Alicia Ruelke, Developer's Representative from Ikenakea Development, LLC who was present to answer questions from the Commission.</p>	



SUBJECT	DISCUSSION	ACTION
	<p><i>Patti Tancayo, Ikenakea Development, LLC was also present, but did not speak.</i></p> <p>Ms. Larson asked Ms. Ruelke what plans the developer has to protect the historic resources on the subject property. Ms. Ruelke noted that the Manager's House is on CPR Unit 1 and the developer does not have site control over that property. The developer has no plans for the Manager's House. The developer will be updating the road, so access to that area may be affected in terms of making the road more usable and bringing more people in to see the subject property.</p> <p>Ms. Larson clarified that Ms. Ruelke is the County's developer's representative. Mr. Roversi responded that this project is not formally the County's housing development project, it falls under a private developer. The County is supportive of the project and has provided a small amount of financing for it. The County's Housing Agency has no ownership in this project but is supportive of it to assist in helping to seek State funding, which the developer was successful in obtaining. As noted earlier, the County's Housing Agency provided a very small loan to help finance the project. The County has no ownership in the property or in the future development to be built.</p> <p>Planning Director Hull stated that when the project was approved approximately one decade ago, it went through the KHPRC process, the Planning Commission took those comments for what they were, and acted and approved the zoning permits. The developer at that time may have been planning to use Federal tax funds and tax credits. This developer is using Federal tax funds and tax credits. This initiates the Section 106 process and has to come before the KHPRC to get comments as a part of receiving Federal funding. This Section 106 process is being re-started from one that had been done previously. The Planning Commission and Planning Department generally intends to take the recommendations of the KHPRC for its various statutory permit responsibilities and fold in any requirements into those respective zoning permits. That type of leverage situation is not experienced in this specific request because the zoning permits for this project have already been issued. There is no authority offered to re-open the zoning permit process. Any comments provided by the KHPRC essentially are advisory to the applicant pursuant to the Section 106 process.</p>	

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	<p>Vice Chair Gately asked if given that there is a historic home nearby, if the developer intends to follow a specific style of design for these buildings that are friendly to that. Ms. Ruelke stated that they are using the same architect that was used for Phase 1 of the project so will be similar to that in style. The project is three stories, eight-plexus. The style is what would be considered "plantation style." A comparative project would be the Koa'e Housing Project which is located between Koloa and Po'ipu.</p> <p>Chair Remoaldo stated that Koamalu is a place name long associated with the area of the project. She asked if the metes and bounds of the designated project area the same as the original Koamalu. She stated that historical descriptions going back to the middle of the 19<sup>th</sup> Century talk about and note that kukui tree and Koa tree plantings. Chair Remoaldo wondered if any of those descendants of those trees still exist on the property. Ms. Ruelke stated that she was unsure of the status of the trees on the property, but that the developer did do an archaeological literary review and can provide the Commission with any information that may be contained therein. Chair Remoaldo stated that Koamalu could be literally translated to mean the shade of the Koa trees and that is why she is inquiring. She reminded everyone that in previous discussions during Phase 1, the Commission was hoping that the developer would commit to saving at least one of the large trees in Phase 1 and hopefully the trees would be taken into consideration when planning development in Phase 2.</p> <p>Chair Romoaldo indicated the Phase 2 is a heavily vegetated area and asked the developer about the topography of the area and plans related to that. Ms. Ruelke stated that three out of the five buildings will be slab on grade. The two other buildings are going to be post and beam because of the topography. The east side of the parcel slopes down very low so the developer cannot build that far down. Ms. Ruelke apologized for not including the Conceptual Site Plan for the project but stated that the Conceptual Site Plan shows that most of the work will be done on the west side of the property because of the difficulty of building on the sloped side.</p> <p>Chair Remoaldo asked approximately how much of the property would be cleared and whether any of the existing vegetation would be retained. Ms. Ruelke responded that a final grading plan is not yet available for Phase 2 and that there is currently only a conceptual design. She further noted that when a final plan is completed, it will be submitted to SHPD to review.</p>	

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	<p>Chair Remoaldo stated that one of the comments that the Commission made when discussing Phase 1 was to move the historic resources together and to restore/interpret the site as part of a long-term plan. She wondered about the existing residence and that it was going to be demolished and whether any consideration was made to preserve the particular building and using it to interpret the site. Ms. Ruelke responded that during initial discussions about relocating the single-family home was to move it to CPR 1 if Aloha Church, the owners of the property, wanted it. Ms. Ruelke believes that Aloha Church was not interested in taking the building. The County's Housing Agency did discuss with the developer the possibility of having an outside party take the home and move it elsewhere for preservation or restoration purposes. Chair Remoaldo asked Ms. Ruelke to confirm that demolition was not the final decision on that structure. Ms. Ruelke acknowledged that the status is being discussed and that if someone on-island could use the structure, they would be in favor of that and support that ideal use.</p> <p>Mr. Ida asked about the requirements or restrictions put on this property by SHPD. Ms. Ruelke responded that as far as requirements go, the developer did need to do the Hawai'i Revised Statutes 6E review, along with the Section 106 process with SHPD for permit review purposes. Those processes are currently in review for Phase 1. For Phase 2 the developer initiated the Section 106 with SHPD. There have been no comments returned from SHPD yet. There will also be an additional 6E review for Phase 2 as well. Ms. Ruelke noted that SHPD will take a look at the single-family home as well and let the developer know what they will have to do with that, though no comments have been received just yet.</p> <p>Ms. Larson asked the developer whether as part of the Section 106, if they contacted the Grove Farm Homestead regarding the remaining structure. Ms. Ruelke acknowledged that Grove Farm Homestead might have been a part of the consultation list of NHOs or special interest groups. Ms. Ruelke stated that they had only received one response, but that she does not believe it was the Grove Farm group that responded. Ms. Ruelke stated that she would provide the Commission with the list of those that were contacted. Ms. Larson clarified that she was thinking that Grove Farm has a Manager's House and an Owner's House and that this structure and the Manager's House may have gone together. Chair Remoaldo stated that the structure in question was the Lihū'e Plantation Manager's House and not Grove Farm. However, Chair Remoaldo stated that</p>	

SUBJECT	DISCUSSION	ACTION
	<p>it was someone staying at Grove Farm who wrote about Koamalu, so it is possible that they have more information on this area.</p> <p>Ms. Larson asked whether Koamalu leads into Grove Farm. Chair Remoaldo concurred that the discussion is approximately from the same era, but the specific relationship to each other is uncertain. Ms. Larson indicated that her line of questioning was due to her wondering whether Grove Farm had any interest in wanting to preserve this last remaining structure. Ms. Larson noted that the era being discussed and that area are very important to the history of Kaua'i. Ms. Larson feels that this developer may have the perfect opportunity to do something at that site to preserve an important piece of Kaua'i's history, such as replanting some of the groves, returning Koamalu to a place it was known because of the shade of the Koa trees, and preserving memories of the people and those who lived in those houses.</p> <p>Ms. Kikuchi-Samonte asked whether any response was received from descendants of people who lived there. Ms. Ruelke stated that they did not receive any response from any descendants. Ms. Kikuchi-Samonte asked if contact was made with any living relatives. Ms. Ruelke stated that she would have to check on that as she does not remember seeing any individual names on the contact list, as most were associated with specific groups. Ms. Kikuchi-Samonte stated that she provided the letter to a co-worker who is a descendant of the Isenberg family. Ms. Kikuchi-Samonte recommended to the developer that perhaps they could consider putting an advertisement in the local newspaper to provide notice and to provide the community the opportunity to provide feedback, especially for those who may no longer reside in the Lihue area. Ms. Ruelke stated that they did not do any notice in the newspaper and that she appreciates the feedback on other ways to reach out to descendants.</p> <p>Chair Remoaldo asked whether the Commission would consider a motion to gather comments and include them in a letter to the appropriate people and offices.</p> <p>Mr. Gately stated that he interpreted the letter provided in the agenda packet that the various consultations with Native Hawaiian Organizations (NHO) and Potential Consulting Parties had been completed and wanted to note that on the record.</p>	

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	<p>Ms. Larson recapped the discussion and provided the following summary of the Commission's discussion:</p> <ul style="list-style-type: none"> <li>• The developer is asked to do what can be done to not demolish the remaining residence that remains.</li> <li>• The developer is asked to preserve or restore the groves that tie to the place name of that area.</li> <li>• The developer is asked to continue contact to people who have ties to the area, may have lived on the property, etc.</li> </ul> <p>Ms. Quinsaat stated that as an NHO, she did receive a consultation letter so she can validate that those letters did go out as required. She further inquired as to whether the developer put together a Ka Pa'akai analysis and felt that responses to that process were still outstanding. As such Ms. Quinsaat expressed her interest in receiving those responses.</p> <p>Chair Remoaldo asked for clarification as to who the letter would be sent to. Director Hull indicated that the letter from the KHPRC would be sent to the applicant. Chair Remoaldo then asked if the letter would be shared with anyone else. Ms. Valenciano stated that the consultation process is still open and the KHPRC is one body providing comments, but that there could be other could providing comments as well. Once that period closes, all of those comments get collected, the agency is responsible for cataloging and recording it, and then it gets transmitted to SHPD as a part of their record. Whether more groups or individuals need to be contacted, that would fall under the responsibility of the applicant or agency.</p> <p>Mr. Roversi stated that the consultation process is still on-going. Comments from the Section 106 process or from SHPD have not yet been received. The KHPRC is just one entity amongst many and all the comments will be compiled and looked at upon receipt.</p>	<p>Ms. Larson moved that the Commission consolidate comments in a letter to include requests to the developer that:</p> <ol style="list-style-type: none"> <li>1. Other entities be notified regarding the plans for the property,</li> <li>2. The existing residence not be demolished,</li> <li>3. The preservation or restoration of Koa and kukui trees be considered as a part of the plan,</li> </ol>

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<p><b>E. General Business</b></p>	<p>There being no objections, item E. General Business was taken pursuant to the amended agenda.</p> <p><b>1. Briefing on introduction to reading architectural plans.</b></p> <p>Director Hull asked if there were any members of the public wishing to testify on this agenda item. There were no members of the public present to testify on this item.</p> <p>Ms. Valenciano stated that approximately one year ago, the Department started a miniseries that never really continued. The miniseries started with Mr. Ida sharing a little about his world of archaeology. With Commissioners terming out soon, the Department wanted to get the miniseries back on track by focusing on architecture as a lot of the projects reviewed at the KHPRC deal with architecture and archaeology, and sometimes even both. Ms. Valenciano asked Ms. Summers to share more about architecture and in particular, reading architectural plans. Ms. Valenciano encouraged the KHPRC to ask questions and interact with Ms. Summers during this miniseries briefing.</p> <p>Ms. Summers stated that she tried to craft her presentation to give an overall look at the drawings that are received during the KHPRC review process and how they are organized. Ms. Summers presented the following:</p> <ul style="list-style-type: none"> <li>• The drawings that are received usually start with a high-level overview and get more granular as you get further into the plans. You will typically notice that the plans start with an island wide view and then get into the fine details of the project.</li> </ul>	<p>and 4. The applicant considers interpretation of the history of the site, and that the Commission sends said letter to the appropriate people and offices related to this agenda item. The motion was seconded by Ms. Summers. Motion carried 7:0</p>

SUBJECT	DISCUSSION	ACTION
	<ul style="list-style-type: none"> <li>• Drawings usually include a title sheet, civil plans, landscape, and then architectural and other divisions that are typical in a set of plans.</li> <li>• During review, some sections such as structural details or plumbing may not be seen by the architectural team.</li> <li>• Used the Episcopal Church in Kapa'a as an example as it was a set of plans looked at by the KHPRC.</li> <li>• Looking at the key and notes is important to see how drawings are referenced or created.</li> <li>• In the architectural world, looking at the slices through the buildings is what the architects are looking for and that is why 3-D graphics are provided.</li> <li>• Line types are very important in architectural drawings. Variations in line types are used. For example, a property line is a "dot dot dash," the hidden line or a continuous dashed line can be used for the overhang of an eave, etc. Lines can be used for hidden items or to identify the foundation of footings.</li> <li>• Symbols are fairly typical in nature and used consistently.</li> <li>• The elevations provided are relatively flat in view and are referenced by direction.</li> <li>• Thicker lines can be used to identify things outside. Thinner lines can be used to identify indoor features.</li> <li>• The last page of plans shows the most detail and look at the very granular portion of the drawing set. These areas are typically sliced through to show various parts of buildings to give a sense to how those relationships to the different parts of the building work together.</li> </ul> <p>Mr. Gately asked if Ms. Summers continues to see any hand-drawn documents or whether everything is now digital. Ms. Summers stated that plans are typically digital as they need to be submitted that way. Director Hull stated that the County requires plans to be filed digitally, but that there are a handful of draftsmen out there who are doing hand sketches. Those draftsmen would need to then scan those plan sets for upload into the electronic plan review system. Ms. Summers stated that she felt the hand-drawn plan sets are actually easier to read than the computer-generated.</p>	

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	<p>Mr. Gately asked whether the Planning Department receives any CAD files as opposed to PDF files. Director Hull stated that all files are PDFs.</p> <p>Director Hull further added that previous employees of the Planning Department could identify plan set drafters by their specific lines as there is definitely an art to drafting plans.</p> <p>Director Hull clarified that the KHPRC may not necessarily see a complete set of plans but may see different parts of it depending on what stage of the project it is at. Generally, at the Planning Commission level, the Department generally advises the applicant not to do full construction plans given that the Planning Commission may request changes and that would mean the applicant would have to redraw an entirely new set of plans. Director Hull stated that what the Planning Commission may typically see are site plans, plot plans, elevation plans, and some floor plans, as these comprise the envelope of the building. For over-the-counter permits, the submittals are mixed.</p> <p>Ms. Larson stated that she felt it would be very difficult for the staff Planner to handle as submittals differ and what the KHPRC members request may be different depending on who is serving at the time and what their specific interests are. Ms. Valenciano confirmed that she requests specific plan information based on the project and requested information needed to present to the KHPRC. The Department works very closely with the applicant and does request additional plan information if necessary and needed. The level of detail also depends on who might be presenting, such as the County's Engineering Division showing very detailed plan sets of roads, bridges, or other historic structures to the KHPRC. What Ms. Valenciano wanted to get out of this presentation is for the KHPRC to see what staff might be thinking when receiving information prior to presenting it to the KHPRC, including:</p> <ul style="list-style-type: none"> <li>• What are we looking at?</li> <li>• What are they saying they are doing?</li> <li>• Is what they are saying in writing matching what is shown in the plans?</li> <li>• Are there any discrepancies?</li> </ul>	



SUBJECT	DISCUSSION	ACTION
	<p>Ms. Summers pointed out that “E” stands for electrical, and “S” stands for structural engineering. “C” stands for civil engineering. “MPE” stands for mechanical, plumbing, and electrical.</p> <p>Mr. Gately expressed his curiosity as to whether the old paper plans get digitized and preserved. Director Hull stated that from 1972 until 2017, the plans were stored in a box. In 2017, the Department started digitizing all of the paper that came in. The Department has roughly six million pieces of paper currently stored which reflect the built environment of the island. Director Hull mentioned that the Department is asking the Council for \$1.2 million to digitize all of the plans and other documents of the Department. Through the digitization of these plans, staff will have easier access via the computer network at the touch of a button. Prior to 1972, there really was no permitting process or requirement for the County to request plans.</p> <p>Mr. Gately stated that he worked on a scanning project for the Kaua'i Historical Society and that it is a laborious process. Director Hull concurred and identified for the KHPRC the various sizes of paper, types of paper, types of plans, etc. to further expand upon the difficulties in digitization.</p> <p>Ms. Larson asked how the Department handles matching up the list of historic sites with the plans of those structures. In other words, how does the Department match up the plans of a historic structure with the structure itself. She asked whether the Department knows which historic structures the Department has plans for and which they do not. Director Hull responded that in theory, the Department should be able to. The Department is currently using GIS and associated systems to flag specific properties that are historic in nature or on the historic list once any application is submitted related to those properties. Once the historic flag is triggered, those projects are automatically transmitted to Ms. Valenciano for further review. The Department's list is limited to projects that were vetted by the Planning Department and not necessarily all projects on the island, as some 6E projects may not be on the list due to reviews by other agencies.</p> <p>Ms. Larson asked if there was a way to create a comprehensive list of all properties, including those not included on the Department's list. Director Hull stated that with the resources in-place now, an analysis could be done on the properties that are on the list and what plans may be needed to complete the inventory of plans. Director Hull expressed angst at taking it further and</p>	

SUBJECT	DISCUSSION	ACTION
	<p>tracking down plan sets that are not in inventory or evaluating the list to see which properties may be missing as that would be time intensive and be a strain on the Department's current human and financial resources. Ms. Larson asked whether plans could be obtained for properties currently on the State or National Register. Director Hull stated that the Department could look at that list but anticipates finding that many of the structures or properties on the State or National Register are structures constructed before plan sets were required by the County. Ms. Larson stated that if any modifications were ever made, that as-built plans may be available. Director Hull agreed that Ms. Larson is correct. Ms. Larson indicated that it would be nice to know how many of those structures or properties the County does have plan sets for. Director Hull committed to discussing this matter further with his staff.</p> <p>Ms. Larson expressed interest in possible consolidating plans that Mr. Gately scanned at the Kaua'i Historical Society with the Planning Department's plans. Mr. Gately confirmed that his plan sets were just plantation materials from Kekaha and Lihue.</p> <p>Chair Remoaldo stated that she would be appreciative if Ms. Summers could provide a glossary of all the terminology, symbols, etc. used on plan sets. Ms. Summers responded that there is a guidebook that provides that information. Ms. Larson stated that the book is available at the Lihue Library.</p>	
<b>F. Communications</b>	<p>There being no objections, item F. Communications was taken out of order.</p> <p>There were no Communications on the Commission's agenda.</p>	
<b>G. Unfinished Business</b>	<p>There was no Unfinished Business on the Commission's agenda.</p>	
<b>I. Executive Session</b>	<p>There being no objections, item I. Executive Session was taken out of order.</p> <p>The Commission had no items for Executive Session.</p>	
<b>J. Announcements</b>	<p>There were no announcements.</p>	
<b>K. Selection of</b>	<p>Ms. Valenciano stated that April 18, 2024, is the next date for a scheduled meeting. The</p>	

SUBJECT	DISCUSSION		ACTION
<b>Next Meeting Date and Agenda Topics</b>	Department is still in the process of finalizing agenda items.		
<b>K. Adjournment</b>	Chair Remoaldo expressed the Commission's appreciation for Mr. Ida's and Ms. Summers' service on the KHPRC, and for their leadership.	Mr. Ida moved to adjourn the meeting. Ms. Summers seconded the motion. Motion carried 7:0.	Chair Remoaldo adjourned the meeting at 1:59 p.m.

Submitted by: Arleen Kuwamura, Commission Support Clerk      Reviewed and Approved by: Susan Remoaldo, Chair

- Approved as circulated.
- Approved with amendments. See minutes of \_\_\_\_\_ meeting.

**SITE INFORMATION:**

- 4444 Rice Street:
  - TMK: 3-6-005:027
    - Parcel Size: 1.54 Acres = 66,947 SF
  - County Zoning: CG – GENERAL COMMERCIAL

**PROJECT DESCRIPTION:**

The workscope design objective is to develop approximately 20,000 SF of existing former supermarket space with solid CMU perimeter walls into usable / leasable space. Current design objective is to repair damaged building systems and to prepare “white box” space for future tenant improvements.

The County of Kauai’s future tenant improvement goals for usage of the space are currently as follows:

- Renovate space to a “usable” condition (main goal), leasable office type setting, dividing the space into 4-5 usable tenant spaces as follows:
- Childcare, Early Childhood education and Senior Care Space.
- KPAL - Kauai Police Activities League space.

**GENERAL DESIGN CONCEPTS:**

Design Concept features for the space include as follows:

- Improve approximately 136’ x 150’ = ~20,000 SF space as “White Box” (or “Vanilla Shell”), plus the ~6,000 SF existing mezzanine area inclusive of as follows:
  - 4-6 Future Tenant Spaces per **CLIENT** direction.
  - Main entry from the east side parking lot facing the Lihue Civic Center Building.
  - Demising wall layout delineating Tenant Spaces.
  - Common elements off of the main Entry corridor to the Courtyard Atrium include men’s and women’s restrooms, a janitor’s closet, storage room and an ADA accessible lift to the mezzanine level.
  - For the current phase of the work, the finishes are minimal and general as the fine finishing will happen later when the TI Buildout phase happens.
  - We’re considering an exposed ceiling industrial type look, as part of the “white box” finish of the space, to allow for future flexibility and to potentially inspire future users of the space.
  - Finish drywall installation where required to complete the integrity of fire separation walls within the space.
- One of the challenges with the existing space, formerly a supermarket, is to bring in natural light to the space, currently solid masonry walls running most of the building perimeter. As a solution to this design problem, we propose to open up the exterior structural walls where feasible and install a hurricane resistant and energy efficient aluminum frame storefront window system as shown in the current design plans.

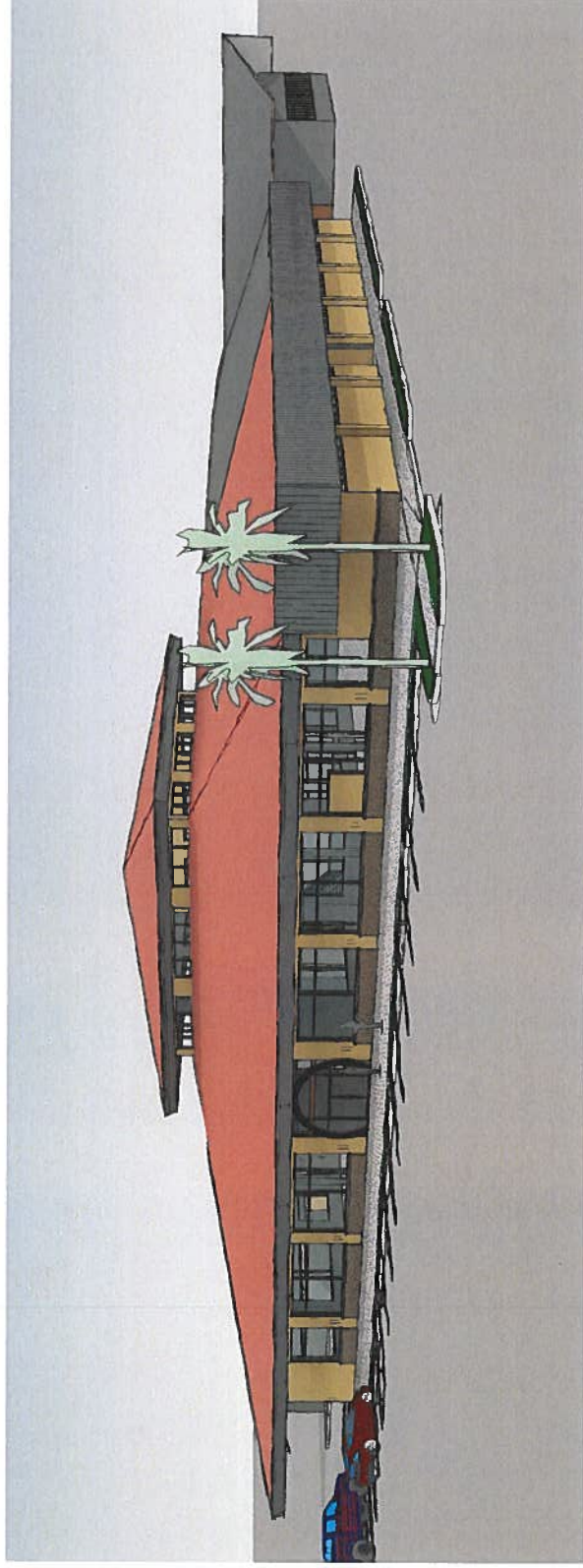
- At the roof, we propose to remove a portion of the existing flat roof well, approximately 45' square (~ 2,000 SF) above the space and design a new "pop-up" clerestory roof, similar to what happens at the Piikoi lobby adjacent to the space. This roof system is designed to let in natural light and possibly natural air flow and ventilation.
  - We may seal the clerestory space up from natural ventilation and mechanically vent and cool the space to meet programmatic requirements.
  - Below this newly designed clerestory is a common interior "Courtyard Atrium" space with access to the tenant spaces through additional interior storefronts, allowing more light to penetrate deeper into the spaces.
- Once this phase of the project is complete, there will be a new roof, working power and air conditioning, and spaces demised for future TI Buildout.

**OPTIONAL DESIGN EXPLORATION:**

We did consider an alternative conceptual design to the project in which the footprint stayed essentially the same, but rather than go up with the new clerestory roof, we opened up the roof and left it open to the sky, which effectively turns the Interior Atrium Courtyard into an Open Air Exterior Courtyard. We ultimately decided against going this route due to solving drainage issues with the scheme and issues with security and control.

**BUILDING SYSTEMS REPAIR WORK:**

- Electrical upgrades will include new panels and general lighting power and data stubs for future Tenant Improvement buildout.
- Mechanical upgrades include new Air Conditioning and Fire Sprinkler Systems as required, along with Water and Waste stubs for future Tenant Improvement buildout.
- Partial Reroof:
  - Given extensive roof tile damage and leaking at the Fire Department offices and elsewhere, we are including a tile reroof at portions of the site, and going with a true clay roofing tile in lieu of the composite tile product that is failing on the existing roof.

