

**PLANNING DEPARTMENT
SHORELINE SETBACK APPLICATION**

FOR OFFICIAL USE ONLY:	
SSD	201 <u>9-25</u>
Acceptance Date:	<u>11/5/18</u>
Website Posting Date:	<u>11/7/18</u>
Determination Date:	<u>11/5/18</u>
Planning Commission Date:	<u>NA</u>
Expiration Date:	<u>11/5/21</u>
Planner Assigned:	<u>JL</u>

Instructions: File all information requested under Part A for processing the Determination of Applicability (§8-27.1), including signature page. Fill out Parts A and B if you know that your parcel will require a Certified Shoreline Survey, due to the proximity to the shoreline. If you are proposing a permitted structure or subdivision within the shoreline setback area fill in Part C. For applications involving a variance, complete Part D.

Applicant Information	
Applicant:	NATHAN HAMAR (A. Youn, Authorized Agent)
Mailing Address:	4906 WEKE RD. HANAIEI, HI 96714
Phone:	415 410 3025
Email:	info@hanaleibeachhouse.com
Applicant's Status: (Check one)	
<input checked="" type="checkbox"/> Owner of the Property	(Holder of at least 75% of the equitable and legal title)
<input type="checkbox"/> Lessee of the Property	Lessee must have an unexpired and recorded lease of five (5) years or more from the date of filing of this application. If not, Owner(s) must provide a Letter of Authorization.
<input checked="" type="checkbox"/> Authorized Agent	Attach Letter of Authorization
Transmittal Date:	October 26, 2018

Project Information (attach additional sheets, if necessary)	
County Zoning District:	Open
Tax Map Key(s):	(4) 5-5-01:12
Land Area:	25,222 sf
Nature of Development: (Description of proposed structure or subdivision)	ADU: Repair undermined foundation and damaged walls caused by 2nd flood which occurred Aug., 2018.

**NO PERMITS WILL BE ISSUED WITHOUT PLANNING COMMISSION ACCEPTANCE,
EXCEPT AS PROVIDED IN §8-27.8(c)(8)**

Part A

Shoreline Setback Determination of Applicability (§8-27.1)

Check all that apply, fill in applicable information. Any box checked must be accompanied by additional information, photos and/or documentation.

- Property is Abutting the Shoreline
 - Proposed project's approximate distance from shoreline (based on aerial map): 225 ft.
- Property is Not Abutting the Shoreline
 - Proposed project's approximate distance from shoreline (based on aerial map): _____ ft.
- Additional Information:
 - Shoreline Change (Erosion/Accretion) Rate: acc.0.3'/yr. ft./year
(Information available here: www.soest.hawaii.edu/coasts/kauaiconty/KCounty.html)
 - Number and description of parcels (including roads, buildings, structures) between Shoreline and this parcel:

N.A.



**PLANNING DEPARTMENT
SHORELINE SETBACK DETERMINATION**

Exemption Determination

Exemption 1

In cases where the proposed structure or subdivision satisfies the following four criteria:

- (A) In cases where the proposed structure or subdivision is located outside of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) 'V' or 'VE' flood zones;
- (B) The proposed structure or subdivision is located at an elevation which is thirty (30) feet above sea level or greater;
- (C) The applicant can demonstrate to the satisfaction of the Planning Director that the property is clearly adjacent to a rocky shoreline and that it will not affect or be affected by coastal erosion or hazards; and
- (D) The shoreline setback shall be sixty (60) feet from the certified shoreline which has been established not more than twelve (12) months from the date of the application for the exception under this section.

Exemption 2

In cases where the applicant can demonstrate to the satisfaction of the Planning Director that the applicant's proposed structure or subdivision will not affect beach processes, impact public beach access, or be affected by or contribute to coastal erosion or hazards, excluding natural disasters. Factors to be considered shall include, but not be limited to, proximity to the shoreline, topography, properties between shoreline and applicant's property, elevation, and the history of coastal hazards in the area.

Exemption 3

Pursuant to §8-27.7, those structures and uses found exempt in Table 3 (see pg. 7) including repairs and renovations to a lawfully existing structure, including nonconforming structures, provided that:

- (A) The repairs DO NOT enlarge, add to or expand the structure; increase the size or degree of non-conformity; or intensify the use of the structure or its impact on coastal processes;
- (B) The repairs DO NOT constitute a substantial improvement of the structure; and
- (C) The repairs are permitted by the Comprehensive Zoning Ordinance, Development Plans, building code, floodplain management regulations, special management area requirements under HRS Chapter 205A and any other applicable rule or law.

- Letter from the Department of Public Works stating that the proposed project does **NOT** constitute "Substantial Improvement," pursuant to §8-27.2 (If applicable, will require valuation of project).