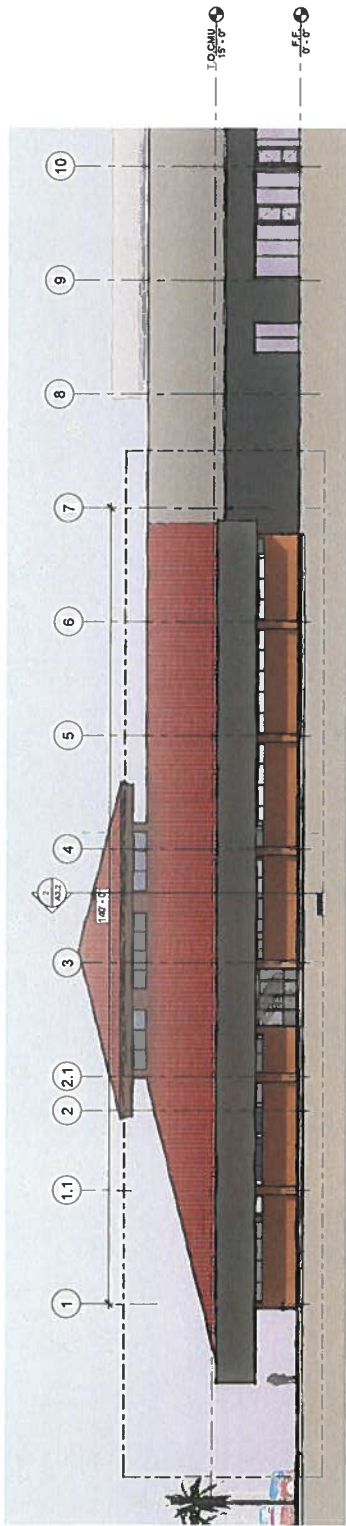


1 BUILDING MODEL

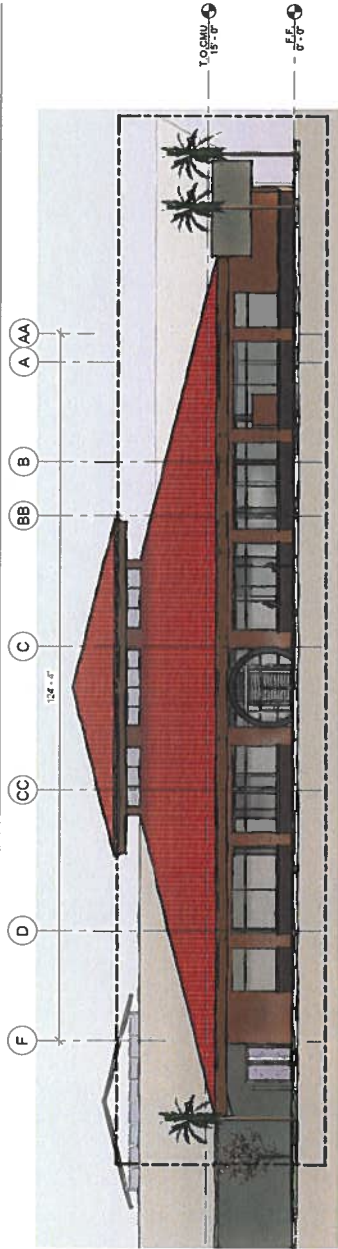
## A4.2

### BUILDING MODEL

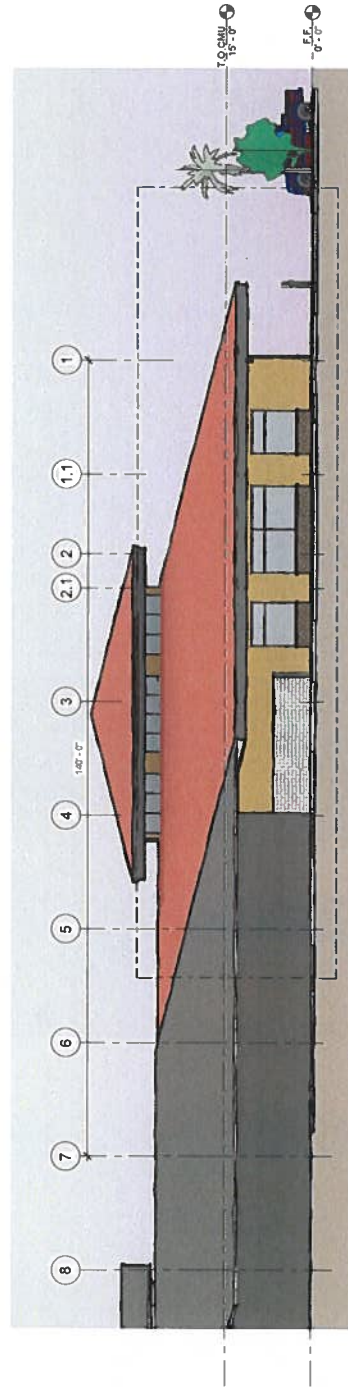
PIIKOI BUILDING - 4444 Rice St # 301 - Lihue, HI - TMK(4) 3-6-005: 006



① NORTH  
1" = 10'-0"



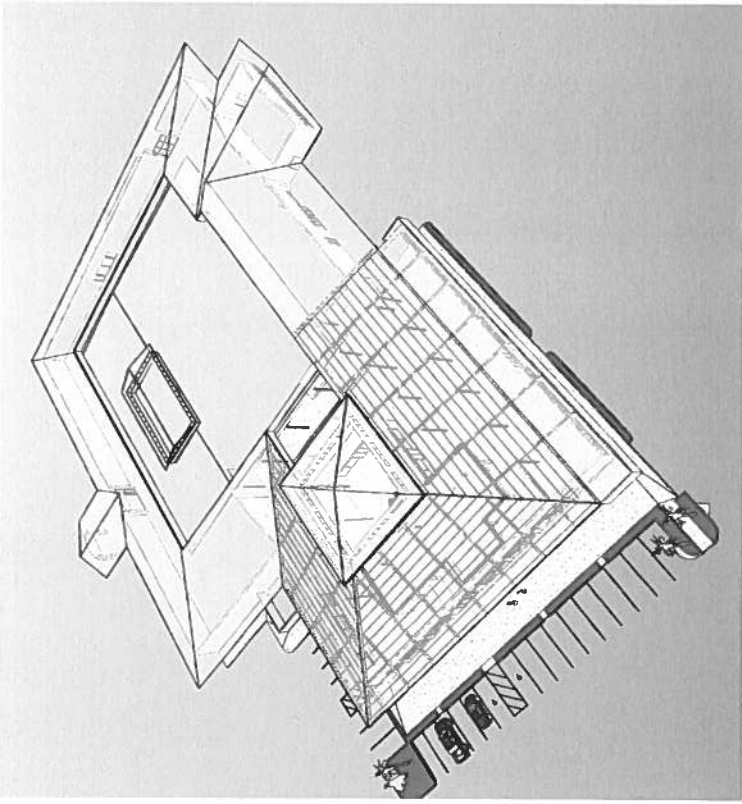
② EAST  
1" = 10'-0"



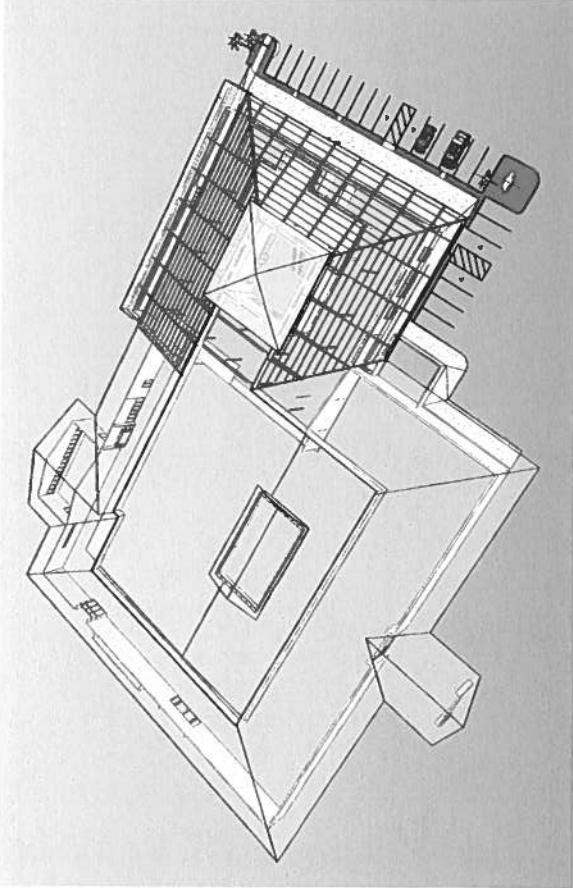
③ SOUTH  
1" = 10'-0"

# A2.1

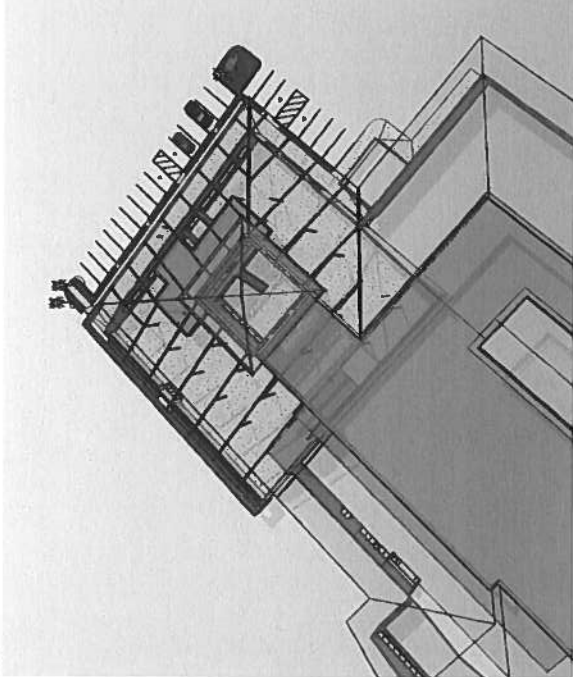
## EXTERIOR ELEVATIONS



1 NORTH EAST MODEL



2 SOUTH EAST MODEL

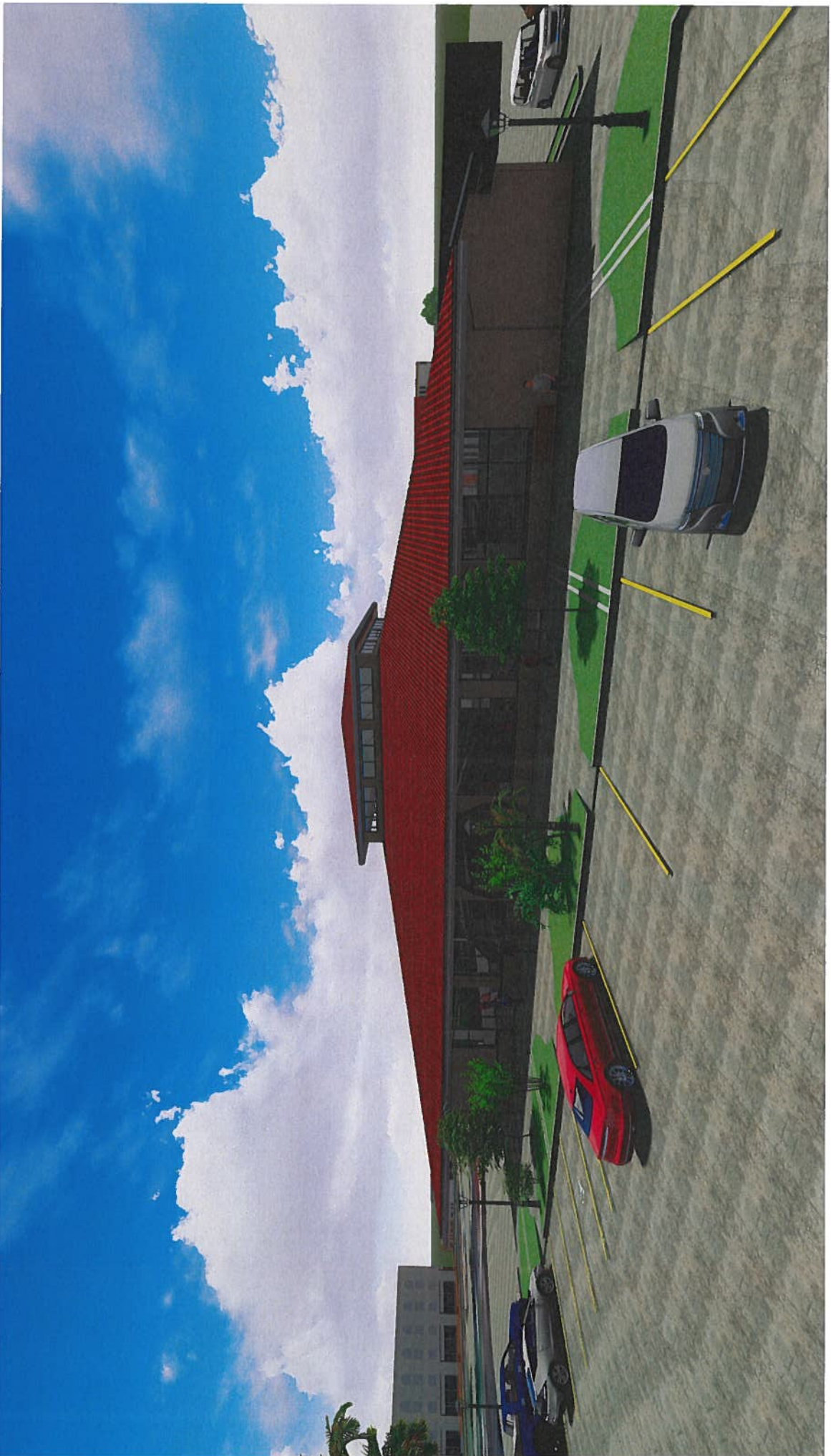


3 BIRD'S EYE VIEW

# A4.1 BLDG MODEL

PIIKOI BUILDING - 4444 Rice St # 301 - Lihue, HI - TMK(4) 3-6-005: 006







# PIIKOI YOUTH CENTER

4444 RICE ST# 301 - LIHUE, KAUAI, HAWAII

TMK(4) 3-6-005: 006

## DRAWING INDEX

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A1.1	OVERALL BUILDING SECOND FLOOR PLAN
A1.2	EXISTING FLOOR PLAN - DEMO
A1.3	FLOOR PLAN - REVISED
A1.4	FLOOR PLAN - REVISED
A1.5	FLOOR PLAN - REVISED
A1.6	FLOOR PLAN - REVISED
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M202	AIR CONDITIONING FLOOR PLAN
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## BLDG & ZONING DATA

TMK	(4) 3-6-005-006
SITE AREA	6.57 ACRE/LESS 400 SF FOR EASEMENT/IB
ASSUMED CONSTRUCTION TYPE	FULLY SPRINKLERED
ZONING	GENERAL COMMERCIAL
OCCUPANCY TYPE	TYPE BUSINESS PROTECTED
OWNER	TYPE: EDUCATIONAL (FUTURE)
COUNTY OF KAUAI	COUNTY OF KAUAI
234 STALLS	234 STALLS
190 STALLS	190 STALLS
TOTAL	453 STALLS
EXISTING LOCAL REGULATIONS	(INCLUDES PLACES NOT IN CONTRACT)
EXISTING LOCAL REGULATIONS	3,464 SF
EXISTING BUILDING ALTERATION AREA	20,077 SF
FLOOD ZONE	XAN UNWASHED FRM MAP 201 (C) MARCH 4, 1987
MAX. LOT COVERAGE	90%
SETBACK REQUIREMENTS	SIDE AND REAR: 6 FEET
OVER 2 OR 1/2 HEIGHT TALLER BLDG.	OVER 2 OR 1/2 HEIGHT TALLER BLDG.
STREET SETBACK	15 FT. FOR ENTRY BY AUTOMOBILES
HEIGHT REQUIREMENTS	50 FT. MAX.



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## PROJECT TEAM

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<b>MECHANICAL ENGINEER</b>	Email: amold@preposeeng.com

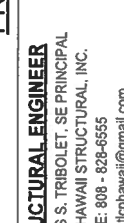
## ENERGY CODE

COMPLIANCE METHOD	2015 IECC as amended, International Energy Conservation Code (IECC)
2015 IECC as amended, International Energy Conservation Code (IECC)	International Energy Conservation Code (IECC)
2015 IECC as amended, International Energy Conservation Code (IECC)	International Energy Conservation Code (IECC)
2015 IECC as amended, International Energy Conservation Code (IECC)	International Energy Conservation Code (IECC)

## APPROVALS

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NFPA STANDARD 90A	NFPA STANDARD 90A
NFPA STANDARD 92A	NFPA STANDARD 92A
NFPA STANDARD 96	NFPA STANDARD 96
KAUAI COUNTY CODE (CCO)	AMERICANS WITH DISABILITIES ACT - 2010 STANDARDS
LIFE SAFETY CODE	LIFE SAFETY CODE

## ISLAND MAP



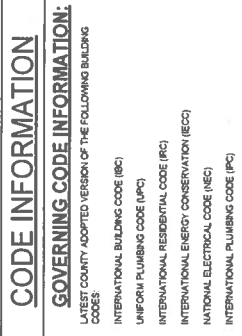
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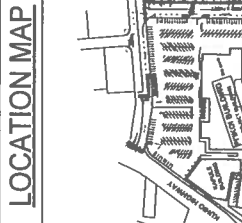
## LOCATION MAP



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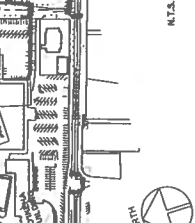
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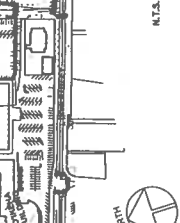
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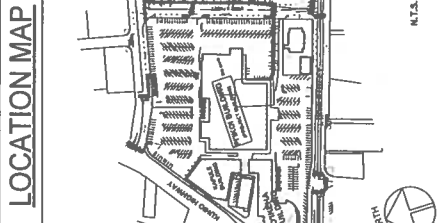
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NFPA STANDARD 96	NFPA STANDARD 96
KAUAI COUNTY CODE (CCO)	AMERICANS WITH DISABILITIES ACT - 2010 STANDARDS
LIFE SAFETY CODE	LIFE SAFETY CODE

<b>MECHANICAL ENGINEER</b>	<b>ARNALDO PREPOSE</b>
<b>MECHANICAL ENGINEER</b>	PREPOSE ENGINEERING SYSTEMS
<b>MECHANICAL ENGINEER</b>	Email: amold@preposeeng.com

<b>STRUCTURAL ENGINEER</b>	<b>JAMES S. TRIBOLET, SE PRINCIPAL</b>
<b>STRUCTURAL ENGINEER</b>	TLCP HAWAII STRUCTURAL, INC.
<b>STRUCTURAL ENGINEER</b>	PHONE: 808 - 828-6555
<b>STRUCTURAL ENGINEER</b>	Email: tjphawaii@gmail.com



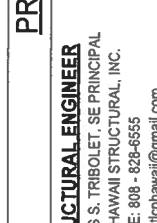
<b>PROJECT ARCHITECT</b>	<b>MARC VENTURA, AIA, LLC</b>
<b>PROJECT ARCHITECT</b>	MARC VENTURA, AIA, LLC
<b>PROJECT ARCHITECT</b>	4202 RICE STREET
<b>PROJECT ARCHITECT</b>	LIHUE, KAUAI, HI 96766
<b>PROJECT ARCHITECT</b>	PH: 808-246-3936
<b>PROJECT ARCHITECT</b>	Email: marc@mrcventura.com

<b>ISLAND MAP</b>	<b>LOCATION MAP</b>
<b>ISLAND MAP</b>	<b>LOCATION MAP</b>
<b>ISLAND MAP</b>	<b>LOCATION MAP</b>

COMPLIANCE METHOD	2015 IECC as amended, International Energy Conservation Code (IECC)
2015 IECC as amended, International Energy Conservation Code (IECC)	International Energy Conservation Code (IECC)
2015 IECC as amended, International Energy Conservation Code (IECC)	International Energy Conservation Code (IECC)
2015 IECC as amended, International Energy Conservation Code (IECC)	International Energy Conservation Code (IECC)

<b>GOVERNING CODE INFORMATION:</b>	LATEST COUNTY ADOPTED VERSION OF THE FOLLOWING BUILDING CODES:
INTERNATIONAL BUILDING CODE (IBC)	INTERNATIONAL RESIDENTIAL CODE (IRC)
INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	INTERNATIONAL PLUMBING CODE (IPC)
INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMC)	INTERNATIONAL FIRE CODE/LOCAL AMENDMENTS
NFPA STANDARD 13	NFPA STANDARD 54
NFPA STANDARD 90A	NFPA STANDARD 90A
NFPA STANDARD 92A	NFPA STANDARD 92A
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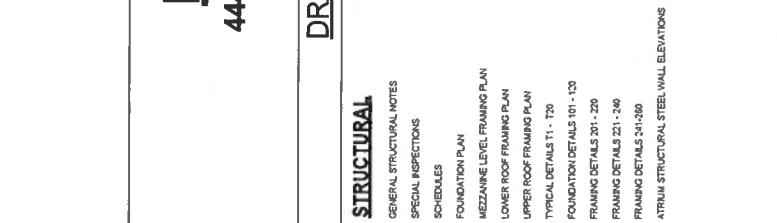
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<b>MECHANICAL ENGINEER</b>	PREPOSE ENGINEERING SYSTEMS
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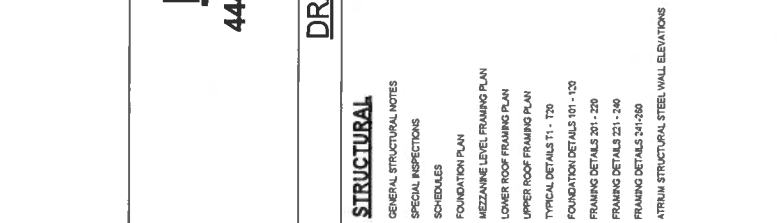
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<b>MECHANICAL ENGINEER</b>	PREPOSE ENGINEERING SYSTEMS
<b>MECHANICAL ENGINEER</b>	Email: amold@preposeeng.com

# PROJECT GENERAL NOTES

- CODE COMPLIANCE**  
THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND REQUIRED APPROVALS BY ALL GOVERNING BODIES. ANY APPLICABLE CODES AND FOR OBTAINING ALL PERMITS AND REQUIRED APPROVALS BY ALL GOVERNING BODIES. ANY INFORMATION CONTAINED WITHIN THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT MEET ALL CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CODE REQUIREMENTS AND MEETING ALL CODE REQUIREMENTS.
- SCOPE OF WORK**  
THE SET OF DRAWINGS CONTAINED WITHIN CONSTITUTES A BUILDER'S SET SCOPE OF WORK WITH LIMITED ARCHITECTURAL SERVICES AS APPROVED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROJECT COORDINATION, FINISHES AND DETAILING TO COMPLETE THE PROJECT PER INDUSTRY STANDARDS.
- FIELD VISITS TO THE PROJECT**  
ALL CONDITIONS AND DIMENSIONS TO BE FULLY VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE COMMENCING ANY NEW WORK OR ORDERING ANY MATERIALS.
- DISCREPANCIES, OMISSIONS, AND CONFLICTS**  
DUE TO THE COMPLEXITY OF THE DESIGN AND CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BETWEEN THE FIELD CONDITIONS AND THE DRAWINGS. ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY AND RESOLVED PRIOR TO MOVING FORWARD WITH ANY NEW WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND REQUIRED APPROVALS BY ALL GOVERNING BODIES. ANY INFORMATION CONTAINED WITHIN THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT MEET ALL CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CODE REQUIREMENTS AND MEETING ALL CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CODE REQUIREMENTS AND MEETING ALL CODE REQUIREMENTS.
- DUTY OF COOPERATION**  
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND REQUIRED APPROVALS BY ALL GOVERNING BODIES. ANY INFORMATION CONTAINED WITHIN THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT MEET ALL CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CODE REQUIREMENTS AND MEETING ALL CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CODE REQUIREMENTS AND MEETING ALL CODE REQUIREMENTS.

- 7. PROJECT CHANGES**  
ANY ITEMS DESCRIBED HEREIN THAT IMPACT THE PROJECT QUALITY, INTEGRITY, BUDGET OR TIME SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND REQUIRED APPROVALS BY ALL GOVERNING BODIES. ANY INFORMATION CONTAINED WITHIN THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT MEET ALL CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CODE REQUIREMENTS AND MEETING ALL CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CODE REQUIREMENTS AND MEETING ALL CODE REQUIREMENTS.
- 8. WORKMANSHIP**  
IT IS THE INTENT AND MEANING OF THE SET OF DRAWINGS HEREIN THAT THE CONTRACTOR AND SUB-CONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND SERVICES IN ACCORDANCE WITHIN THE RECOMMENDED STANDARDS OF THE INDUSTRY AND TRADES RELATED TO THE ABOVE.
- 9. SUBSTITUTIONS**  
SUBSTITUTIONS OF EQUAL PRODUCTS MUST RECEIVE APPROVAL FROM THE ARCHITECT AND OWNER. SUBSTITUTIONS MADE WITHOUT THE APPROVAL OF THE ARCHITECT ARE UNAUTHORIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND REQUIRED APPROVALS BY ALL GOVERNING BODIES. ANY INFORMATION CONTAINED WITHIN THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT MEET ALL CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CODE REQUIREMENTS AND MEETING ALL CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CODE REQUIREMENTS AND MEETING ALL CODE REQUIREMENTS.
- 10. CONSTRUCTION SAFETY**  
IT IS NOT THE INTENT NOR THE RESPONSIBILITY OF THE SET OF DRAWINGS HEREIN TO ADDRESS CONSTRUCTION SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND REQUIRED APPROVALS BY ALL GOVERNING BODIES. ANY INFORMATION CONTAINED WITHIN THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT MEET ALL CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CODE REQUIREMENTS AND MEETING ALL CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CODE REQUIREMENTS AND MEETING ALL CODE REQUIREMENTS.
- 11. FIELD CUTTING OF STRUCTURAL MEMBERS**  
FIELD CUTTING OF STRUCTURAL MEMBERS SHALL BE APPROVED BY THE ARCHITECT IMMEDIATELY AND RESOLVED PRIOR TO MOVING FORWARD WITH ANY NEW WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND REQUIRED APPROVALS BY ALL GOVERNING BODIES. ANY INFORMATION CONTAINED WITHIN THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT MEET ALL CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CODE REQUIREMENTS AND MEETING ALL CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CODE REQUIREMENTS AND MEETING ALL CODE REQUIREMENTS.
- 12. DIMENSIONS**  
DO NOT SCALE THESE DRAWINGS.
- 13. MEASUREMENTS**  
GENERAL CONTRACTOR TO ENSURE BUILDING INSULATION MEETS ALL CODE REQUIREMENTS AND CALLOUTS IN THE SET OF DRAWINGS HEREIN MEET CURRENT CODE REQUIREMENTS.
- 14. ELECTRICAL AND MECHANICAL**  
GENERAL CONTRACTOR TO COORDINATE WITH OWNER FOR MECHANICAL, ELECTRICAL, INTERNET AND ANY SPECIAL WIRING OR ELECTRICAL REQUIREMENTS. AND TO ENSURE ALL MEET ALL LOCAL AND ALL DIMENSIONS IN THE DRAWING SET PRIOR TO BEGAINING ANY WORK OR ORDERING ANY MATERIALS. ANY DISCREPANCIES OR OMISSIONS TO BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING IMMEDIATELY.
- 15. MEASUREMENTS**  
GENERAL CONTRACTOR TO ENSURE BUILDING INSULATION MEETS ALL CODE REQUIREMENTS AND CALLOUTS IN THE SET OF DRAWINGS HEREIN MEET CURRENT CODE REQUIREMENTS.
- 16. PLUMBING**  
GENERAL CONTRACTOR TO ENSURE ALL MET PLUMBING ROUTED AND INSULATED AS REQUIRED TO PREVENT HEAT LOSS.

GENERAL CONTRACTOR TO ENSURE BUILDING INSULATION MEETS ALL CODE REQUIREMENTS AND CALLOUTS IN THE SET OF DRAWINGS HEREIN MEET CURRENT CODE REQUIREMENTS.

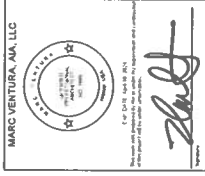
GENERAL CONTRACTOR TO ENSURE ALL MET PLUMBING ROUTED AND INSULATED AS REQUIRED TO PREVENT HEAT LOSS.

PIIKOI YOUTH CENTER  
BIG SAVE ALTERATION  
4444 RICE ST# 301  
LIHUE, KAUAI, HAWAII  
TMK(4) 3-6-005:006  
OWNER: COUNTY OF KAUAI

BD SET - JANUARY 01, 2024  
A0.01  
GENERAL NOTES

NO.	DATE	DESCRIPTION

MARC VENTURA, AIA, LLC  
4202 Rice St  
Lihue, Kauai 96766  
Phone: 808 246 3936  
Fax: 808 246 3936



MARC VENTURA, AIA, LLC

3225 Kalia Rd., Suite 201  
Honolulu, HI 96811  
Phone: 808 246 3936  
FAX: 808 246 3936

*Marc Ventura*

3/25/24

3/25/24

3/25/24

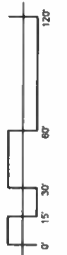
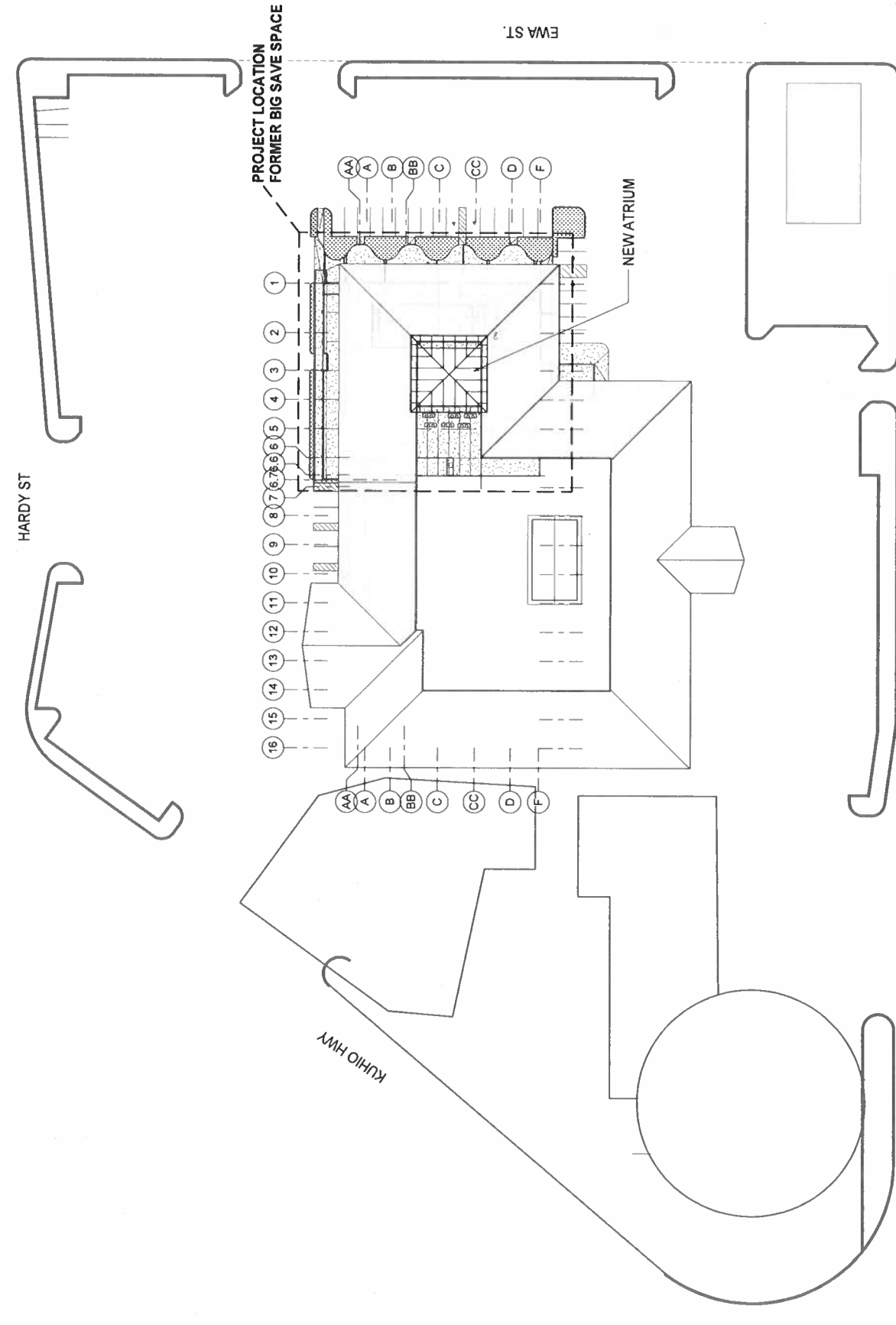
MARC VENTURA, AIA, LLC

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Phone: 808 246 3936  
FAX: 808 246 3936

REV	DESCRIPTION	DATE

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BIG SAVE ALTERATION  
4444 RICE ST # 301  
LIHUE, KAUAI, HAWAII  
TMM(4) 3-6-005: 006  
OWNER: COUNTY OF  
KAUAI

BD SET - JANUARY 01, 2024  
A0.02  
SITE PLAN



1 SITE PLAN  
1" = 30'-0"

MARC VENTURA, AIA, LLC

1125 OLOHEA ROAD, SUITE 300  
KAPAHULU, HAWAII 96761  
PHONE: 808-246-3936  
FAX: 808-246-3938

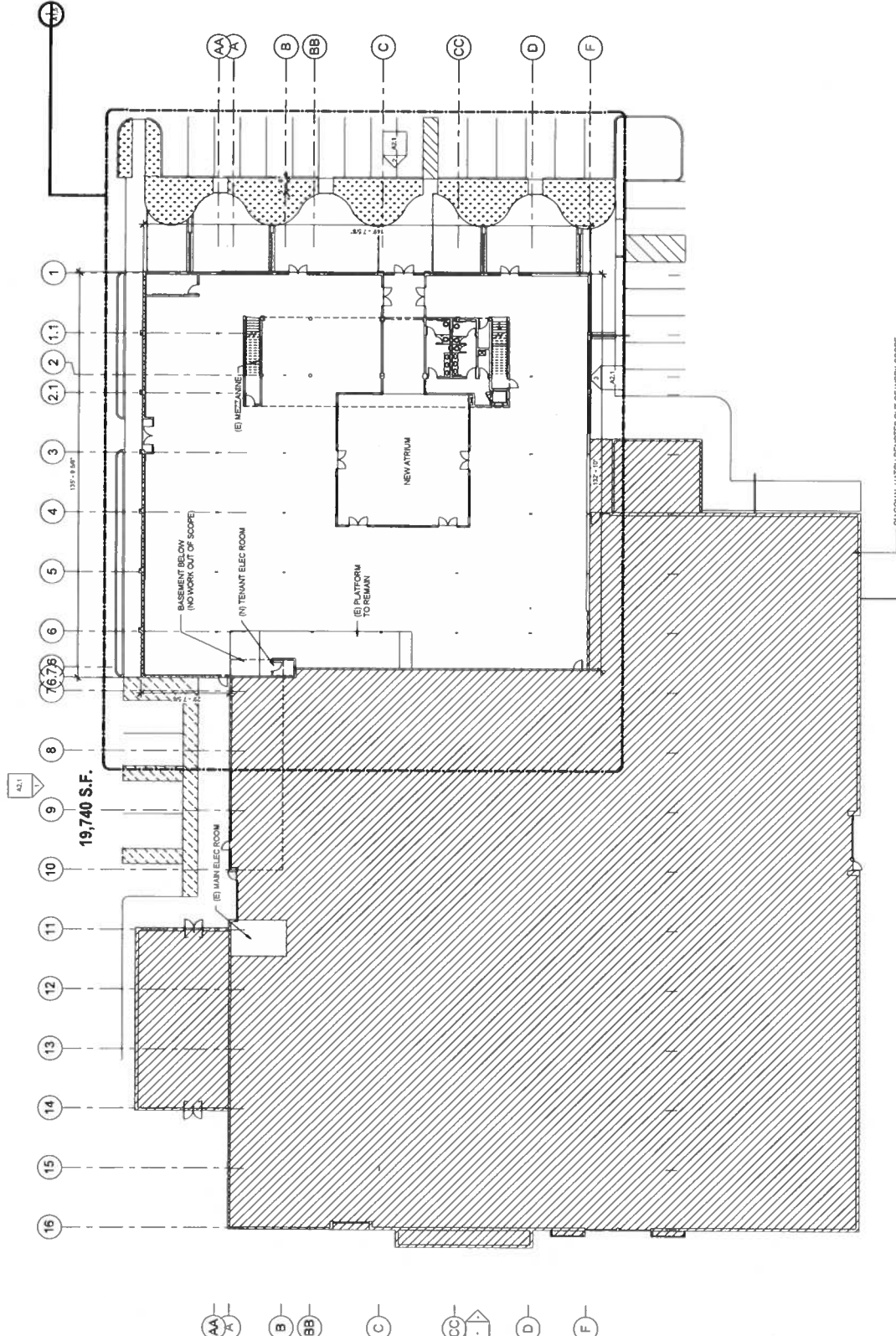
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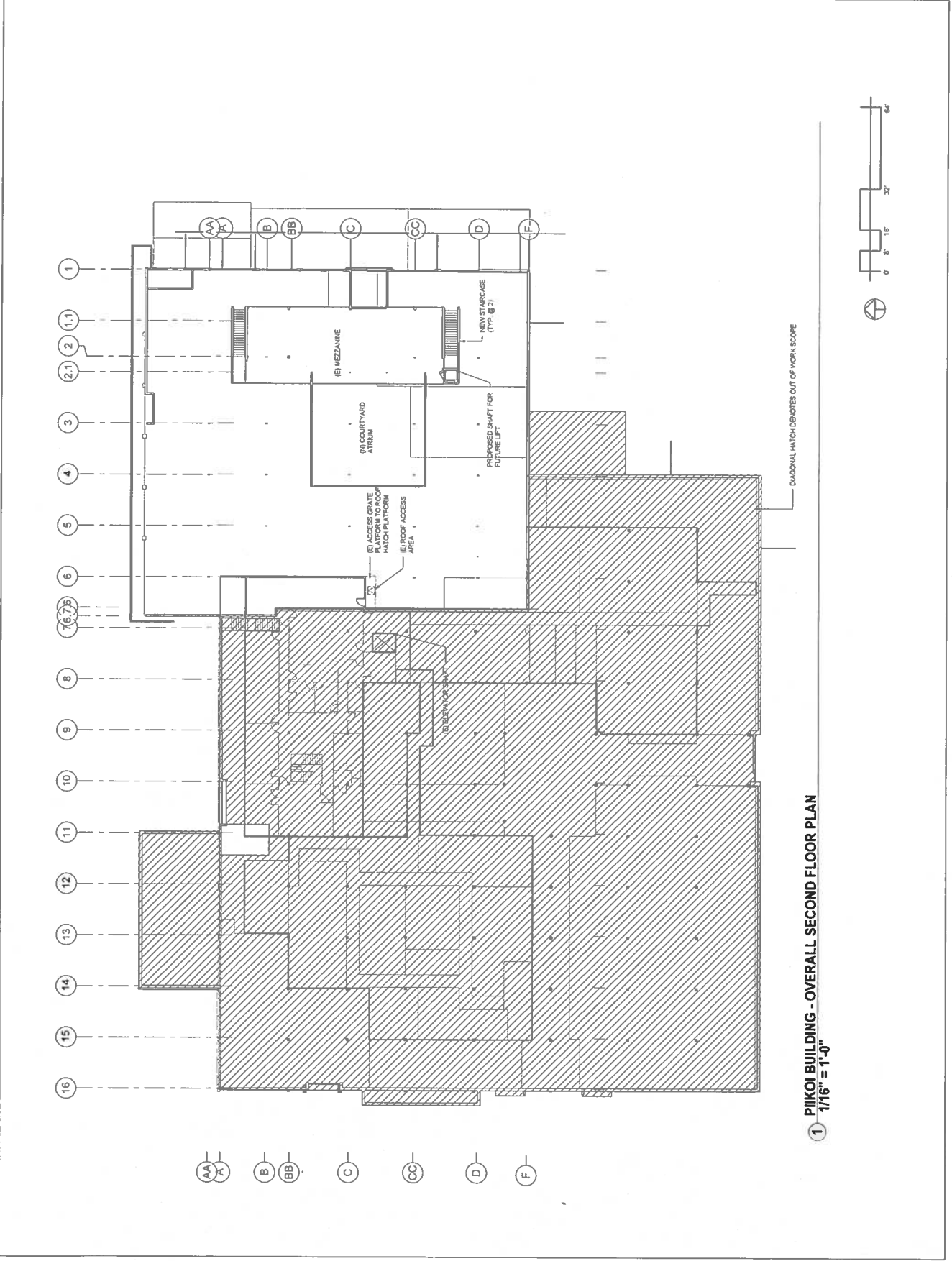
**PIIKOI YOUTH CENTER**  
**BIG SAVE ALTERATION**  
 4444 RICE ST # 301  
 LIHUE, KAUAI, HAWAII  
 TMK(4) 3-6-005: 006  
 OWNER: COUNTY OF  
 KAUAI

BD SET - JANUARY 01, 2024  
**A1.1**  
 OVERALL BUILDING GROUND  
 LEVEL FLOOR PLAN




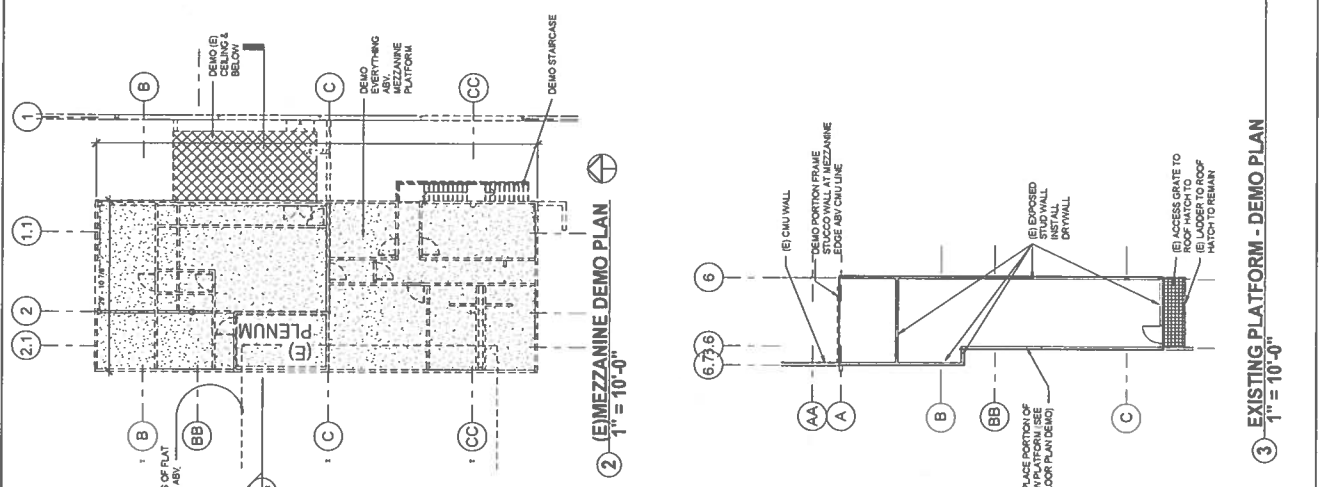
1 PIKIOI BUILDING - OVERALL FLOOR PLAN  
 1/16" = 1'-0"

 <p>MARC VENTURA, AIA, LLC          ARCHITECT          4202 RICE ST.          LIHUE, KAUAI, HAWAII 96766          PHONE: 808.246.3936          FAX: 808.246.3936</p>		<p>MARC VENTURA, AIA, LLC          4202 Rice St.          Lihue, Kauai 96766          Phone: 808 246 3936          Fax: 808 246 3936</p>	<table border="1"> <tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	REV	DATE	DESCRIPTION																															<p><b>PIIKOI YOUTH CENTER</b>  <b>BIG SAVE ALTERATION</b>  <b>4444 RICE ST # 301</b>  <b>LIHUE, KAUAI, HAWAII</b>  <b>TMK(4) 3-6-005: 006</b>  <b>OWNER: COUNTY OF KAUAI</b></p>	<p>BD SET - JANUARY 01, 2024  <b>A1.2</b>          OVERALL BUILDING SECOND FLOOR PLAN</p>
REV	DATE	DESCRIPTION																																				

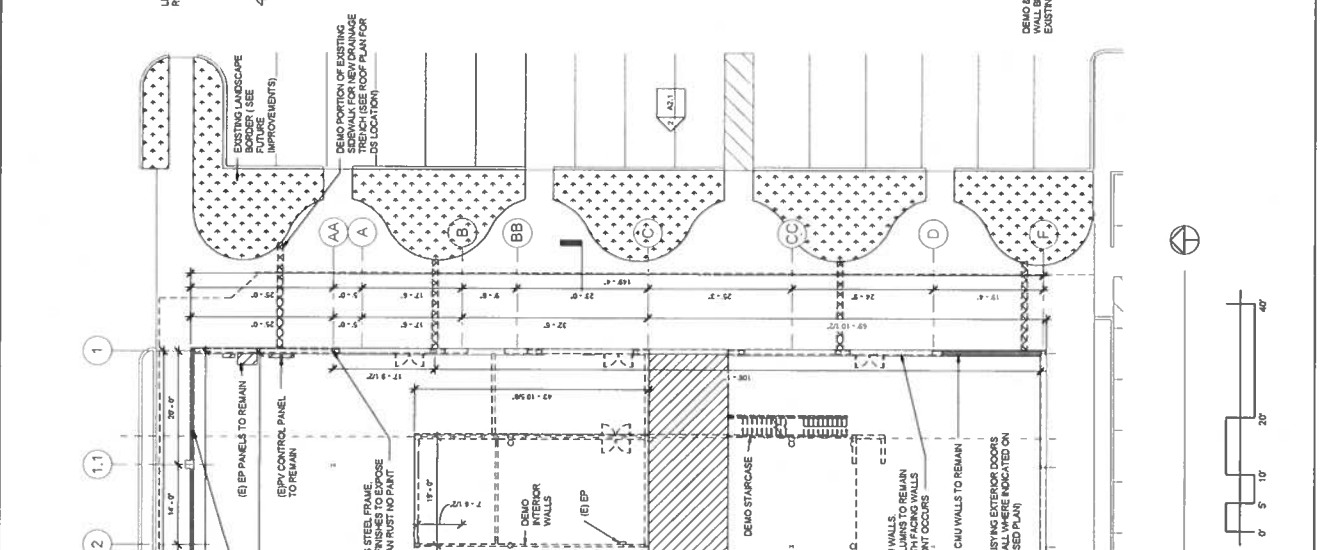


1 PIIKOI BUILDING - OVERALL SECOND FLOOR PLAN  
 1/16" = 1'-0"

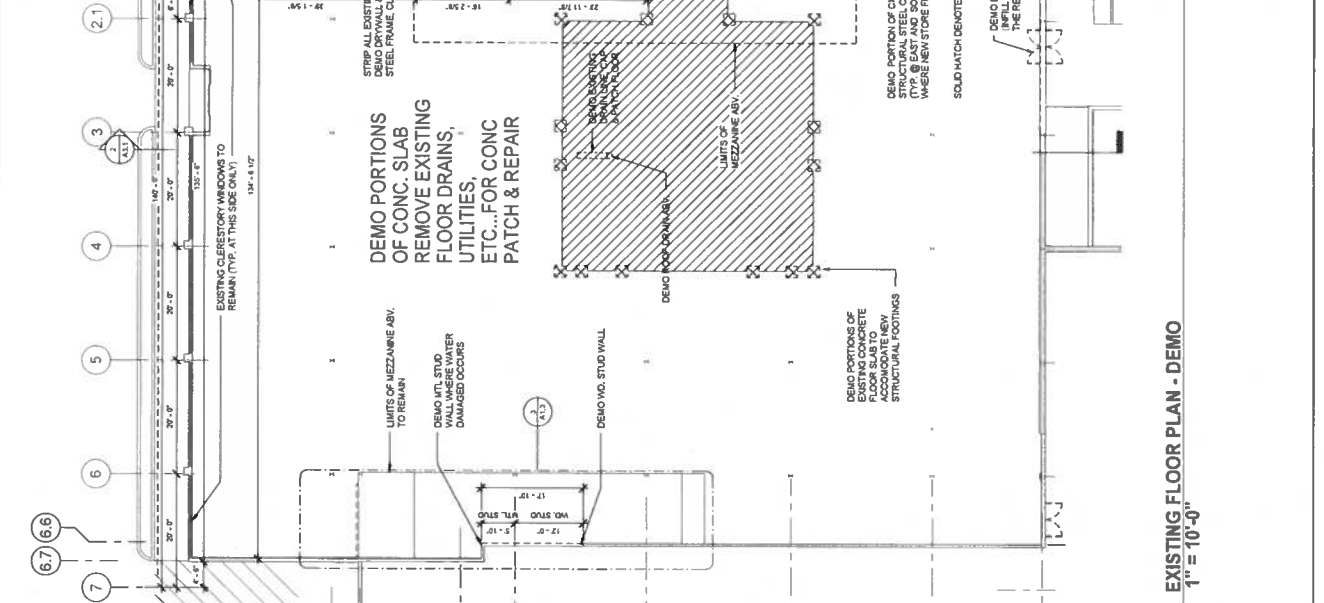
 <p>MARC VENTURA, AIA, LLC          4202 Rice St          Lihue, Kauai 96766          Phone: 808 246 3936          Fax: 808 246 3936</p>		<p>OWNER: COUNTY OF KAUAI          LIHUE, KAUAI, HAWAII          4444 RICE ST # 301          BIG SAVE ALTERATION</p>	
<p>BB SET - JANUARY 01, 2024</p>		<p>A1.3</p>	
<p>EXISTING FLOOR PLAN - DEMO</p>		<p>EXISTING FLOOR PLAN - DEMO</p>	



1 EXISTING FLOOR PLAN - DEMO  
 1" = 10'-0"



2 (E)MEZZANINE DEMO PLAN  
 1" = 10'-0"



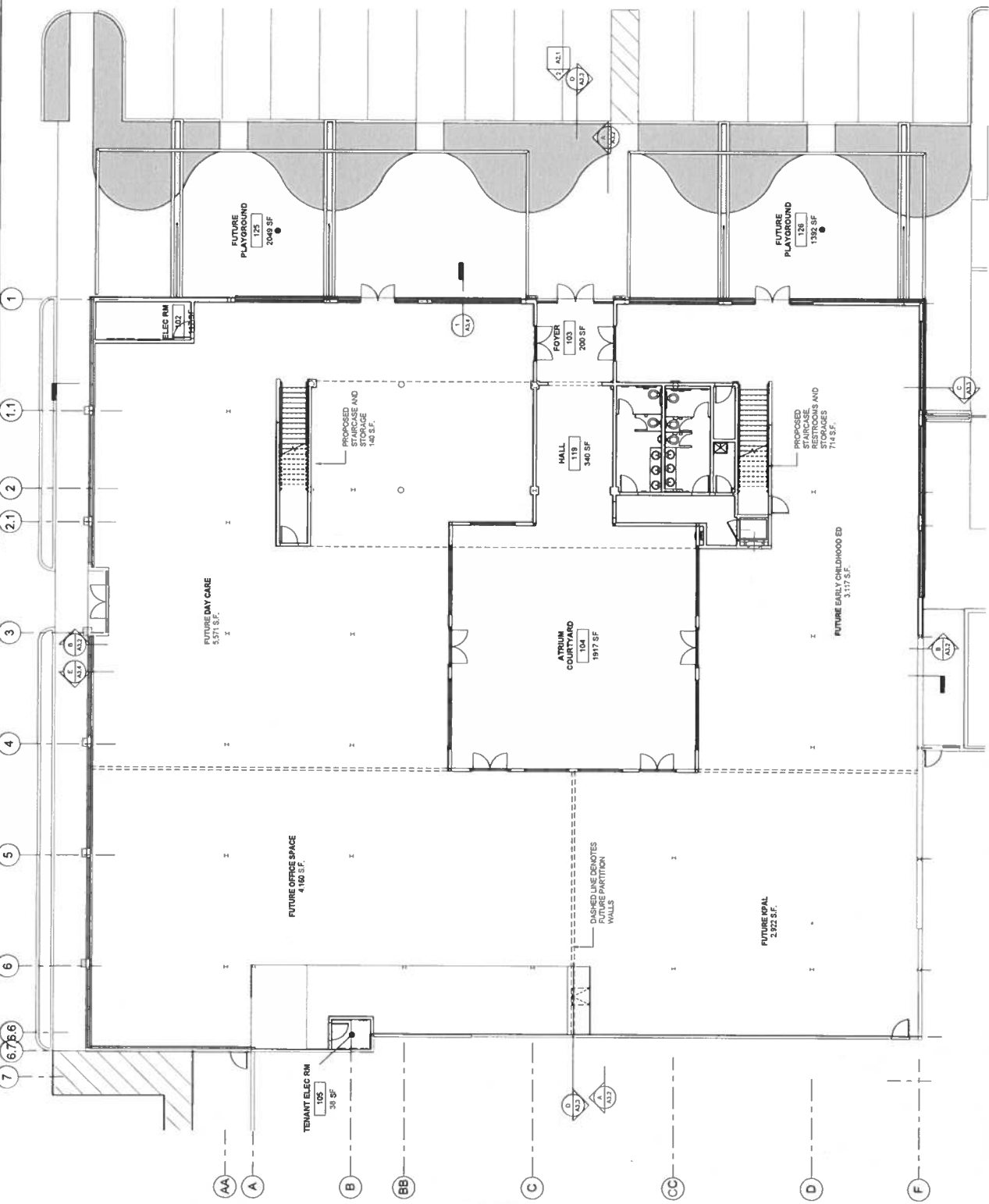
3 EXISTING PLATFORM - DEMO  
 1" = 10'-0"





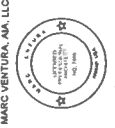


	<p>MARC VENTURA, AIA, LLC 4202 Rice St. Lihue, Kauai 96766 Phone: 808 246 3936 Fax: 808 246 3936</p> 	<p>MARC VENTURA, AIA, LLC 4202 Rice St. Lihue, Kauai 96766 Phone: 808 246 3936 Fax: 808 246 3936</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	REV	DESCRIPTION	DATE																																		<p><b>PIIKOI YOUTH CENTER</b> BIG SAVE ALTERATION 4444 RICE ST # 301 LIHUE, KAUAI, HAWAII TMK(4) 3-6-005-006 OWNER: COUNTY OF KAUAI</p>	<p>BID SET - JANUARY 01, 2024 <b>A1.5F</b> FLOOR PLAN SHOWING FUTURE INT. PARTITIONS</p>
REV	DESCRIPTION	DATE																																							



**1** REVISED FLOOR PLAN SHOWING FUTURE INTERIOR PARTITIONS  
1/8" = 1'-0"

**MARC VENTURA, AIA, LLC**



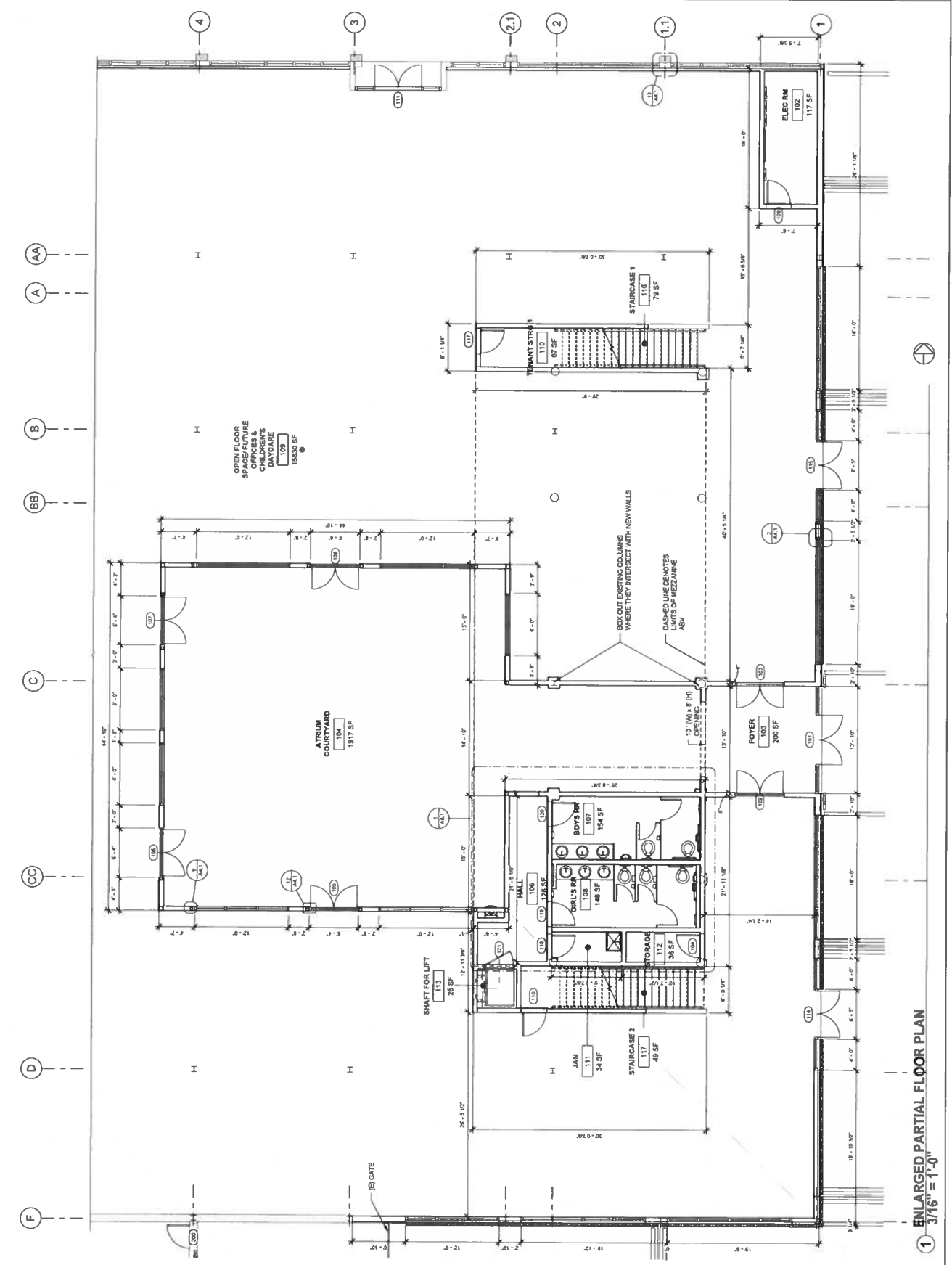
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**MARC VENTURA, AIA, LLC**


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Phone: 808 246 3936  
Fax: 808 246 3936

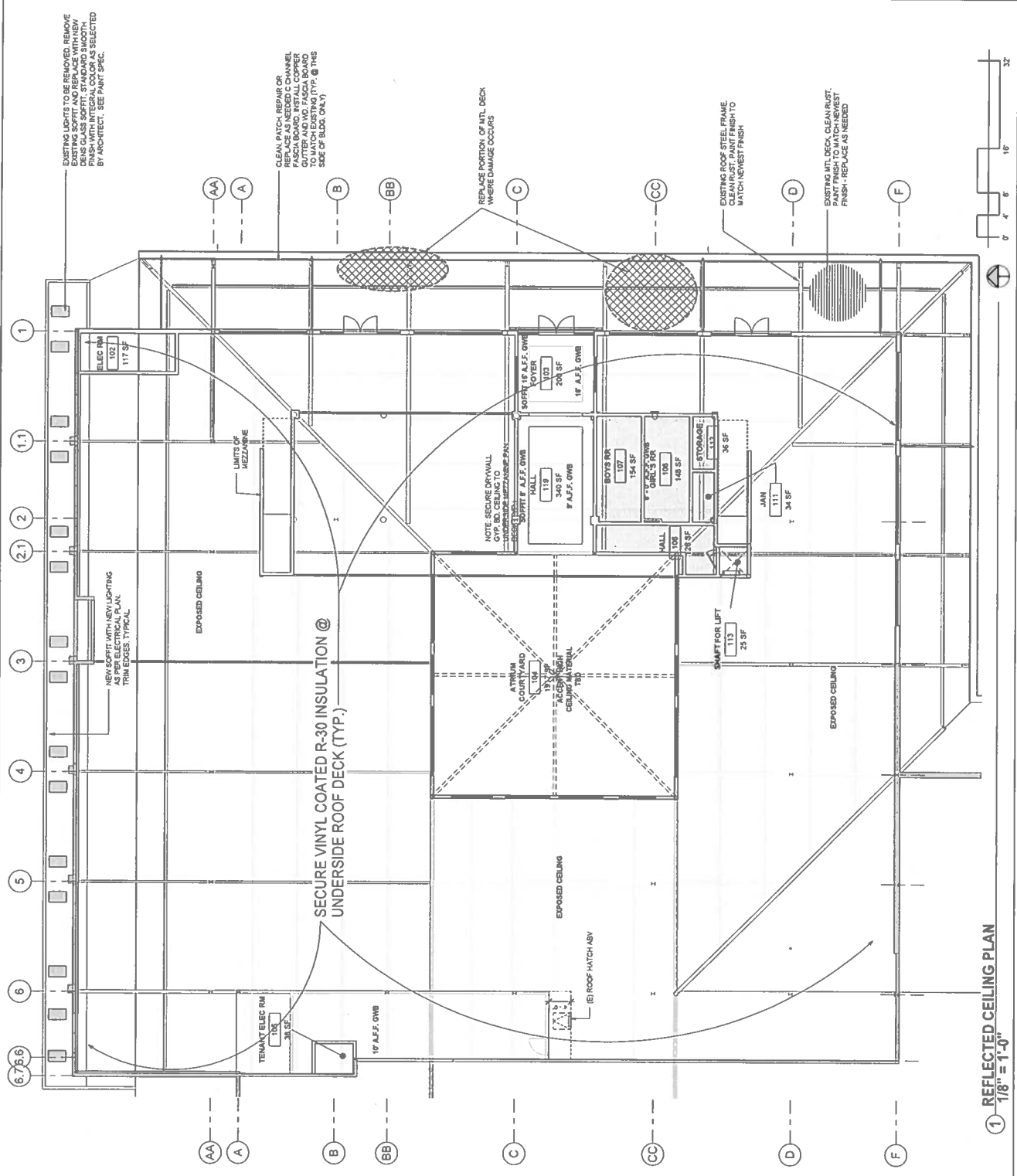
**Piikoi Youth Center**  
BIG SAVE ALTERATION  
4444 RICE ST # 301  
LIHUE, KAUAI, HAWAII  
TMK(4) 3-6-005: 006  
OWNER: COUNTY OF KAUAI

**A1.6**  
ENLARGED FLOOR PLAN





<p>MARC VENTURA, AIA, LLC</p>  <p>4202 Rice St. Lihue, Kauai 96766 Phone: 808 246 3936 Fax: 808 246 3936</p>		<p>PIIKOI YOUTH CENTER BIG SAVE ALTERATION 4444 RICE ST # 301 LIHUE, KAUAI, HAWAII OWNER: COUNTY OF TMK(A) 3-6-005: 006 KAUAI</p>	
<p>BO SET - JANUARY 01, 2024</p> <p><b>A1.8</b></p>		<p>REV. _____ DATE _____</p> <p>DESCRIPTION _____</p>	



1 REFLECTED CEILING PLAN  
1/8" = 1'-0"

**PIIKOI YOUTH CENTER**  
BIG SAVE ALTERATION  
4444 RICE ST # 301  
LIHUE, KAUAI, HAWAII  
TMK(4) 3-6-005, 006  
OWNER: COUNTY OF  
KAUAI

BD SET - JANUARY 01, 2024

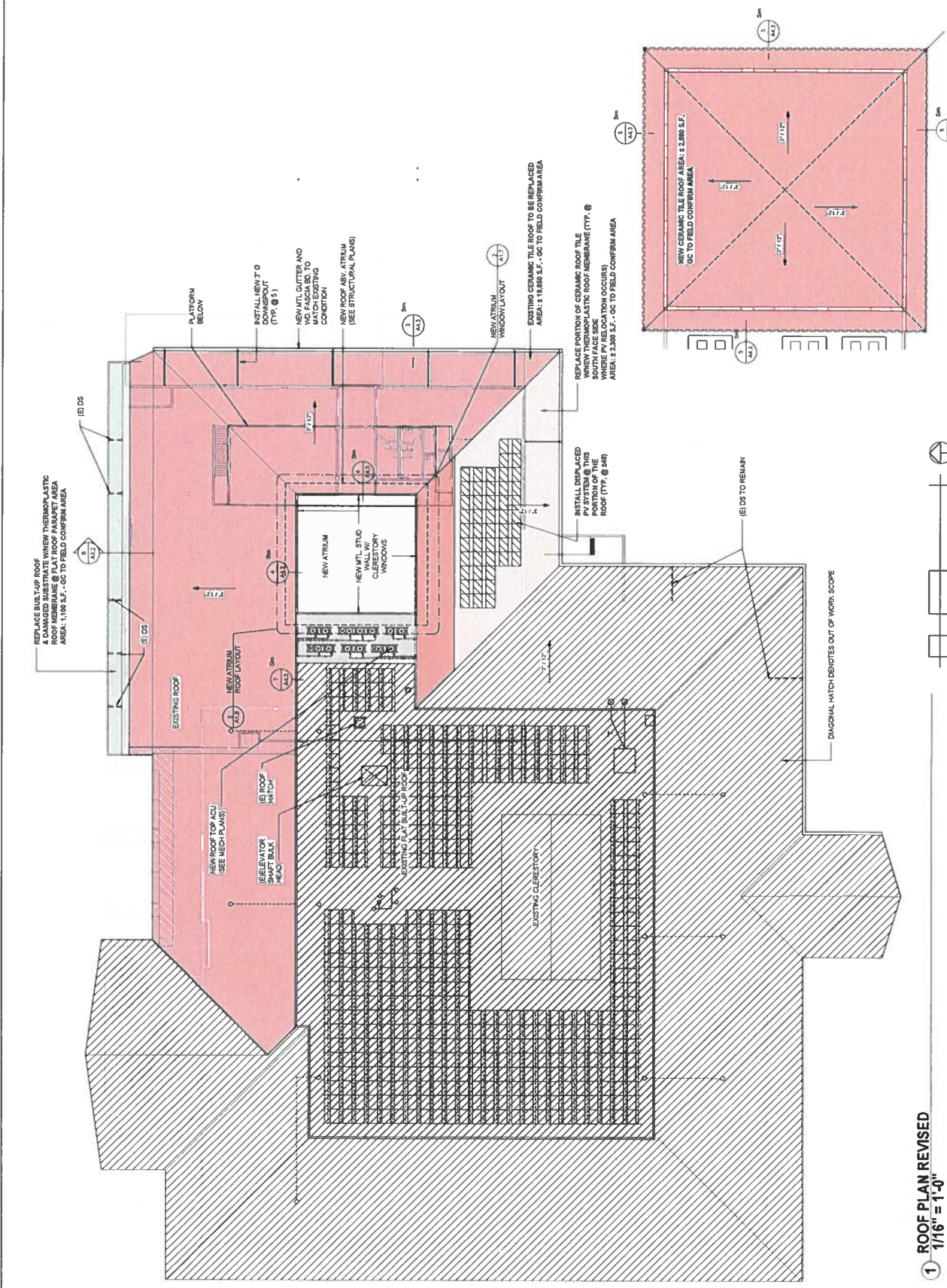
**A1.9**

ROOF PLAN - REVISED

**MARC VENTURA, AIA, LLC**  
4202 Rice St.  
Lihue, Kauai 96766  
Phone: 808 246 3936  
Fax: 808 246 3936

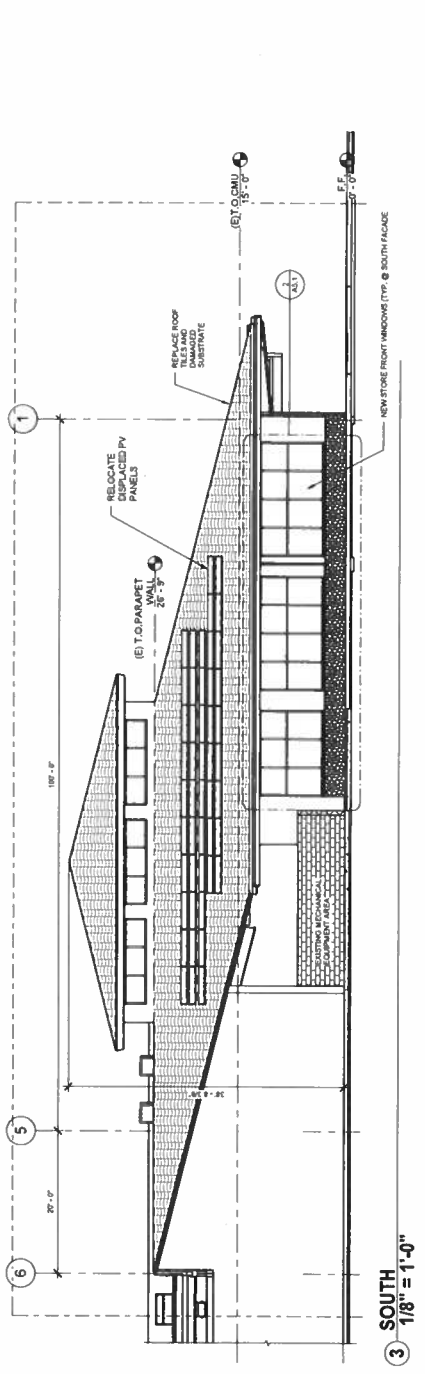
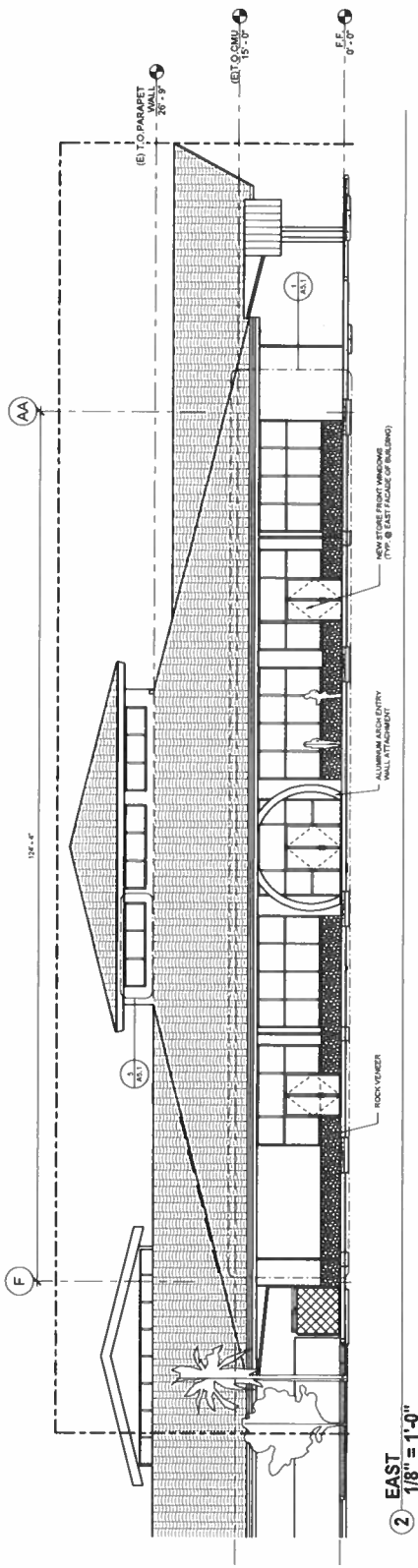
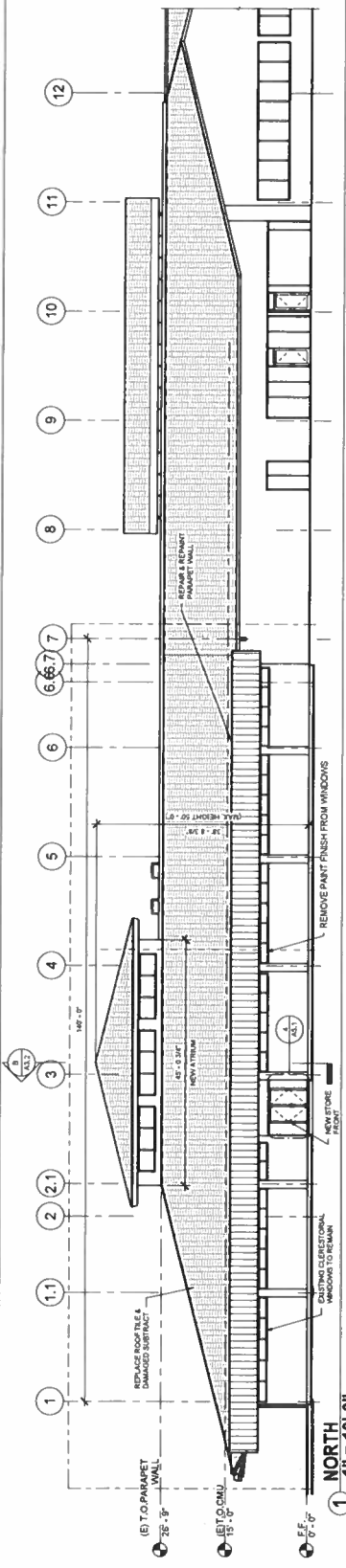


REV.	DESCRIPTION	DATE



**2 NEW ATRIUM ROOF PLAN**  
1/8" = 1'-0"

**1 ROOF PLAN REVISED**  
1/16" = 1'-0"



MARC VENTURA, AIA, LLC

*Marc Ventura*

MARC VENTURA, AIA, LLC  
 4202 Rice St.  
 Lihue, Kauai 96766  
 Phone: 808 246 3936  
 Fax: 808 246 3936




REV	DATE	DESCRIPTION

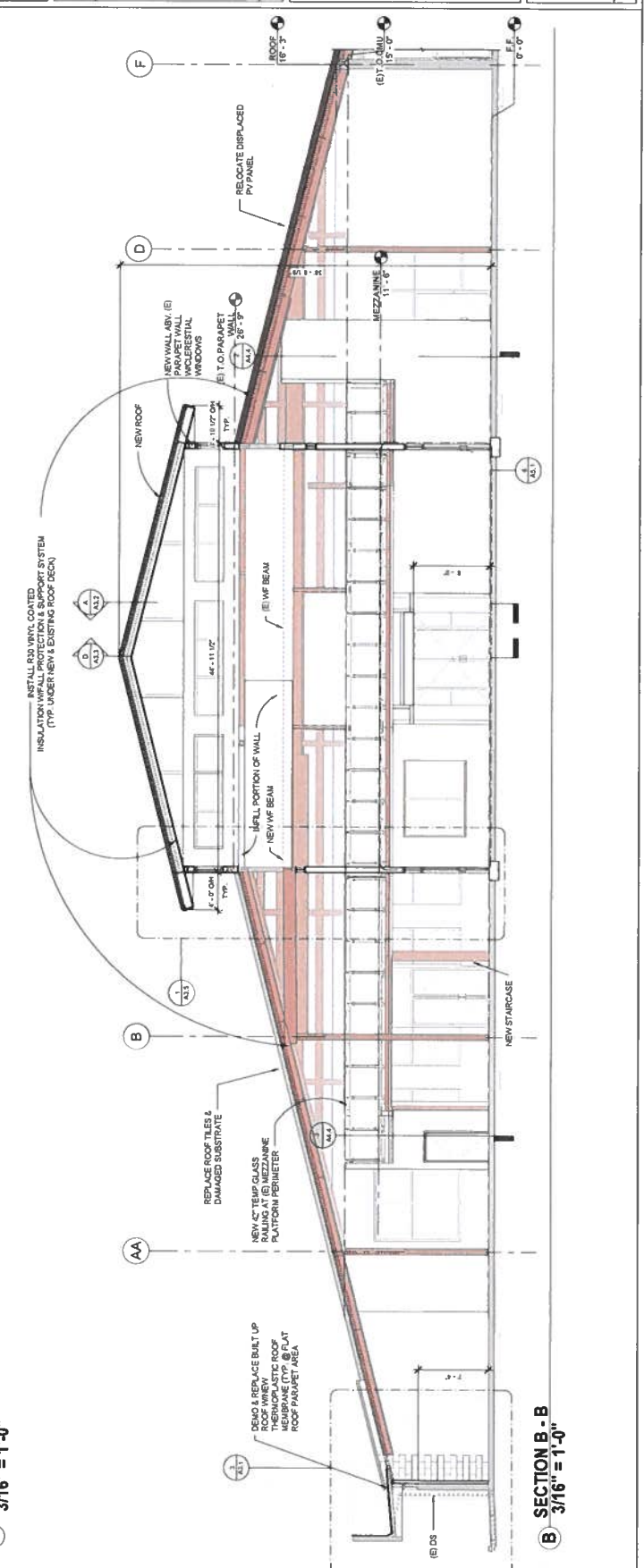
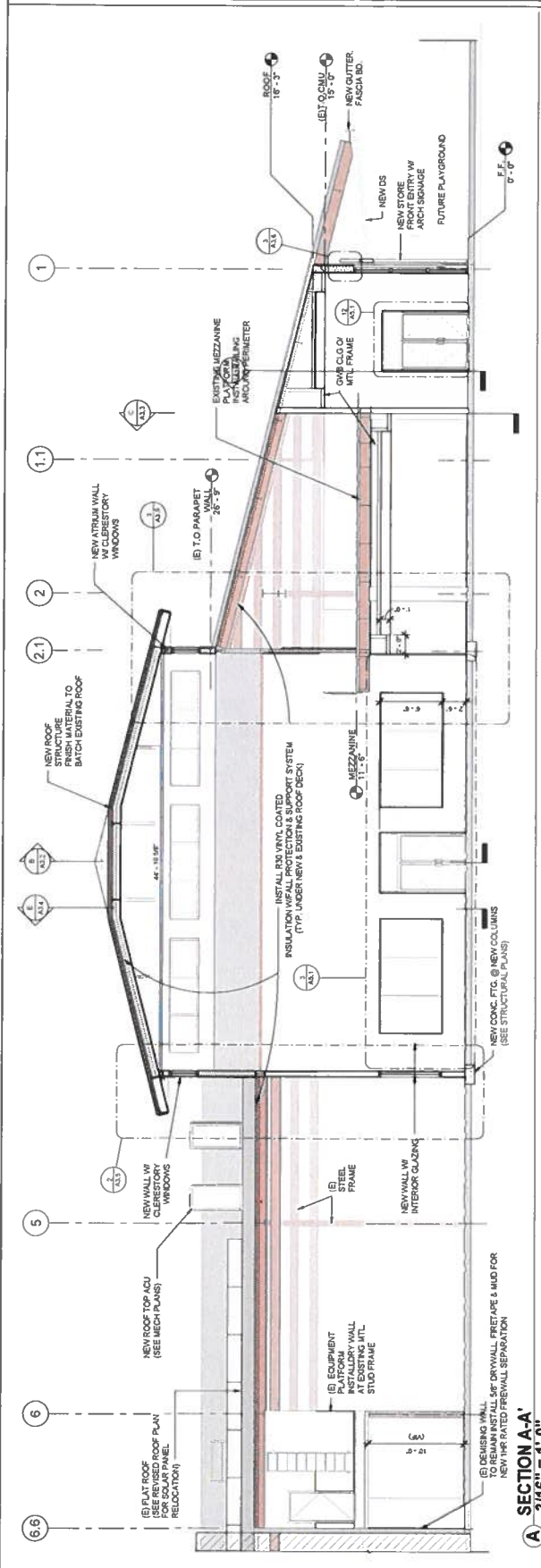
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 BIG SAVE ALTERATION  
 4444 RICE ST # 301  
 LIHUE, KAUAI, HAWAII  
 TMK(4) 3-6-005: 006  
 OWNER: COUNTY OF KAUAI

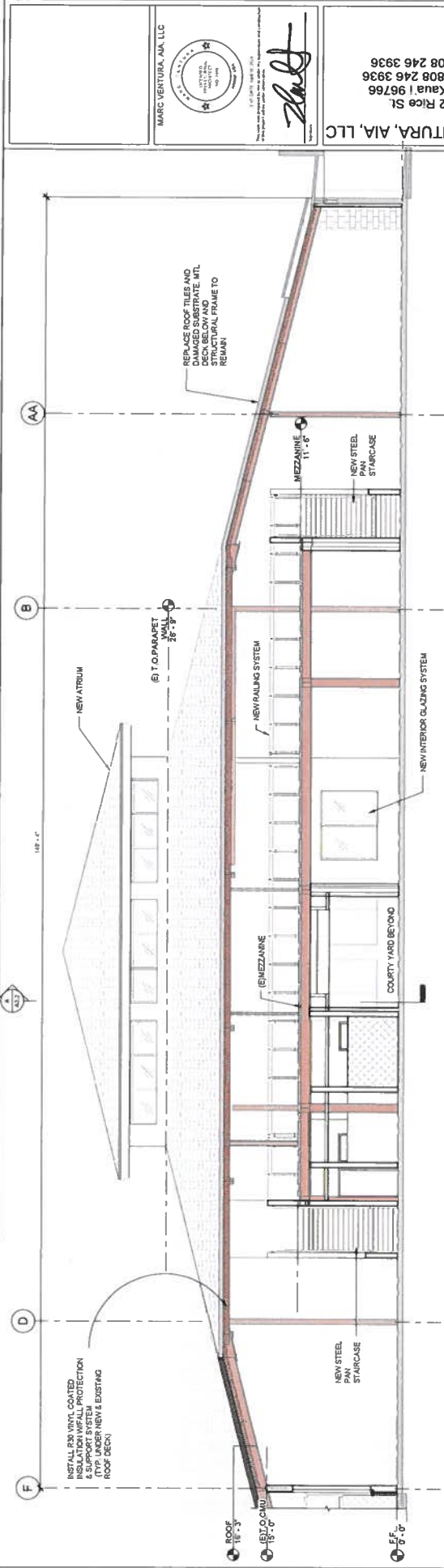
BD SET - JANUARY 01, 2024  
**A2.1**  
 EXTERIOR ELEVATIONS



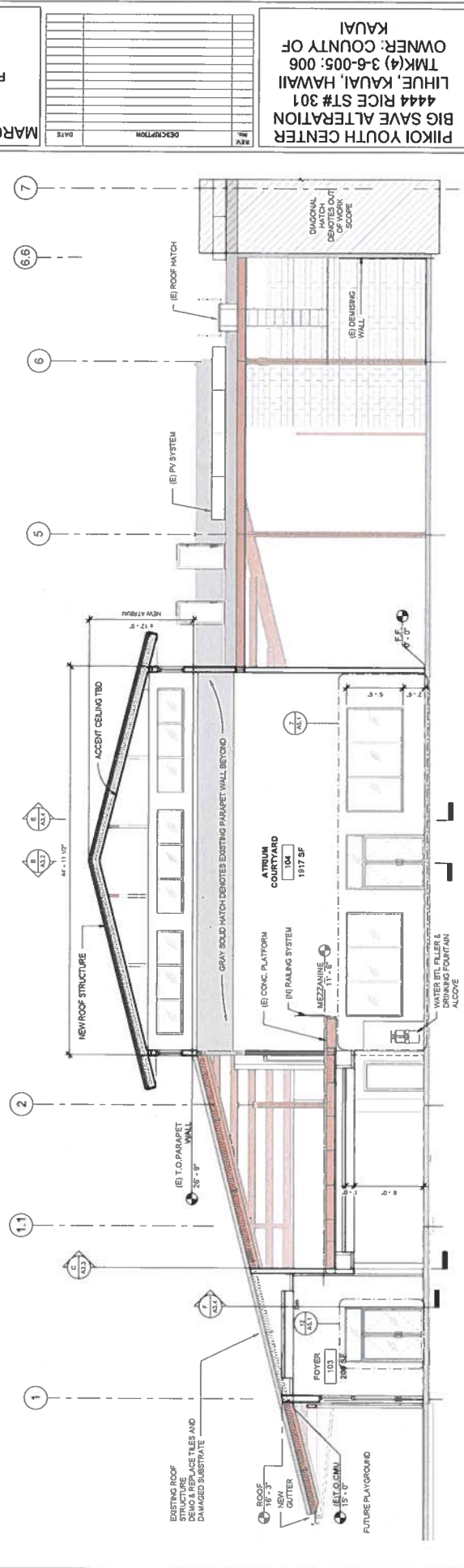


 <p>MARC VENTURA, AIA, LLC          4202 Rice St          Lihue, Kauai 96766          Phone: 808 246 3936          Fax: 808 246 3936</p>	 <p>MARC VENTURA, AIA, LLC          4202 Rice St          Lihue, Kauai 96766          Phone: 808 246 3936          Fax: 808 246 3936</p>		<p>OWNER: COUNTY OF KAUAI          TMK(4) 3-6-005: 006          LIHUE, KAUAI, HAWAII          4444 RICE ST# 301          BIG SAVE ALTERATION          PIKIOI YOUTH CENTER</p>	<p>BD SET - JANUARY 01, 2024  <b>A3.2</b>          BUILDING SECTIONS - REVISED</p>
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**C SECTION C - C**  
 $3/16" = 1'-0"$



**D SECTION D - D**  
 $3/16" = 1'-0"$

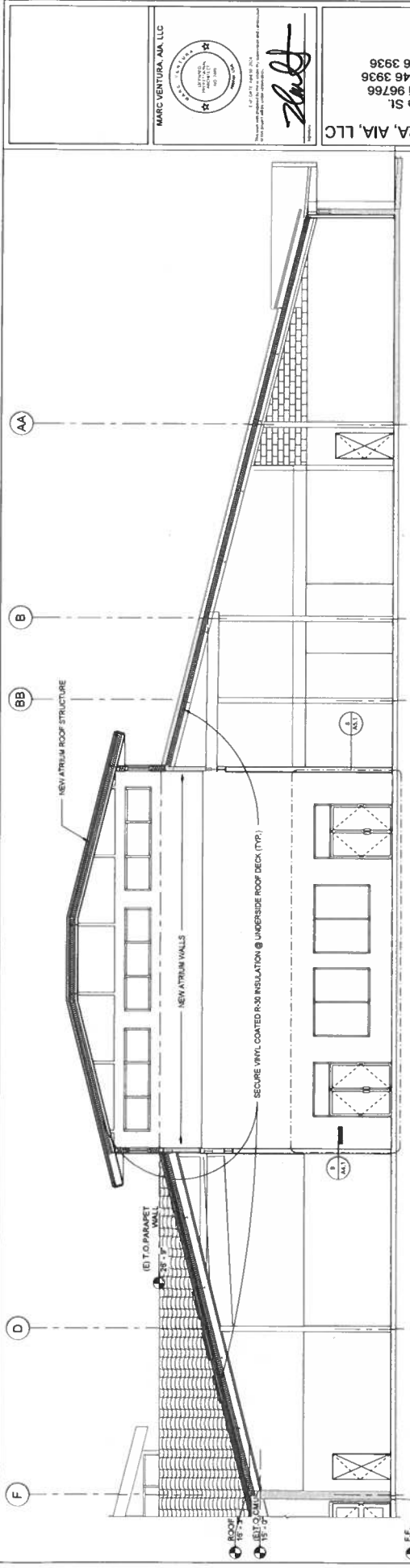
MARC VENTURA, AIA, LLC  
 4202 Rice St.  
 Lihue, Kauai 96766  
 Phone: 808 246 3936  
 Fax: 808 246 3936



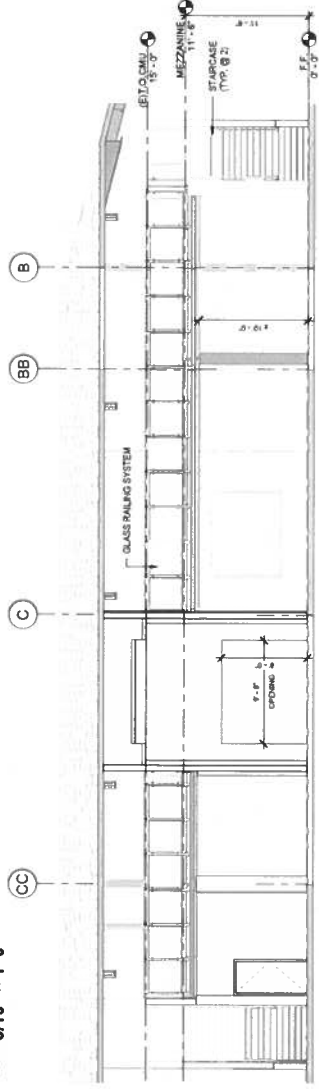
REV	DESCRIPTION	DATE

PIIKOI YOUTH CENTER  
 BIG SAVE ALTERATION  
 4444 RICE ST # 301  
 LIHUE, KAUAI, HAWAII  
 TMK(4) 3-6-005: 006  
 OWNER: COUNTY OF  
 KAUAI

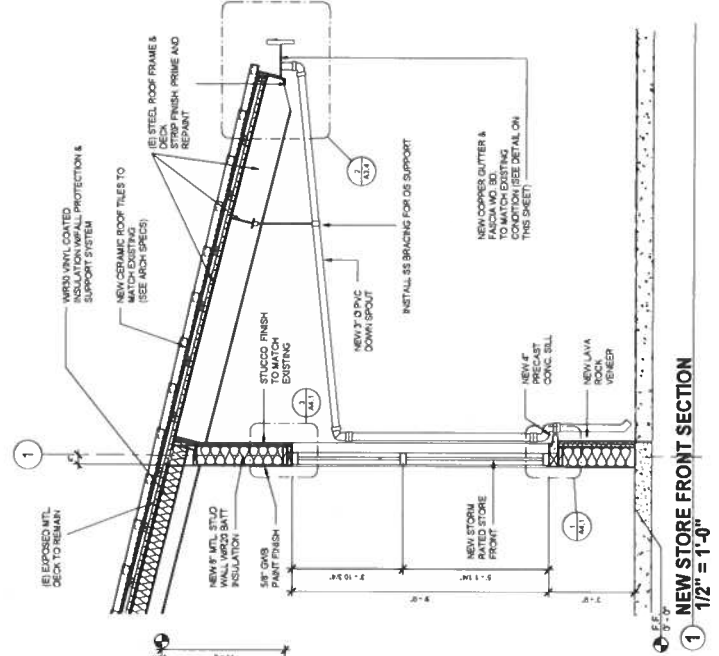
BID SET - JANUARY 01, 2024  
**A3.3**  
 BUILDING X-SECTIONS



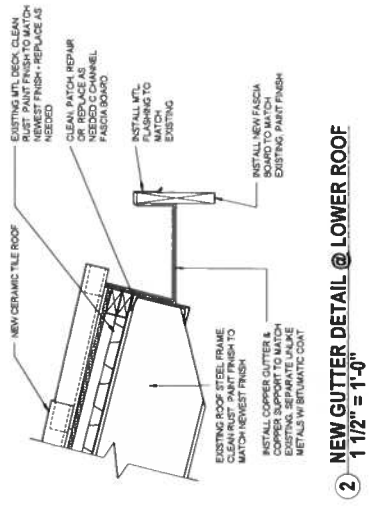
**E** SECTION E-E  
3/16" = 1'-0"



**F** SECTION F-F  
3/16" = 1'-0"



**1** NEW STORE FRONT SECTION  
1/2" = 1'-0"



**2** NEW GUTTER DETAIL @ LOWER ROOF  
1 1/2" = 1'-0"

REV	DESCRIPTION	DATE

**PIIKOI YOUTH CENTER**  
**4444 RICE ST # 301**  
**LIHUE, KAUAI, HAWAII**  
**TMK(4) 3-6-005: 006**  
**OWNER: COUNTY OF**  
**KAUAI**


BD SET - JANUARY 01, 2024  
**A3.4**  
 BLDG SECTION & WALL SECTIONS

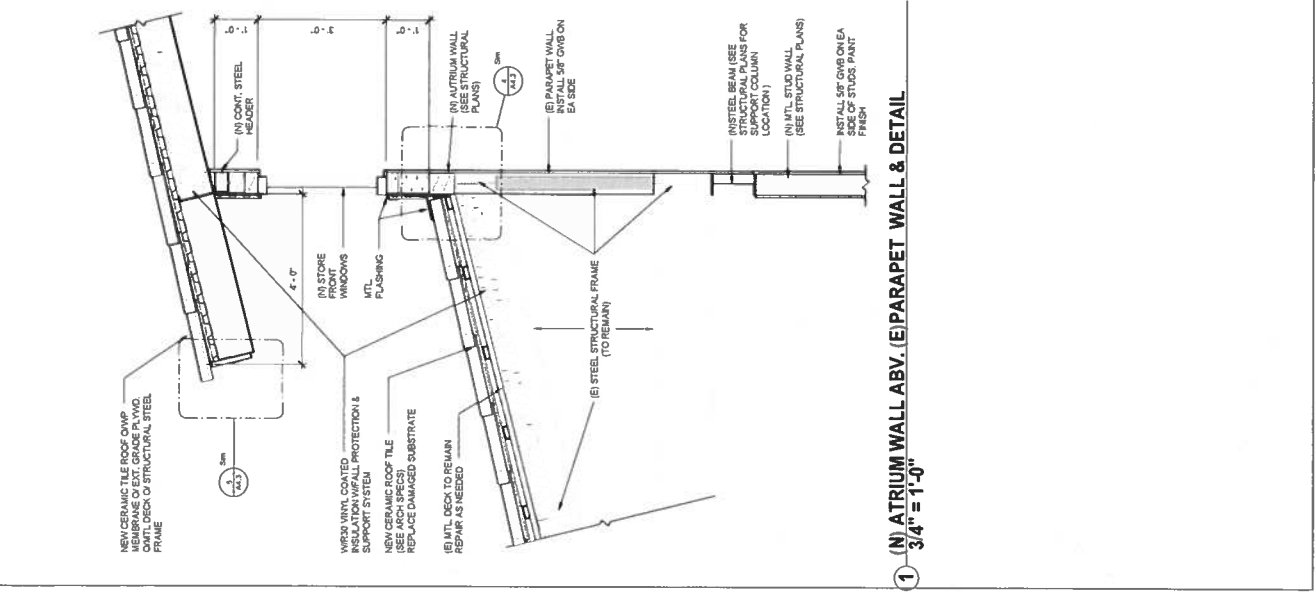
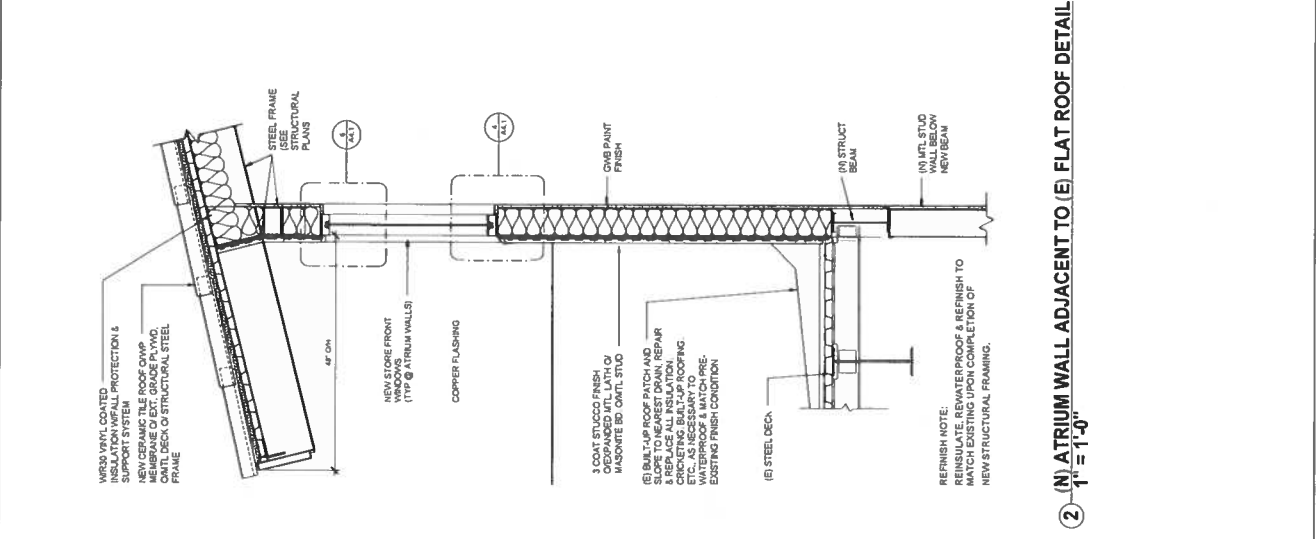
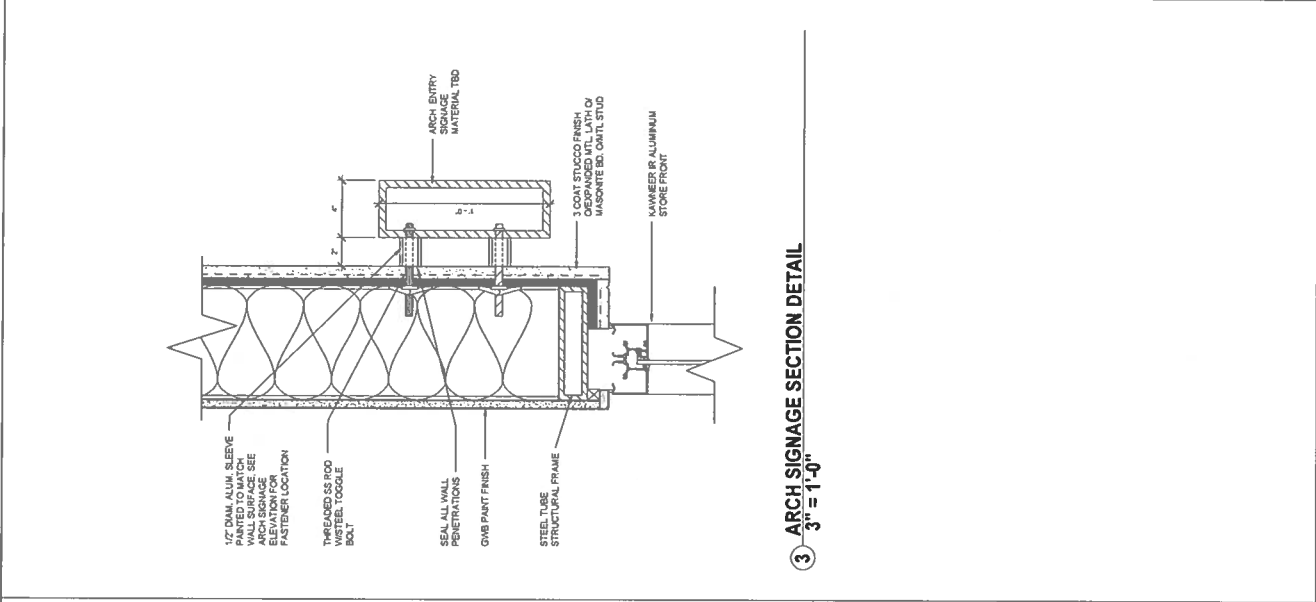
**MARC VENTURA, AIA, LLC**  
 4202 Rice St.  
 Lihue, Kauai 96766  
 Phone: 808 246 3936  
 Fax: 808 246 3936

MARC VENTURA, AIA, LLC  
 1101 Kalia Road, Suite 300  
 Honolulu, HI 96813  
 Phone: 808 955 3000  
 Fax: 808 955 3001  
 www.marcventura.com

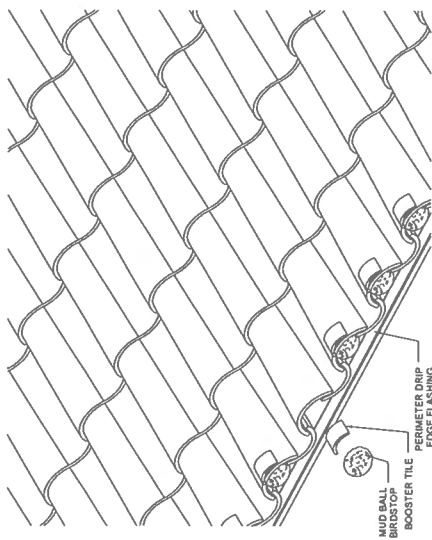
*Marc Ventura*



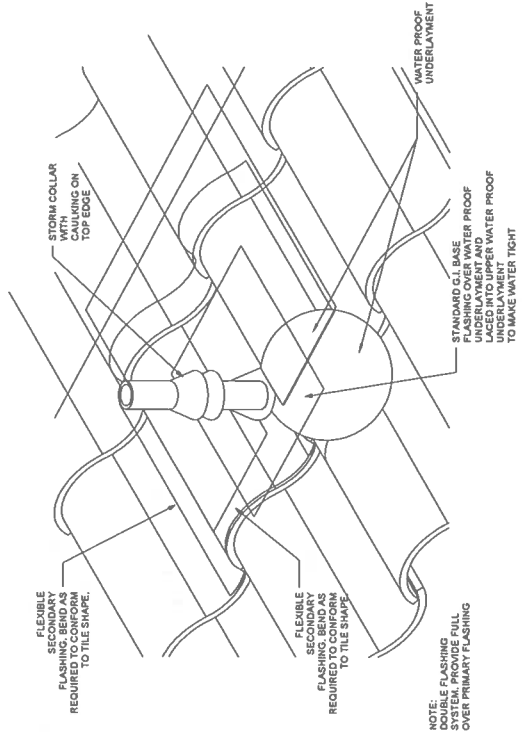
 <p>MARC VENTURA, AIA, LLC</p>	<p>4022 Rice St Lihue, Kauai 96766 Phone: 808 246 3936 Fax: 808 246 3936</p>	<p><b>MARC VENTURA, AIA, LLC</b></p>	<p><b>PIIKOI YOUTH CENTER</b> BIG SAVE ALTERATION 4444 RICE ST # 301 LIHUE, KAUAI, HAWAII TMK(4) 3-6-005: 006 OWNER: COUNTY OF KAUAI</p>	<p>BD SET - JANUARY 01, 2024</p>	<p><b>A3.6</b></p>	<p>WALL DETAILS</p>
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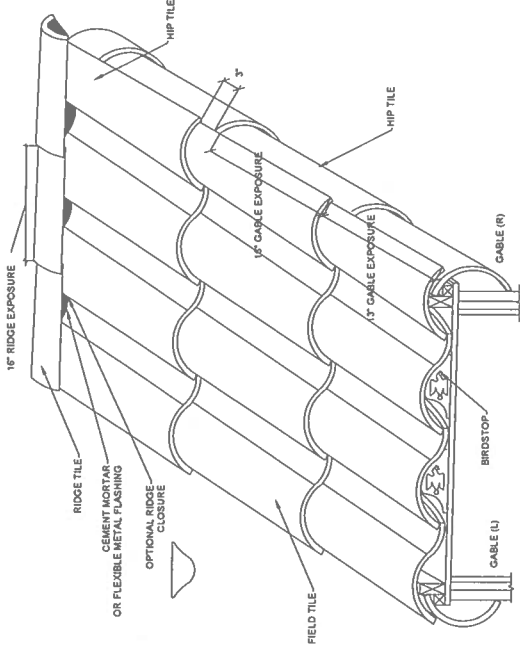


**1** ROOF CLASSIC S MISSION (TWO PIECE EAVE) MUD BALL BIRDSTOP  
1 1/2" = 1'-0"



**NOTE:**  
DOUBLE FLASHING SYSTEM PROVIDE FULL OVER PRIMARY FLASHING

**3** ROOF PLUMBING VENT FLASHING  
3" = 1'-0"



**2** ROOF FIELD DETAIL  
1 1/2" = 1'-0"

**ROOFING CLARIFICATIONS:**

1. TPO ROOFING PERFORMANCE SPEC:
  - a. Patching:
    1. Repairs / patch / repair existing plywood deck as required.
    2. Patching / repair existing plywood deck prior to TPO install.
  - b. Wind loading to meet current Maui County Code minimum.
  - c. TPO color:
    1. 110 MP/L to be confirmed.
    2. Hip Roof (Visible from street).
    3. Hip Roof (Visible from street).
    4. Must be able to custom color, insert will be a reddish color to match tile, final color to be determined.
2. IMA TILE ROOF SPEC CLASSIFICATION:
  - a. Patching / repair existing plywood deck as required.
  - b. Patching / repair existing plywood deck prior to TPO install.
  - c. Patching / repair existing plywood deck prior to TPO install.
  - d. Patching / repair existing plywood deck prior to TPO install.
  - e. Patching / repair existing plywood deck prior to TPO install.
  - f. Patching / repair existing plywood deck prior to TPO install.
  - g. Patching / repair existing plywood deck prior to TPO install.
  - h. Patching / repair existing plywood deck prior to TPO install.
  - i. Patching / repair existing plywood deck prior to TPO install.
  - j. Patching / repair existing plywood deck prior to TPO install.
  - k. Patching / repair existing plywood deck prior to TPO install.
  - l. Patching / repair existing plywood deck prior to TPO install.
  - m. Patching / repair existing plywood deck prior to TPO install.
  - n. Patching / repair existing plywood deck prior to TPO install.
  - o. Patching / repair existing plywood deck prior to TPO install.
  - p. Patching / repair existing plywood deck prior to TPO install.
  - q. Patching / repair existing plywood deck prior to TPO install.
  - r. Patching / repair existing plywood deck prior to TPO install.
  - s. Patching / repair existing plywood deck prior to TPO install.
  - t. Patching / repair existing plywood deck prior to TPO install.
  - u. Patching / repair existing plywood deck prior to TPO install.
  - v. Patching / repair existing plywood deck prior to TPO install.
  - w. Patching / repair existing plywood deck prior to TPO install.
  - x. Patching / repair existing plywood deck prior to TPO install.
  - y. Patching / repair existing plywood deck prior to TPO install.
  - z. Patching / repair existing plywood deck prior to TPO install.

**ROOF NOTES**

4. ROOF WORK WITHIN EXISTING ROOF WELL:
  - a. Repairs / patch / repair existing plywood deck as required.
  - b. Repairs / patch / repair existing plywood deck as required.
  - c. Repairs / patch / repair existing plywood deck as required.
  - d. Repairs / patch / repair existing plywood deck as required.
  - e. Repairs / patch / repair existing plywood deck as required.
  - f. Repairs / patch / repair existing plywood deck as required.
  - g. Repairs / patch / repair existing plywood deck as required.
  - h. Repairs / patch / repair existing plywood deck as required.
  - i. Repairs / patch / repair existing plywood deck as required.
  - j. Repairs / patch / repair existing plywood deck as required.
  - k. Repairs / patch / repair existing plywood deck as required.
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  - o. Repairs / patch / repair existing plywood deck as required.
  - p. Repairs / patch / repair existing plywood deck as required.
  - q. Repairs / patch / repair existing plywood deck as required.
  - r. Repairs / patch / repair existing plywood deck as required.
  - s. Repairs / patch / repair existing plywood deck as required.
  - t. Repairs / patch / repair existing plywood deck as required.
  - u. Repairs / patch / repair existing plywood deck as required.
  - v. Repairs / patch / repair existing plywood deck as required.
  - w. Repairs / patch / repair existing plywood deck as required.
  - x. Repairs / patch / repair existing plywood deck as required.
  - y. Repairs / patch / repair existing plywood deck as required.
  - z. Repairs / patch / repair existing plywood deck as required.

MARC VENTURA, AIA, LLC  
4202 Rice St.  
Lihue, Kauai 19676  
Phone: 808 246 3936  
Fax: 808 246 3936



MARC VENTURA, AIA, LLC  
Lihue, Kauai, Hawaii  
4444 Rice St # 301  
TMK(4) 3-6-009: 006  
OWNER: COUNTY OF KAUAI

8/0 SET - JANUARY 01, 2024

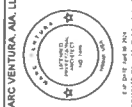

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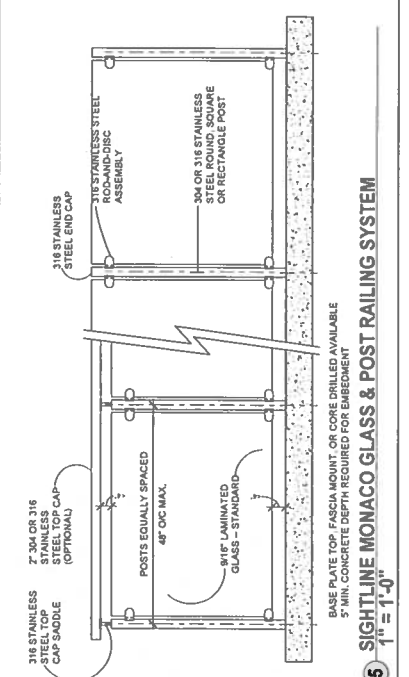
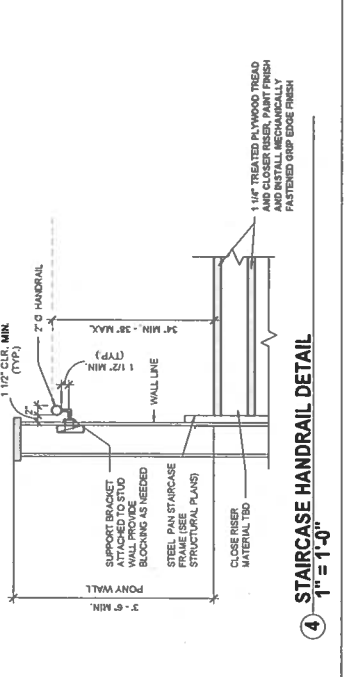
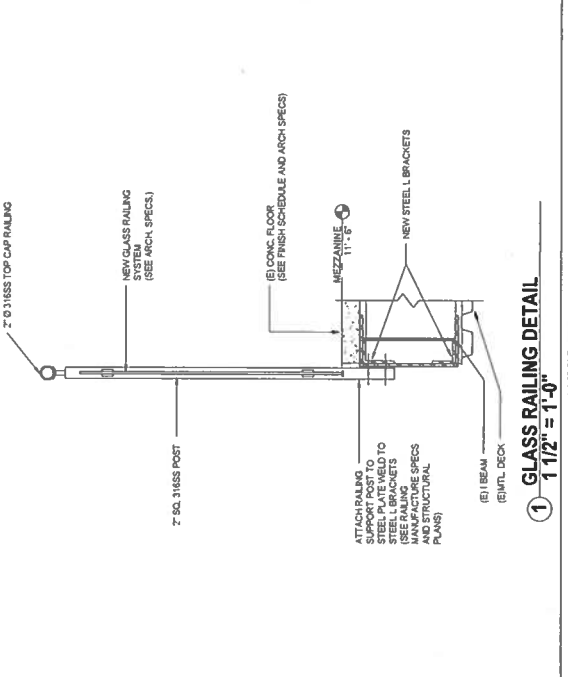
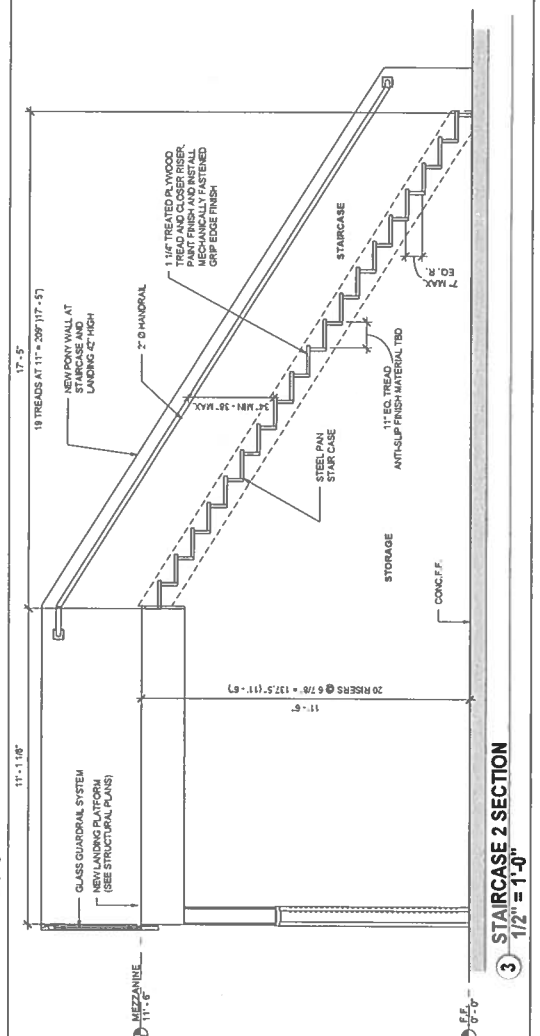
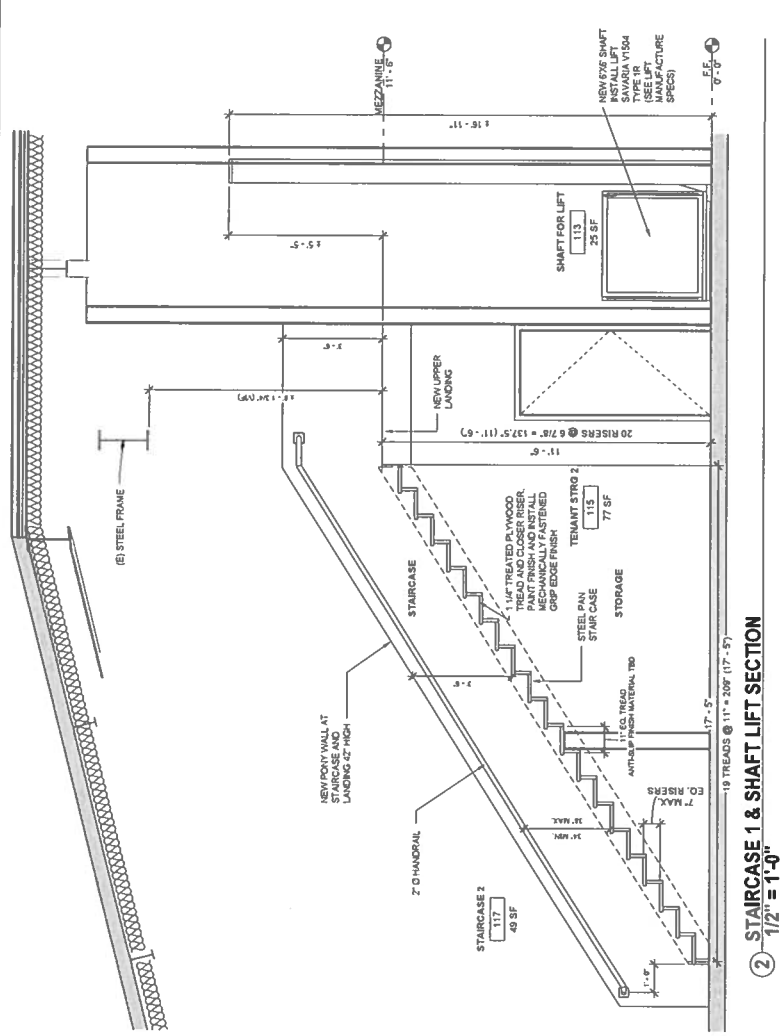
ROOF DETAILS

REV	DESCRIPTION	DATE





 <p>MARC VENTURA AIA, LLC Professional Engineer License No. 11044 Professional Architect License No. 11044</p>	 <p>MARC VENTURA AIA, LLC 4202 Rice St. Lihue, Kauai 96766 Phone: 808 246 3936 Fax: 808 246 3936</p>					
<p><b>PIIKOI YOUTH CENTER</b> <b>4444 RICE ST # 301</b> <b>LIHUE (KAUAI, HAWAII)</b> <b>TMK(4) 3-6-005; 006</b> <b>OWNER: COUNTY OF KAUAI</b></p>						
<p><b>A4.4</b> BIG SAVE ALTERATION RDL SET - AUGUST 01, 2023</p>						
<p>STAIRCASE &amp; RAILING DETAIL</p>						



1 **GLASS RAILING DETAIL**  
1 1/2" = 1'-0"

2 **STAIRCASE 1 & SHAFT LIFT SECTION**  
1/2" = 1'-0"

3 **STAIRCASE 2 SECTION**  
1/2" = 1'-0"

4 **STAIRCASE HANDRAIL DETAIL**  
1" = 1'-0"

5 **SIGHTLINE MONACO GLASS & POST RAILING SYSTEM**  
1/4" = 1'-0"

**MARC VENTURA, AIA, LLC**

*Marc Ventura*

4202 Rice St.  
Lihue, Kauai 96766  
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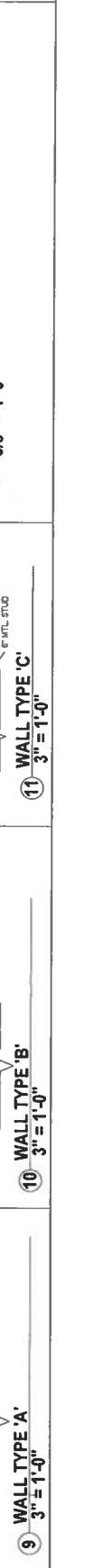
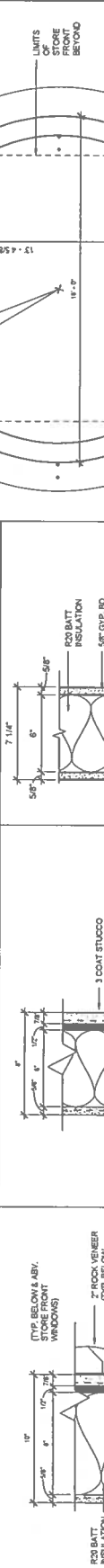
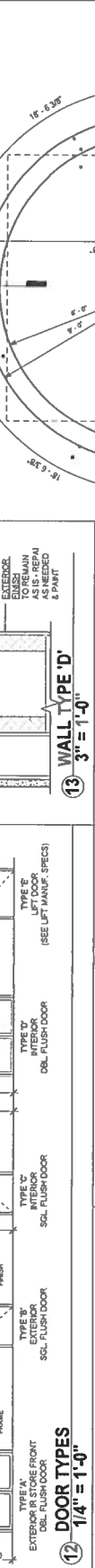
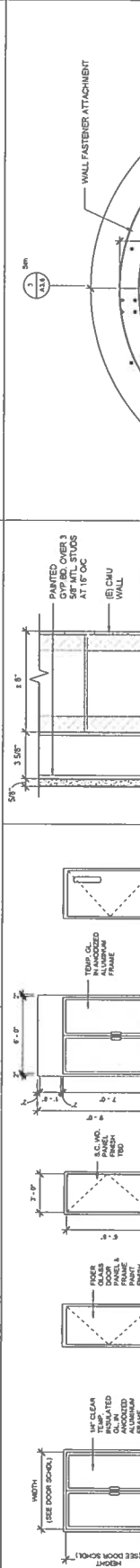
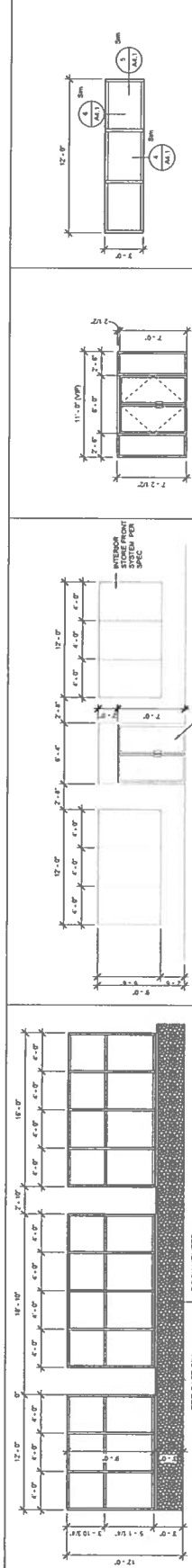
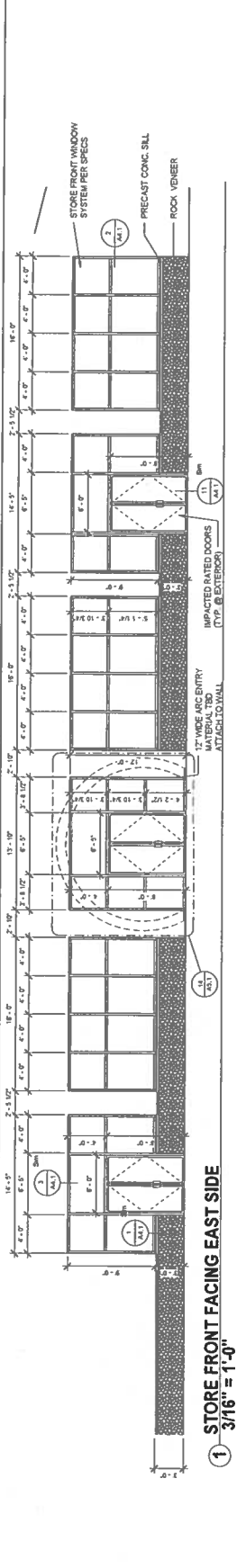
REV.	DESCRIPTION	DATE

**PIIKOI YOUTH CENTER**  
**BIG SAVE ALTERATION**  
**4444 RICE ST # 301**  
**LIHUE, KAUAI, HAWAII**  
**TMK(4) 3-6-005: 006**  
**OWNER: COUNTY OF KAUAI**

BID SET - JANUARY 01, 2024

**A5.1**

STORE FRONT, DOOR TYPES & WALL TYPES



**1 STORE FRONT FACING EAST SIDE**  
**3/16" = 1'-0"**

**2 STORE FRONT FACING SOUTH SIDE**  
**3/16" = 1'-0"**

**3 INTERIOR GLAZING 'A'**  
**3/16" = 1'-0"**

**4 INTERIOR GLAZING 'B'**  
**3/16" = 1'-0"**

**5 INTERIOR GLAZING 'C'**  
**3/16" = 1'-0"**

**6 INTERIOR GLAZING 'D'**  
**3/16" = 1'-0"**

**7 DOOR TYPES**  
**1/4" = 1'-0"**

**8 ARCH SIGNAGE DETAIL**  
**3/8" = 1'-0"**

**9 WALL TYPE 'A'**  
**3" = 1'-0"**

**10 WALL TYPE 'B'**  
**3" = 1'-0"**

**11 WALL TYPE 'C'**  
**3" = 1'-0"**

**12 WALL TYPE 'D'**  
**3" = 1'-0"**

**PIIKOI YOUTH CENTER**  
**BIG SAVE ALTERATION**  
**4444 RICE ST # 301**  
**LIHUE, KAUAI, HAWAII**  
**OWNER: COUNTY OF KAUAI**

REV. NO. \_\_\_\_\_ DATE \_\_\_\_\_ DESCRIPTION \_\_\_\_\_

**MARC VENTURA, AIA, LLC**  
 4202 Rice St.  
 Lihue, Kauai 96766  
 Phone: 808 246 3936  
 Fax: 808 246 3936

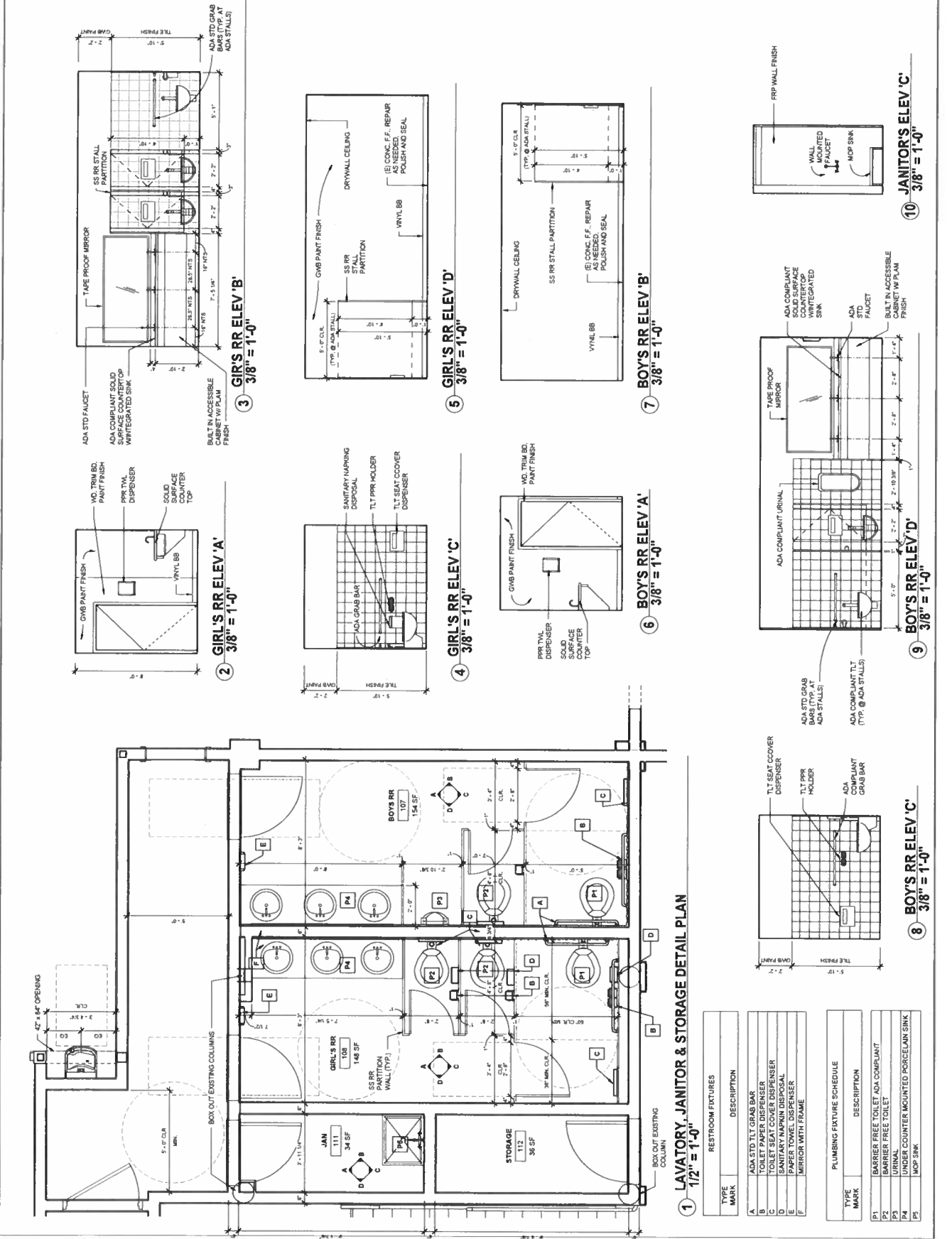
*Marc Ventura*

MARC VENTURA, AIA, LLC

**ADA COMPLIANT**  
 101010  
 101010  
 101010

MARC VENTURA, AIA, LLC

BD SET - JANUARY 01, 2024  
**A6.1**  
 LAVATORY, JANITOR AND STORAGE DETAIL PLAN & INT. SCHEDULES



**1 LAVATORY, JANITOR & STORAGE DETAIL PLAN**  
**1/2" = 1'-0"**

TYPE MARK	RESTROOM FIXTURES	DESCRIPTION
A	ADA STD TLT GRAB BAR	
B	TOILET PAPER DISPENSER	
C	TOILET SEAT COVER DISPENSER	
D	SANITARY NAPKIN DISPOSAL	
E	PAPER TOWEL DISPENSER	
F	MIRROR WITH FRAME	

TYPE MARK	PLUMBING FIXTURE SCHEDULE	DESCRIPTION
P1	BARRIER FREE TOILET ADA COMPLIANT	
P2	BARRIER FREE TOILET	
P3	URINAL	
P4	UNDER COUNTER MOUNTED PORCELAIN SINK	
P5	MOP SINK	

**2 GIRL'S RR ELEV 'A'**  
**3/8" = 1'-0"**

**3 GIRL'S RR ELEV 'B'**  
**3/8" = 1'-0"**

**4 GIRL'S RR ELEV 'C'**  
**3/8" = 1'-0"**

**5 GIRL'S RR ELEV 'D'**  
**3/8" = 1'-0"**

**6 BOY'S RR ELEV 'A'**  
**3/8" = 1'-0"**

**7 BOY'S RR ELEV 'B'**  
**3/8" = 1'-0"**

**8 BOY'S RR ELEV 'C'**  
**3/8" = 1'-0"**

**9 BOY'S RR ELEV 'D'**  
**3/8" = 1'-0"**

**10 JANITORS' ELEV 'C'**  
**3/8" = 1'-0"**







**DEPARTMENT OF PLANNING**

KA'ĀINA HULL, DIRECTOR  
JODI A. HIGUCHI SAYEGUSA, DEPUTY DIRECTOR



DEREK S.K. KAWAKAMI, MAYOR  
REIKO MATSUYAMA, MANAGING DIRECTOR

**Kaua'i County Historic Preservation Review Commission  
(KHPRC)**

**DIRECTOR'S REPORT**

**1) SUMMARY**

**Action Required by KHPRC:**

Consideration of a Class IV Zoning Permit and Use Permit for the proposed conversion and renovation of the former Big Save grocery store to a youth center.

**KHPRC action may include the following:**

- 1) Support for the project as represented.
- 2) A recommendation that its approval of the project should incorporate conditions of approval.
- 3) A recommendation to consider denial of the permits.
- 4) A recommendation to defer action on the permits.

**2) PROJECT INFORMATION**

<b>Permit Numbers</b>	HPRC-2024-9 Class IV Zoning Permit Z-IV-2024-XX Use Permit U-2024-XX Building Permit BP-2024-537		
<b>Parcel Location:</b>	Līhu'e, Kaua'i		
<b>Tax Map Key(s):</b>	(4) 3-6-005:027	<b>Area:</b>	1.5369 Acres 66,947 sq. ft.
<b>LAND USE DESIGNATIONS &amp; VALUES</b>			
<b>Zoning:</b>	SPA-G Overlay Zoning/ C-G Underlay Zoning		
<b>State Land Use District:</b>	Urban		
<b>General Plan Designation:</b>	Neighborhood Center		
<b>Owner(s)/ Applicant:</b>	County of Kaua'i		

**3) PROJECT DESCRIPTION**

*H.l.a.*

**MAY 16 2024**



The Applicant, the County of Kaua'i, is proposing to convert and renovate the former Big Save grocery store space into a youth center. The proposed scope of work will involve both interior and exterior alterations to the existing building. The interior work will include renovating the existing space and improving the existing mezzanine area for future tenant improvements.

Some of the exterior improvements include the following:

- Addition of a new clerestory roof on top of the existing roof
- Removal of a portion of the existing flat roof
- Reroof a portion of the building to address roof damage and leaking. Proposed roof tile will be a clay shingle to replace the existing composite tile roof material.
- Opening up the Eiwa street side of the building with the addition of hurricane resistant and energy efficient storefront windows and doors.

A full detailed list of the interior and exterior improvements are contained within the Applicant's cover letter and the building permit construction plans. The Applicant has also provided conceptual plans as part of their application to help provide a better visual of what the proposed improvements will look like.

#### 4) **PROJECT HISTORY AND BACKGROUND**

The Līhu'e Civic Center is historically known as the original retail and commerce hub for Līhu'e Town. Over the last century, the built environment of this area drastically transformed from a simple, plantation commercial town to a thriving mall campus, formerly known as the Līhu'e Shopping Center. Today, the former mall buildings continue to be used by the County of Kaua'i as a centralized operation of government services. The following below provides some background history about the overall parcels that make up the Līhu'e Civic Center and provides some information about the history of uses in the **project area**- the former Big Save building that is the subject of this proposed application.

##### **The Beginnings of Līhu'e Town (Plantation Days Era)**

The development of Līhu'e Town, which centered around the mill, included general retail and commercial activities that were once located within the project area. During the early 1900s, the Līhu'e Town Center had a much simpler development pattern with smaller buildings that were oriented along the original Kūhiō Highway (Griffin, 2014). Reinforced concrete buildings, such as the Līhu'e Store, its warehouse, and the original Tip Top building, were major structures located within the project area and frequented by residents (Griffin, 2014). The

original locations of these early buildings are provided in the attached Exhibit A map and taken from Griffin's (2014) book.

### **1960s- Līhu'e Shopping Center (Mall Era)**

However, by the 1960s the Līhu'e Plantation landowners envisioned a more modern town core (Griffin, 2014). Their vision for Līhu'e Town included dramatic plans to demolish the existing town center to make space for a mall development—a new type of shopping center that started to emerge with suburban development trends (Griffin, 2014). The attached Exhibit A provides a map of what buildings were demolished (Līhu'e Store and Tip top) and what new buildings were added as part of the new shopping center development (Griffin, 2014). It should also be noted that the Hawaiian Telecom building, which remains today, is one of the original buildings within the project area that did not get demolished for the new shopping center development (Griffin, 2014).

The conceptual plans for the new shopping center were designed by architect John Graham, Jr. who was known for his Seattle space needle design and his design of the Ala Moana Shopping Center in Honolulu (Griffin, 2014). Aspects such as the uniqueness of the Rotunda building and the use of native coral rock for exterior siding were character defining features and architectural styles synonymous with Graham's designs (Griffin, 2014).

Līhu'e Plantation owned the subject property until 1974 when they sold some of its landholdings to HRT, Ltd., Harry Weinberg Company (Griffin, 2014). The project area was developed in the 1960s as Phase I of the Līhu'e Shopping Center development and was occupied by several businesses over the years (Griffin, 2014). Between 1964-1967, the project area was known as the Food Center and was adjacent to the main department store (Griffin, 2014). By 1967, Foodland occupied the space until Big Save grocery store moved in (Griffin, 2014). In more recent times, the project area is known as the former Big Save grocery store that was centrally located in Līhu'e Town. Big Save was a one-stop shop for groceries, meats, fresh produce, and other general goods. Historical photos of the previous businesses are attached as Exhibit B and provided courtesy of the Kaua'i Historical Society along with photos collected from other sources.

### **1987- County of Kaua'i (Civic Center Era)**

In 1987, the County of Kaua'i purchased the former Līhu'e Shopping Center from HRT, LTD., Harry Weinberg Company (Griffin, 2014). The County of Kaua'i renovated and converted the former mall into government offices. The project area continued as a retail use until Times Supermarket bought out Big Save stores in 2011 and decided to shut down the Līhu'e Civic Center location because of its

proximity to the Lihu'e Times Supermarket at the Kukui Grove Shopping Center (Gomes, 2011).

## 5) ZONING PERMIT HISTORY

The Department has identified some of the zoning permits that the Department maintains and that are associated with the project area. The table of zoning permits below should not be construed as comprehensive, but rather a representative sampling and summary of the types of improvements that have occurred over the years. It should be noted that there were no OEP (Hurricane Iniki) permits for this area.

In summary, the zoning permits that were analyzed show that there have been several exterior alterations and additions to the project area, primarily on the Hardy Street and Eiwa Street sides of the building. Such alterations are apparent in the plans available for 1974 (Foodland), 1977 (Foodland), 1982 (Foodland), 1988 (Big Save), and 2019 (COK).

Year	Permit Number	Applicant	Description
1963	Variance #86	Lihu'e Plantation Co., LTD.	Department Store and Food Market (Phase I of the Lihu'e Shopping Center)
1974	Z-56-1974	Foodland Supermarket	Alteration of a portion of the interior of market and addition of storage room attached to the building (on the Eiwa Street side).
1977	Z-99-1977	Foodland Supermarket	New Market Extension (to the Hardy Street side of the building)
1982	Z-459-1982	Foodland Supermarket	Improvement- Addition to the existing store (addition and renovation for the liquor storage and produce prep within the existing fenced in prep area).

			Scope of work to take place in an existing fenced area attached to the Eiwa Street side of the building.
<b>1982</b>	<b>Z-525-1982</b>	<b>Foodland Supermarket</b>	Interior Renovations and Addition (Permit notes that there is a new entrance along Hardy Street).
<b>1988</b>	<b>Z-453-1988</b>	<b>Big Save</b>	Construction of Storage Addition (to the Eiwa Street side of the building)
<b>2006</b>	<b>Z-1148-2006</b>	<b>County of Kaua'i</b>	Offices Work force initiative project.
<b>2013</b>	<b>Z-472-2013</b>	<b>County of Kaua'i</b>	Abatement of existing asbestos containing floor tiles, mastic, gypboard, and light fixtures w/ hazmat ballast.
<b>2019</b>	<b>Z-502-2019</b>	<b>County of Kaua'i</b>	Demolition permit to remove an existing storage rooms, existing exterior CMU columns, existing fencing, and concrete ramps on the Eiwa Street side of the building.

The subject property is also mentioned as part of the following plans:

- Līhu'e Town Core Urban Design Plan (2010)
- Līhu'e Community Plan (2015)

**6) TRIGGER FOR KHPRC REVIEW**

*Hawai'i Revised Statutes (HRS) §6E-2 defines "Historic property" as "any building, structure, object, district, area, or site, including heiau and underwater site, which is over fifty years old."*

*Hawai'i Administrative Rules Title 13 defines "Significant Historic Property" as "any historic property that meets the criteria" for listing on the Hawai'i Register of Historic Places under HAR 275-6(b) or HAR 2846(b).*

**Site/Building/Structure/Object IS NOT Listed on the National or State Historic Register.**

**The subject property is NOT located in a Historic District.**

**The subject property and the structures ARE over 50 years old and ARE by law defined as a "historic property."**

**The subject property IS NOT included on the KHPRC inventory list.** The KHPRC inventory list was updated in 2012 for the Līhu'e properties; however, the subject property was not yet 50 years of age during the time of the inventory update.

The subject property is also surrounded by other significant historic properties such as the Kaua'i Museum, Līhu'e Civic Center Historic District, the GTE Hawaiian Telecom Building, and the Līhu'e Post Office building.

## **7) CRITERIA FOR NOMINATIONS TO THE HAWAII REGISTER OF HISTORIC PLACES**

Pursuant to HAR Section 13-198-8, in deciding whether a property should be entered and ordered into the Hawai'i Register, the Review Board shall evaluate whether the property meets or possesses, individually or in combination, the following criteria or characteristics:

- (1) The quality of significance in Hawaiian history, architecture, archeology, and culture, which is present in districts, sites, buildings, structures, and objects of State and local importance that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:
  - (A) That are associated with *events* that have made a significant contribution to broad patterns of our American or Hawaiian history.
  - (B) That are associated with the lives of persons significant in our past.
  - (C) That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or

that possess high artistic value, or that represent a significant and distinguishable entity whose components may lack individual distinction.

(D) That have yielded, or may be likely to yield, information important in prehistory or history.

- (2) Environmental impact, i.e., whether the preservation of the building, site, structure, district, or object significantly enhances the environmental quality of the State;
- (3) The social, cultural, educational, and recreational value of the building, site, structure, district, or object, when preserved, presented, or interpreted, contributes significantly to the understanding and enjoyment of the history and culture of Hawai'i, the Pacific area, or the nation.

Pursuant to the above criteria, the existing building may be eligible for listing:

**(E) That are associated with events that have made a significant contribution to broad patterns of our American or Hawaiian history.**

The project area may be historically significant as being a retail center for Līhu'e Town and for the rest of the island during the plantation period as well as the 1960s-1980 time period. The project area may be eligible as properties associated with a pattern of events that broadly represent the commercial growth and development of Līhu'e town.

**(F) That are associated with the lives of persons significant in our past.**

The subject property is not likely to be significantly associated with the lives of persons significant in our past.

**(G) That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic value, or that represent a significant and distinguishable entity whose components may lack individual distinction.**

The subject property may be eligible for listing through Criteria C by meeting the following:

- ***Embodying distinctive characteristics of a type, period, or method of construction***
  - The project area is representative of land use patterns and architectural designs that are in keeping with mall developments that became popular after WWII.
- ***Represents the work of a master.***
  - The project area was designed by architect John Graham, Jr. who was known for his famous Space Needle design and other mall developments. In particular, the unique design and shape of the Rotunda along with the coral rock exterior siding were Graham's signature style that he integrated into the Līhu'e Shopping Center design (Griffin, 2014).
- ***Represent a significant and distinguishable entity whose components may lack individual distinction.***
  - Overall, this project area, along with other contributing buildings, may represent a significant and distinguishable entity as the former Līhu'e Shopping Center. Together, they may be eligible as a historic district.

**(H) That have yielded, or may be likely to yield, information important in prehistory or history**

The subject property is not likely to yield information important in prehistory or history.

Although the project area may be eligible for listing to the register as an individual building under Criteria A and Criteria C, the subject building may qualify better as a contributing building under a new historic district that may encompass the former Līhu'e Shopping Center buildings. More analysis and research would be needed to determine if such a historic district would be significant and eligible for listing to the National or State Register of Historic Places. If not under a new historic district, then it could be integrated as part of the existing Līhu'e Civic Center Historic District, which is currently listed on the National and State Register of Historic Places. The existing historic district includes the old courthouse, the County Council building, the County Lawn, and the County annex building.

## 8) EVALUATION OF HISTORIC INTEGRITY

Based on the Department's review of zoning permits and analysis of historical photos, the Department has determined that the project area has undergone several exterior alterations and additions. As represented in the zoning permit history, most of the exterior alterations have involved the removal of accessory structures or the addition of accessory structures that were attached to the existing building at either the Hardy Street and Eiwa Street side of the building.

From a materials standpoint, it appears that the existing exterior siding of the building, facing Eiwa Street Side, may be the original siding material that matches historical photos of the Food Center in the 1960s. It also appears through later zoning permits that the Hardy Street façade of the building changed with Foodland's market extension in 1977. Even though there could be grounds to say that some aspects of the design and maybe materials may be diminished, it could be argued that other aspects of historic integrity such as the overall design, location, setting, feeling, and association have been retained.

## 9) DEPARTMENT'S EVALUATION

Based on the information available, the proposed improvements could be perceived as having an effect on the historic property, especially if the building was to be nominated as part of a historic district. Although some portions of the building may have been modified and altered over the years, it has still retained other aspects of historic integrity that still make it recognizable as the former Līhu'e Shopping Center.

As represented by the Applicant, the clerestory roof addition was proposed to bring in natural light into the space. Alternative designs that were considered by the Applicant included eliminating the clerestory roof addition or proposing an open-air exterior courtyard. However, these alternative designs were not selected for various reasons including drainage issues, security issues, and lack of lighting issues. The Department understands the need for natural light and ventilation of the building and therefore hopes the commission can provide comments to help mitigate that clerestory roof addition through design considerations.

## 10) RECOMMENDATION

Based on the foregoing evaluation, the Planning Department recommends that the Kaua'i Historic Preservation Review Commission **provide comments and design feedback about the proposed project.**



The Commission is further advised that this report does not represent the Planning Department's final recommendation in view of the forthcoming public hearing process whereby the entire record should be considered prior to decision making. The entire record includes but is not limited to:

- a. Government agency comments;
- b. Testimony from the general public and interested others; and
- c. The land owner's response.

By   
MARISA VALENCIANO  
Planner

Approved & Recommended to Commission:

By   
JODI A. HIGUCHI SAYAGUSA  
Deputy Director of Planning

Date: 5/9/24

#### Works Cited

Gomes, A. (2011, May 19). Big Save stores sold to Times. *Star Advertiser*.  
<https://www.staradvertiser.com/2011/05/19/business/big-save-stores-sold-to-times/>

Griffin, P. L. (2014). *Līhu'e : root and branch of a Hawai'i town*. Kaua'i Historical Society.

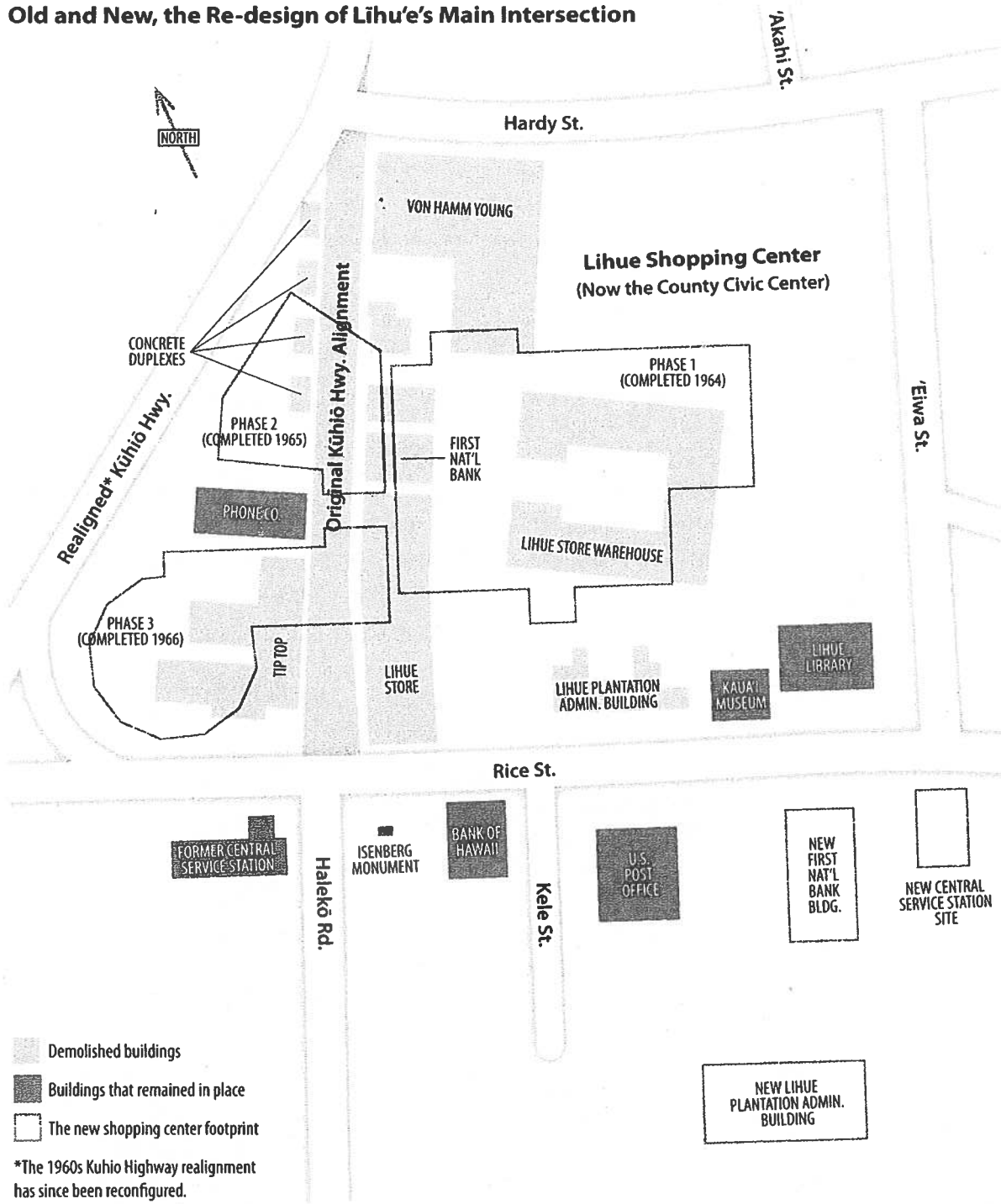
# EXHIBIT “A”

## Map of Old Lihue Town vs. Lihue Shopping Center

Source:

Griffin, P. L. (2014). *Līhu‘e : root and branch of a Hawai‘i town*. Kaua‘i Historical Society. p. 76.

# Old and New, the Re-design of Lihue's Main Intersection



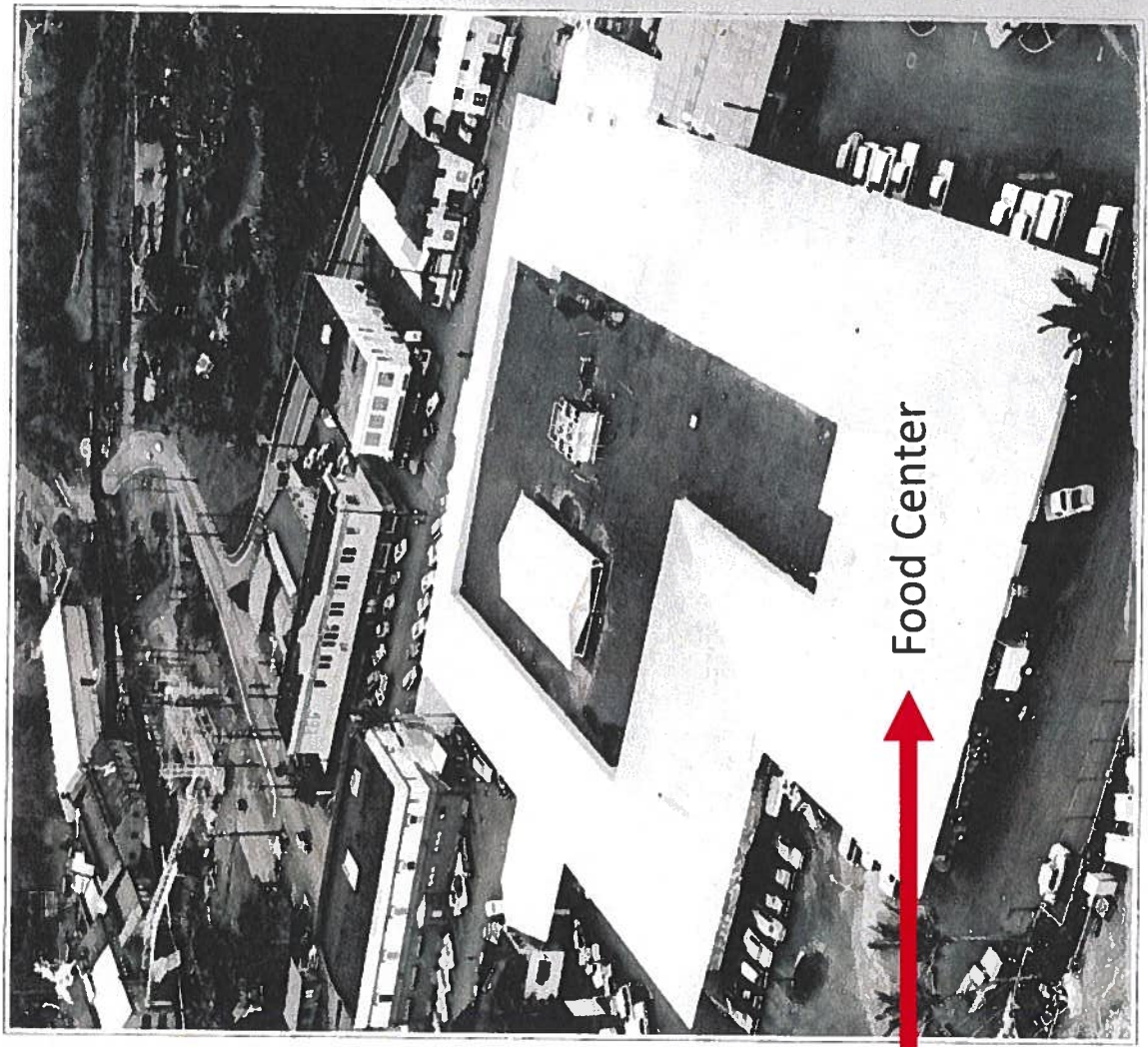
# Exhibit B: Historical Photos of the Project Area

## Source Material:

- Courtesy of the Kaua'i Historical Society with special acknowledgements to Commissioner Gately
- Gomes, A. (2011, May 19). Big Save stores sold to Times. *Star Advertiser*. <https://www.staradvertiser.com/2011/05/19/business/big-save-stores-sold-to-times/>
- Griffin, P. L. (2014). *Lihue : root and branch of a Hawaii'i town*. Kaua'i Historical Society. p. 76.

# The Līhu'e Shopping Center Phase I (est. 1960s):

Source: (Griffin, 2014, p. 80) with notations added



Hardy Street

Eiwa Street

# The Līhu'e Shopping Center Phase I (est. 1960s):



Source: Kaua'i Historical Society (Līhu'e 10e)

# The Līhu'e Food Center (est. 1960s):

Intersection of Hardy and Eiwa Street



Source: Kaua'i Historical Society (Līhu'e 7b Eiwa Street)

# The Līhu'e Food Center (est. 1960s):

Hardy Street View of Building



Source: Kaua'i Historical Society (Līhu'e 12a)



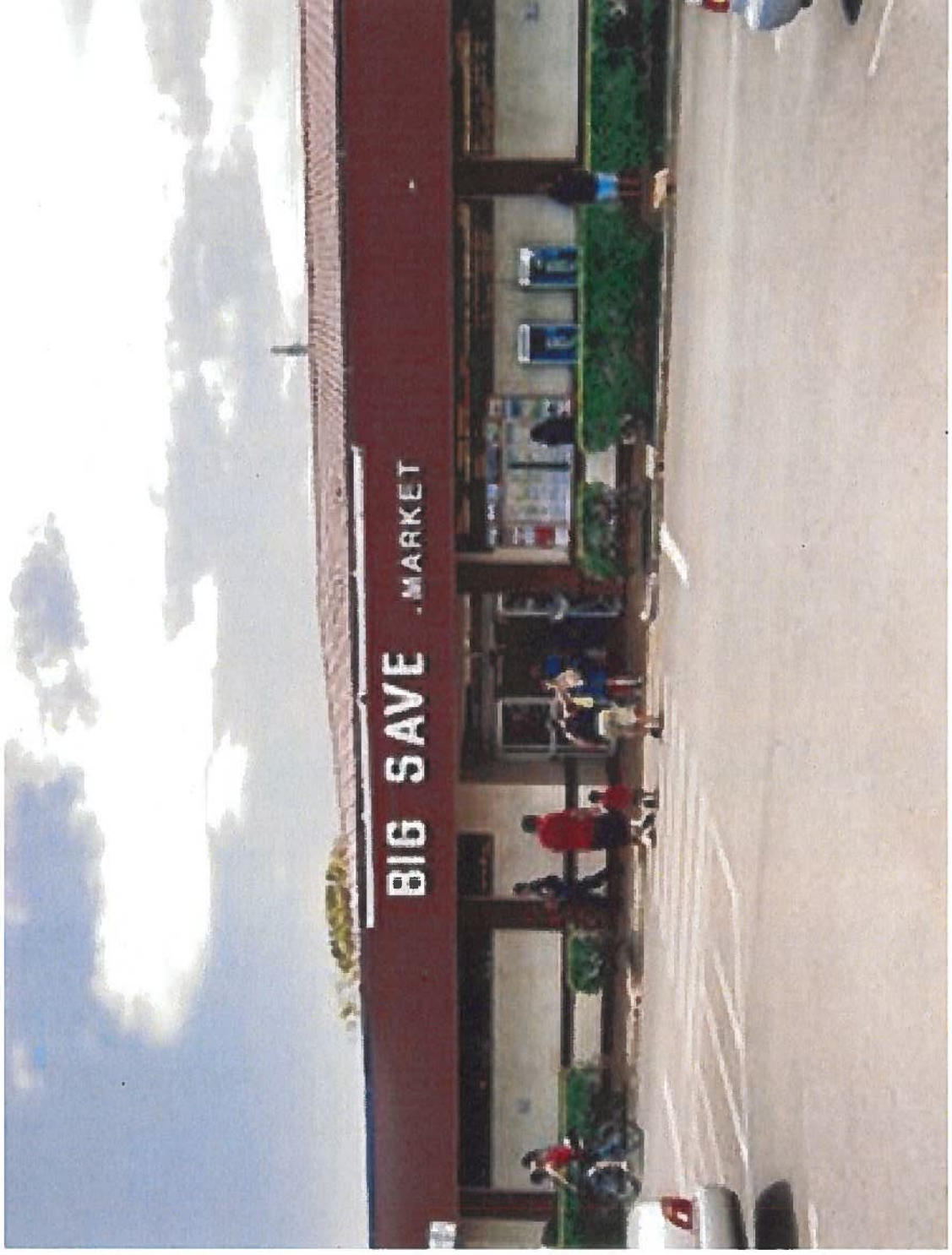
# The Līhu'e Food Center (est. 1960s)



Source: Kaua'i Historical Society (Līhu'e 4a Food Center)

# Big Save Market

Source: (Gomes, 2011)





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April 25, 2024

**Marisa Valenciano**  
**Planning Department**  
**County of Kauai**  
4444 Rice Street, A473  
Lihue, Kauai, Hawaii

**Subject: Preliminary Conceptual Plans for the Proposed Demolition and Reconstruction of a Commercial Building on 4460 Ahukini Road**  
Tax Map Keys: (4) 3-7-001:034 portion of and (4) 3-7-001:033  
Property Address: 4460 and 4480 Ahukini Road  
Līhu'e, Hawai'i

Dear Ms. Valenciano:

Group 70 International, Inc. dba G70 ("G70") is assisting the Harry & Jeanette Weinberg Foundation (HJWF) to evaluate the future potential of their properties at 4460 and 4480 Ahukini Road. The two-story commercial building at 4480 Ahukini Road, known by some as Kuhn's House, is estimated to have been built between 1920 and 1930. As it was constructed more than 50 years old, it is considered a "historic property" as defined by HRS Chapter 6E. The structure, however, is not on the national or state register of historic properties.

We understand that this project is subject to review by the Kauai Historic Preservation Review Commission (KHPRC) and (potentially) the State Historic Preservation Division (SHPD) of the Hawaii Department of Land and Natural Resources (DLNR). Therefore, HJWF is seeking the Commission's feedback early in its design process.

On behalf of HJWF, Ryan Gilbert and I (Rene Matsumura) are requesting an audience with the Commission to share a preliminary proposal for the redevelopment of this site. HJWF is considering demolishing the existing structure and building a similar building on the adjacent site, 4460 Ahukini Road.

The existing structure has identified a need for improvements including but not limited to the replacement of doors and windows, replacement of plumbing, electrical work, and repair to the structure where termite and moisture damage to the structure was observed. Approximately 40% of the exterior surfaces need repair or replacement as a result of water or termite damage. In addition, the the permit for such work would trigger a new wastewater infrastructure for the property which is currently served by a cesspool. There is no sewer lateral to the property.

A repair and improvement cost estimate was conducted by a contractor in 2022. The estimated cost to repair the structure was \$1.5 million, the wastewater improvements mentioned above were not included in that estimate and would be an additional expense to the project. HJWF is a non-profit organization and cannot use tax credits to offset the cost of improvements to the structure.


**H.2.**  
**MAY 16 2024**

HJWF is proposing the reconstruction of a building similar in massing and character. A new purpose-built commercial building that would have more viable commercial spaces is essential to the success of the parcel as a commercial property. The irregular spaces within the current structure, the lack of sewer capacity, and the ADA-inaccessible second-story spaces make the current structure a challenge to lease.

A report of Initial Findings and Observations of the building is provided in addition to some photos and plan exhibits. We will be pleased to answer any immediate questions about the project that the Commission may have at the upcoming meeting, and/or to provide additional detailed information if and as requested at a subsequent Commission meeting.

Ryan and I look forward to meeting with you and the Commission on May 16, 2024 to discuss our project. If you have any questions or require additional information in the meantime, please feel free to contact me.

Mahalo,

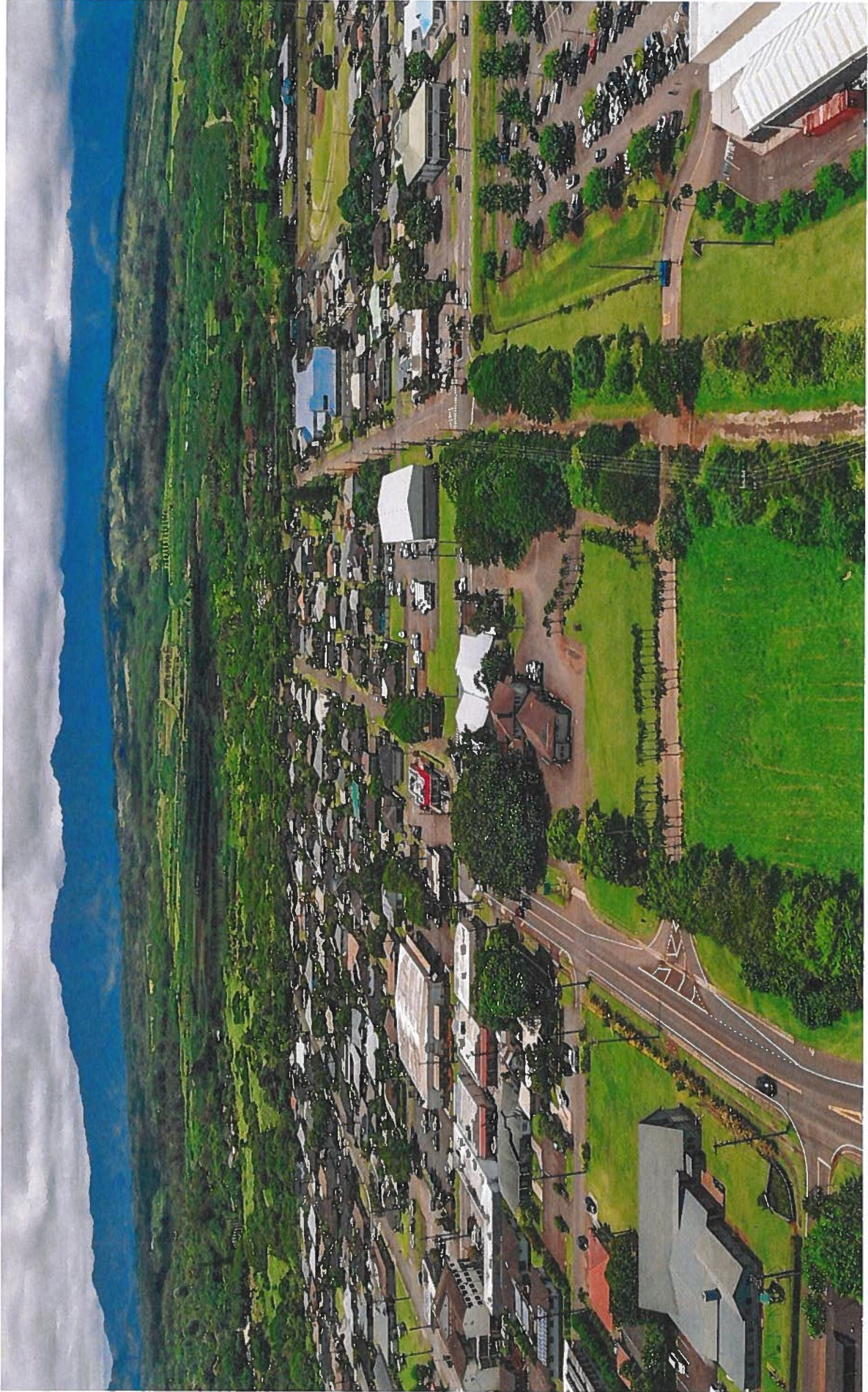
A handwritten signature in black ink, appearing to read "Rene Matsumura".

Rene Matsumura, Darch, AIA, LEED AP  
Principal

t 808.523.5866

d 808.441.2131

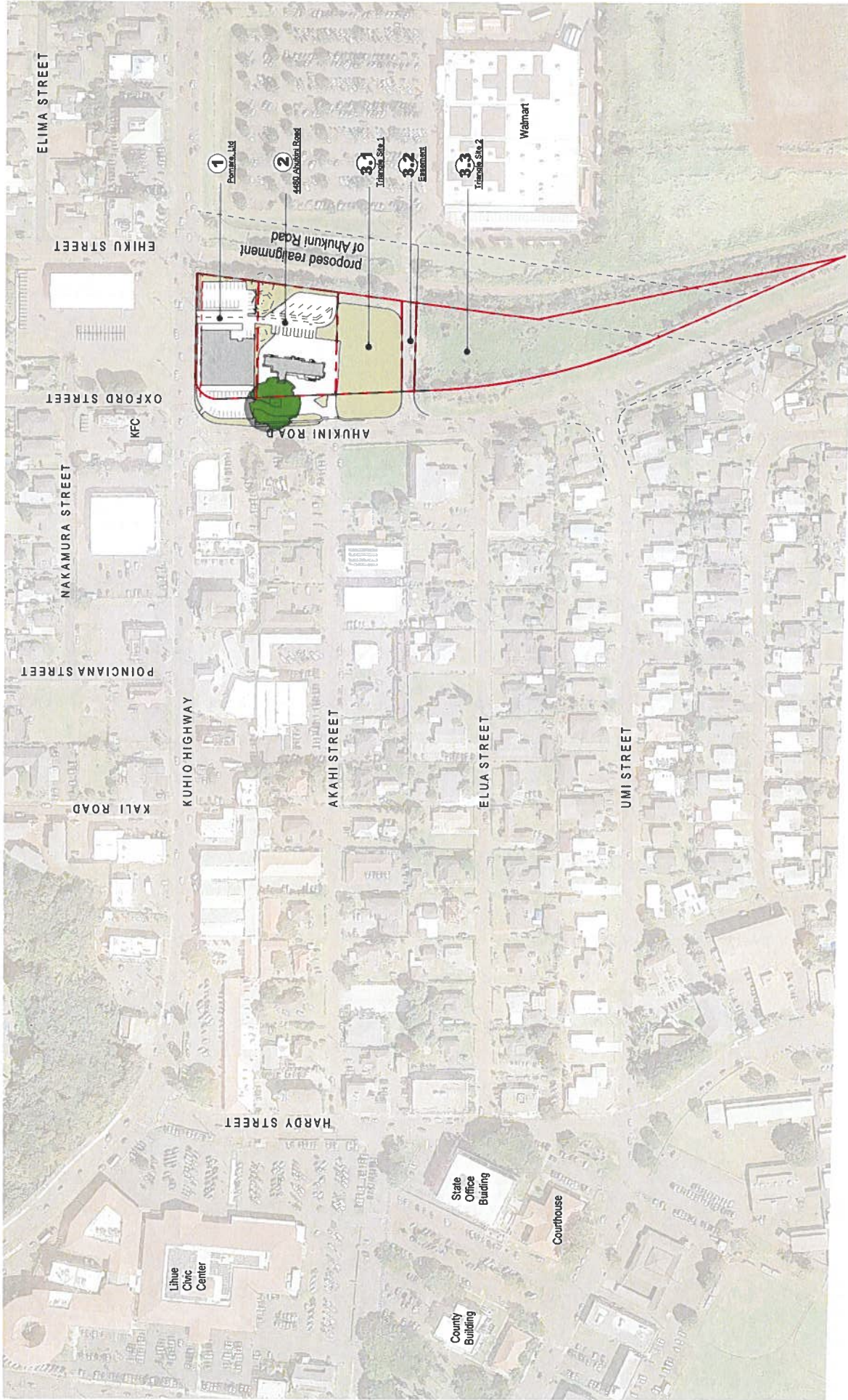
e [renem@g70.design](mailto:renem@g70.design)



The Harry and Jeanette Weinberg Foundation



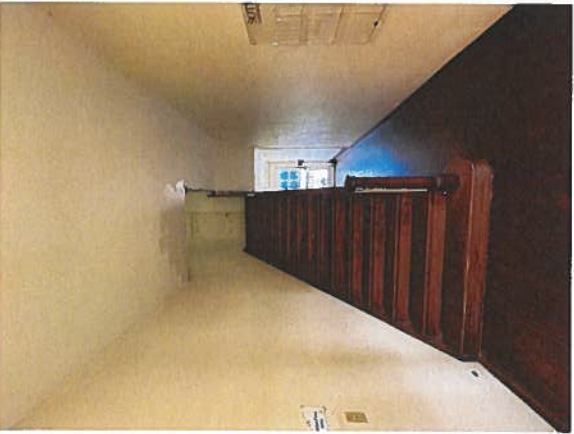
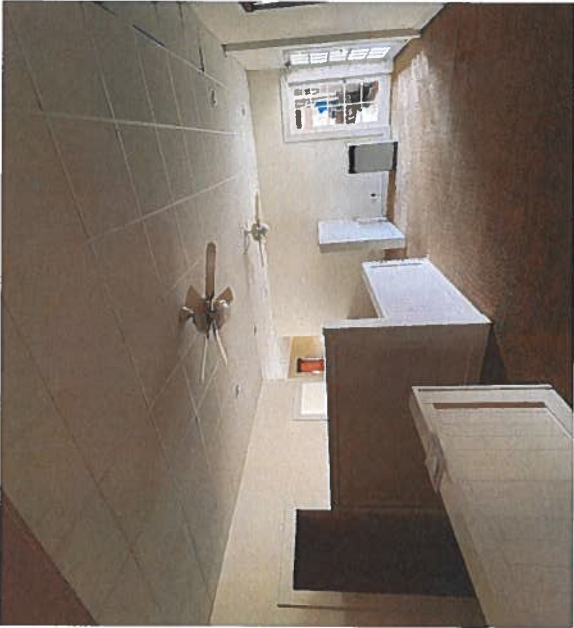
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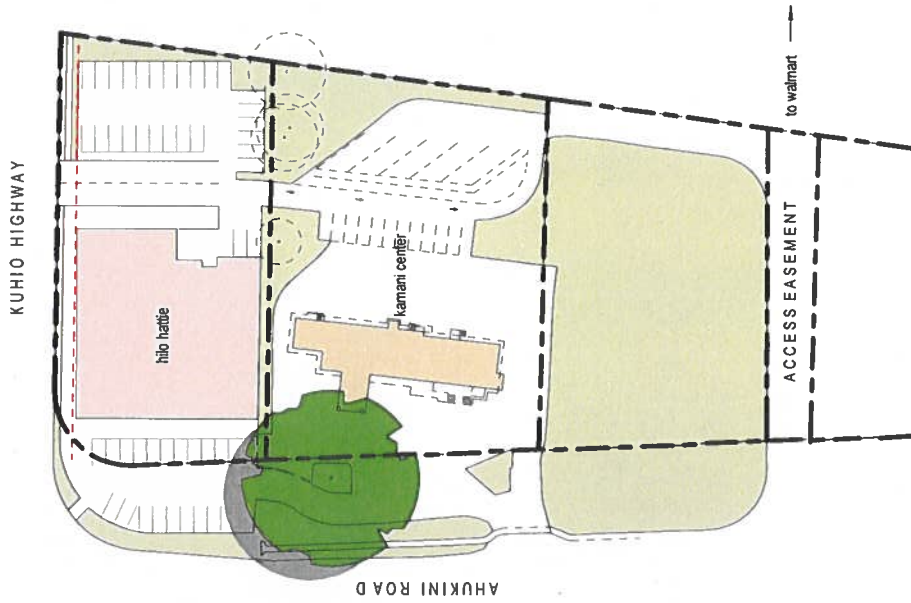














**Kamani Center “Kuhns House”  
4480 Ahukini Street, Lihue, HI**

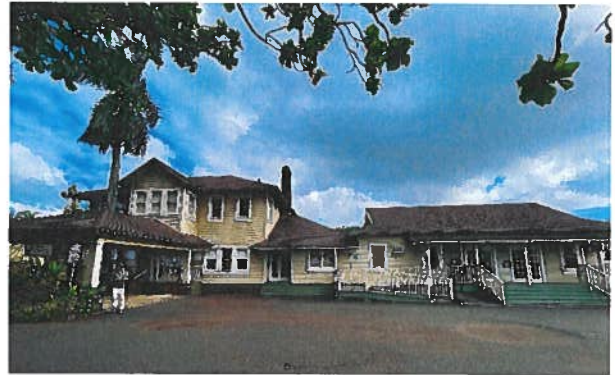
## **Initial Findings & Observations**

**Prepared by:** Laurel Margerum

**Date:** March 18, 2024

**Builder:** Lihue Plantation Company

**Approximate Year of Construction:** 1920-1930



### **1. Chain of Title & Property History:**

The land on which the Kamani Center sits was granted to Victoria Kamamalu, a granddaughter to King Kamehameha, as part of a larger parcel of 51,000 acres during the Great Mahele in 1848.<sup>1</sup>

Kamamalu and her father Mataio Kekuanaoa sold 2,000 of these acres in Lihue to Henry A. Pierce and Company in 1849. Pierce and Company became Lihue Plantation Company in 1859.<sup>2</sup> The first Lihue Plantation mill sat in the Nawiliwili Stream valley. The plantation added 300 acres at Ahukini in 1866 and 17,000 acres at Hanamaulu in 1872.<sup>3</sup> Presumably, the land which included the Kamani Center parcel was purchased in either the 1849 Lihue or 1872 Hanamaulu sale. The mill at Hanamaulu was constructed in 1878 but consolidated into the larger Lihue mill at Nawiliwili in 1920.

The land on which the Kamani Center sits was owned by Lihue Plantation Company until TMK 3-7-001:033 was sold to HRT Realty, the present owner. The deed is dated August 31, 1984, but references an earlier “unrecorded agreement of sale” dated March 29, 1974. Presumably, HRT Realty took possession of the Kamani Center building in 1974.

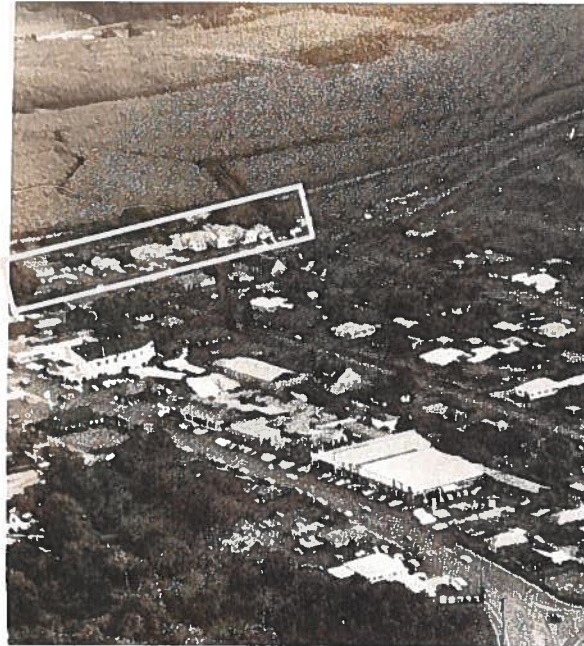
The Kamani Center lot was carved from a larger lot of sugar cane land owned by Lihue Plantation Company that is TMK 3-7-001:001 and currently about 350 undeveloped acres. This parcel of land was sold out of Lihue Plantation Company ownership in 2000. In the 1974 sale, Weinberg purchased the Kamani Center lot, referenced as lot number 2, and lot number 3, located directly to the east along Ahukini Road and another carve-out of the larger Lihue Plantation parcel. Lot 3 contained quite a few plantation buildings into at least the mid-1960s as evidenced by aerial photography (Figure 1). These buildings had been demolished by about 1972 according to later aerial photography (Figure 2).

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<sup>1</sup> Pat L. Griffin, *Lihue: Root and Branch of a Hawaii Town*, (Lihue: Kauai Historical Society, 2014).

<sup>2</sup> Ibid.

<sup>3</sup> Deborah Saito and Susan Campbell, “Lihue Plantation Company History,” Hawaiian Sugar Planter’s Association Plantation Archives at University of Hawaii at Manoa, accessed March 15, 2024, [https://www2.hawaii.edu/~speccoll/p\\_lihue.html](https://www2.hawaii.edu/~speccoll/p_lihue.html).



**Figure 1:** C. 1965 aerial view of Lihue. Kamani Center and other Lihue Plantation Company buildings are indicated by rectangle. Hawaiian Sugar Planters' Association via Griffin, 2014.



**Figure 2:** C. 1972 aerial view of Lihue. Kamani Center is indicated by rectangle. Image is undated but the circled house under construction in the foreground was built in 1972 according to county property records. George Bacon Collection at the State Archives:  
[https://digitalarchives.hawaii.gov/resources/images/ark\\_70111\\_1wmC.0.jpeg](https://digitalarchives.hawaii.gov/resources/images/ark_70111_1wmC.0.jpeg).

## 2. Approximate Construction & Changes to the Kamani Center

An exact date of construction for the Kamani Center could not be determined through preliminary research; however, the building is stylistically consistent with a building constructed in the 1920s. The Kauai County online property records list an approximate date of construction as 1929, which is likely within the correct decade of the date of construction considering the style of the house. Furthermore, prosperity in the sugar industry drove upgrading of plantation housing during the 1920s and 1930s.<sup>4</sup>

The original form of the building likely consisted of the central two-story portion, port cochere, western wing, and potentially a screened porch to the east of the central portion. The design features a light colonial revival spin on traditional plantation style with simple sidelights around the main entry and deep, exposed eaves. Typical plantation style features evident in the design of the Kamani Center include wood clapboard siding, a shingled hipped roof, lava rock column and wood trim. The one-over-one wood windows of the Kamani Center are more recent replacements, and the original wood windows would likely have featured a six-over-six division of light.

The deep port cochere is also a clue to its period of construction. While port cocheres were

popular design features prior to the widespread use of the automobile, the depth of this port cochere suggests that the house was built after the popularization of the automobile on Kauai. The first automobile arrived on Kauai in 1907, and there were 1,187 vehicles on the island by 1920.<sup>5</sup> The design of the port cochere supports a date of construction in the 1920s.



**Figure 3:** Kamani Center in 1950. *Garden Island*, September 19, 1950.

The one-story wing to the west of the main portion of the house is likely original based on the presence of its lava rock chimney which matches the larger main chimney. The eastern additions are clearly done in multiple campaigns. The large easternmost addition is a later building effort. This easternmost wing was not present in an image of the house from 1950 (Figure 3). Aerial photography from approximately 1972 (Figure 2) shows that

<sup>4</sup> Carol Wilcox, John Wehrheim, and T. K. Kunichika, "The Kauai Album," (Lihue: The Kauai Historical Society, 1981), 102.

<sup>5</sup> Griffin, p. 224-236.



this latter addition was in existence; however, the porch and wheelchair ramp that are currently attached to this addition were not present in 1972. This imagery shows windows in place of the current double doors in the easternmost wing.

The wing sandwiched between the central two-story portion and the later eastern wing may or may not be original to the building. It may also have been an early compatible addition from the 1930s or 1940s. The image of the house from 1950 (Figure 3) shows that this wing was in existence. It appears to have been a screened porch or at least featured a deeply recessed porch on the south facade. Today, the south façade of this wing has been built out to the top of its concrete steps and features a new door package. The wing's interiors are entirely refinished, making determining an era of construction challenging. Further research will be necessary to sort out a date of construction for this feature.

Information from the Kauai permit records available online:

Online permit records start in the 1990s.

8/18/93—Commercial addition application: 1 story addition, alteration & repair. There is a small bump out on the end of the eastern wing which this could be. May also be the porch and wheelchair ramp.

10/18/16—Commercial alteration: Accent Cuts interior renovations at \$25,000.

Visible Alterations to Central and Western Wings:

- Replacement windows and exterior doors.
- Replacement railings at front entry.
- At least partial siding replacement.
- Replacement or concealment of original interior finishes including new flooring on the first floor and new, built-out wall finishes and baseboards on the second floor.

Visible Original Features in Central Wing:

- Wood flooring in central hall, stairway, and second story.
- Interior doors.
- Interior trim.
- Fireplace and mantle.
- Stairs and handrail.
- Interior first and second floor layouts.

### **3. Doctor J M “Jay” Kuhns (1884-1964)**

Doctor Kuhns' name is tied in at least oral history to the Kamani Center building, as the building is referred to as Kuhns House on the Kauai Inventory of Historic Properties and seems to be



colloquially known by that name. Since the house was constructed and owned by Lihue Plantation, it is hard to trace the Kuhns' occupancy of it. So far, we have also not come across any records that confirm Kuhns' occupancy officially, and those may or may not exist yet undiscovered in plantation archives available at the University of Manoa or in materials owned by the Kauai Historical Society. Based on available information, we conclude that the home was used to house the plantation's successive doctors, and Kuhns was a notable and lengthy occupant. If the house was built in the 1920s, Kuhns, who served as the Lihue Plantation doctor 1920-1938, would have likely been the first occupant and may have even been involved in its construction. Pat Griffin's 2014 book on the history of Lihue references the building as the "Lihue Plantation physician's home".<sup>6</sup>

### Kuhns Family History

J M Kuhns "Jay" was born in North Dakota and moved to the Big Island in 1898 with his family at the age of fourteen. His father moved the family of 3 boys and 5 girls to the Big Island because "North Dakota was getting too crowded."<sup>7</sup>

### Medical Career

J M Kuhns attended McKinley High School for one year and was also schooled at the College of Hawaii. He spent six years teaching Hawaiian children in the Waipio Valley. Kuhns attended UH for 2 years in 1909 and received his medical degree from Washington University of St. Louis in 1915. He met his wife Eula Urban while at medical school. Kuhns returned to Hawaii for an internship at Queen's hospital.<sup>8</sup>

Kuhns began his medical career on Kauai in 1916 as a plantation doctor at Kealia Plantation for Makee Sugar Co., succeeding Dr. Hoffman.<sup>9</sup> In 1917, he became the first visiting physician for Samuel Mahelona Memorial Hospital (SMMH) and continued to serve as a trustee for SMMH until late in his life.<sup>10</sup> In 1920, he succeeded Dr. Young as the Lihue Plantation physician.<sup>11</sup> He worked for Makee Sugar Co. and Lihue Plantation during his plantation career, and was a busy man with many patients on Kauai. Kuhns served as a plantation doctor for 22 years and as the physician for Niihau for 20 years. He entered private practice and retired from Lihue Plantation in 1938.<sup>12</sup> Kuhns opened his new private office "on the lanai side of the Bank of Hawaii in Lihue" on Rice Street.<sup>13</sup> In later years, Kuhns became the chief of staff of Wilcox Memorial Hospital, Lihue. In 1958 he was awarded Hawaii's General Practitioner of the Year by Hawaii Medical Association.<sup>14</sup> One article refers to him as having "pioneered modern medicine on Kauai."<sup>15</sup>

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<sup>6</sup> Griffin. p. 176.

<sup>7</sup> "Dr. Kuhns Chosen G.P. of Year," *Honolulu Advertiser*, May 3, 1958.

<sup>8</sup> Ibid.

<sup>9</sup> "Dr. Kuhns Arrives," *Garden Island*, November 7, 1916.

<sup>10</sup> Barlow Hardy, "New Hospital Building Opens on Garden Isle," *Honolulu Advertiser*, June 17, 1952.

<sup>11</sup> "Dr. E. N. Young Resigns," *Garden Island*, November 2, 1920.

<sup>12</sup> "Lihue Doctor Resigns," *Honolulu Advertiser*, September 18, 1938.

<sup>13</sup> "Dr. Kuhns will open new offices Tuesday," *Honolulu Star-Bulletin*, October 27, 1938.

<sup>14</sup> G.P. of Year, 1958.

<sup>15</sup> Mary Cooke, "Kauai Greets Hotel, Recalls Old Kalapaki," *Honolulu Advertiser*, July 4, 1960.



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Dr Kuhns seems to have worked right up until his death. One article published late in his life notes that he intended to work indefinitely.<sup>16</sup> Dr. Kuhns died in 1964.

The Kuhns seem to have had only one daughter, Midge Kuhns, who attended boarding school at Pine Manor in Wellesley and married a boy from Paia, Maui: Frederick Francis Herbert.

#### Kuhns Homes

The Kuhns family lived in Kealia until 1920 when Jay became the Lihue physician.

In January of 1921, an article mentions that the Kuhns “cottage” is broken into by a young criminal.<sup>17</sup> At the time they lived across from a man named Henry Holi of the road department. The “cottage” is referred to as “belonging” to Kuhns, so it is up to speculation whether in 1921, the Kuhns were living in the Kamani Center as it appears today, elsewhere in Lihue, or in a smaller home preceding the Kamani Center.

Newspaper social notes from the 1930s note that the Kuhns family lived in Lihue.

When Kuhns retired from his job as the Lihue Plantation doctor in 1938, he announced that his family was going to move to their “homestead.”<sup>18</sup> By the end of 1939, the Kuhns family had moved to Wailua Homesteads to a house referred to as “Poliahu” which overlooked Opaika canyon and waterfall.<sup>19</sup>

This house is 5552 Kuamoo Road, Kapaa HI, built 1939.<sup>20</sup> This house included a ten-acre orchard of macadamia trees which Dr. Kuhns tended and harvested for commercial profit.<sup>21</sup>

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<sup>16</sup> “Hawaii pays tribute today to 600 resident doctors,” *Honolulu Star-Bulletin*, March 30, 1960.

<sup>17</sup> “Young Criminal Breaks Parole,” *Garden Island*, January 11, 1921.

<sup>18</sup> Lihue Doctor Resigns, 1938.

<sup>19</sup> “Social jottings from Garden Isle,” *Honolulu Advertiser*, December 31, 1939.

<sup>20</sup> A listing for this property can be viewed at: <https://www.hawaiilife.com/listings/5552-kuamoo-rd-0-kapaa-hi-96746>.

<sup>21</sup> *Honolulu Advertiser*, December 4, 1960.





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