Exemption Determination (to be completed by Planning Department)

- Pursuant to §8-27.3 the Kaua'i County Code, 1987 as amended, the Planning Department hereby certifies the proposed structure(s) or subdivision(s) as exempt from those shoreline setback determination requirements established under §8-27.8.
- Pursuant to §8-27.7 the Kaua'i County Code, 1987 as amended, the proposed structure(s) is permitted within the shoreline setback area. While exempt from those shoreline setback determination requirements established under §8-27.8, the proposed structure(s) is subject to the conditions of §8-27.7(b). (See pg. 8)

Planning Director or designee

Date

Additional comments/conditions:



**PLANNING DEPARTMENT
SHORELINE SETBACK APPLICATION**

Topography (undulating, flat, slope, etc.) and ground elevation of subject parcel (Lowest and Highest elevations)
 FLAT

Shoreline type (e.g. beach, dune, rocky, sandy with rocky outcropping, etc.)
 SANDY BEACH

Artificially armored Shoreline
 If checked, what type of armoring (e.g. seawall, revetment, bulkhead): _____
 Is the armoring permitted/authorized? _____
 Date of authorization (attach copy of authorization letter): _____


Is property in coastal floodplain (if checked, what zone)? VE

Has this property been subject to coastal hazards (i.e. flooding, erosion, tsunami, etc.) in the past?
 Flooding

PLEASE NOTE:

Any misrepresentation of information in this shoreline setback application will result in revocation of this determination and may result in fines and criminal prosecution.

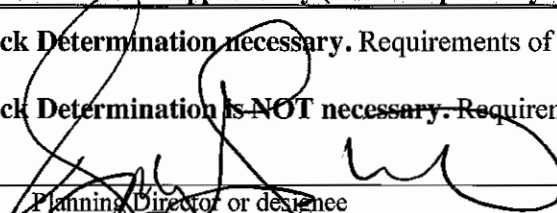
Applicant's Signature


 Signature _____ Date 10-29-18

Applicability (to be completed by Planning Department)

Setback Determination necessary. Requirements of Ordinance No. 979 are applicable.

Setback Determination is NOT necessary. Requirements of Ordinance No. 979 are not applicable.


 Planning Director or designee _____ Date 11-5-18

If Part A has been deemed that a Determination will be necessary, the additional information will be required for submission of this application.

Part B

- A non-refundable processing fee of **one hundred dollars (\$100.00)** shall accompany a request for determination. (§8-27.8(e))
- An aerial map/image (ex. Google Maps or Google Earth) with a line drawn from the shoreline/vegetation line (approximate shoreline) to the proposed project and the calculated distance in feet.
- A detailed Plot Plan **to scale** with all existing and proposed structures including driveways, visible lot coverage, setbacks and measurement details, fences, gates, and walls, etc.
- Building Permit Number (If building plans submitted)

County of Kauai
State of Hawaii

"I Nathan Hamar the owner of two residences at 4906 Weke Road, hereby authorize Avery Youn , Architect, to apply for all building, zoning, SSD and/or SMA permits necessary to repair damages incurred from the April 15, 2018 flood. If you have any questions please call me at 415-410-3025.

Thank you,

Nathan Hamar 7/3/18

AVERY YOUN, ARCHITECT
4-1579 KUHIO HIGHWAY
RM. 211
KAPAA, HI 96746
averyyoun@gmail.com
PH. (808) 246 9414

October 18, 2018

TO: Dept. of Public Works, Engineering Division
4444 Rice St.
Lihue, Hawaii

ATT: Stanford Iwamoto

RE: **SHORELINE SETBACK APPLICATION;**
AMENDED SUBSTANTIAL IMPROVEMENT DETERMINATION FOR:
NATHAN HAMAR
4190 WEKE ROAD
HANAIEI, KAUAI, HAWAII
TMK: 5-5-01: 12, UNIT 2 (Additional Dwelling Unit)

Dear Mr. Iwamoto,

Relative to the above residence, a previous Shoreline Setback Determination you provided dated August 10, 2018, need to be amended due to the fact that the 2nd flood at Hanalei further damaged the subject residence. As such, foundation plans had to be amended and as a result, the Planning Department is requiring a new Substantial Improvement Determination letter from your Department. We therefore request an amended letter based on the revised attached Contractor's Cost Estimate to repair the additional damages to the structure.

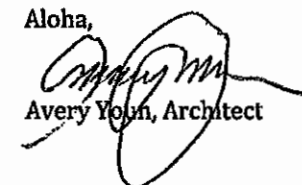
Based on your previous assessment, the RCNLD value for this residence was determined to be \$207,800.00.

	<u>RCNLD</u>	<u>Contractor's Cost Est. (Attached)</u>
1. Additional Dwelling Unit:	\$207,800.00	\$78,000.00

There has not been any additional permits taken out for this property over the last 10 years and the contractor's estimate is only 37% of the RCNLD, which is less than the 50% maximum costs allowable for the work. Therefore, an amended conclusion that the construction within the subject property is not considered "Substantial Construction" would be deeply appreciated.

Should any additional information be required, I can be reached at (808) 639 7999.

Aloha,


Avery Youn, Architect

KIKIAOLA CONSTRUCTION COMPANY

Conscientious Builders, Old Building Specialists
Contractor's License Number BC-20520

dba ~~STRUCTURE MOVERS~~ HAWAII
Structure Moving, Crane and Lifting Services

PROPOSAL No. 4522

To: Nathan Hamar
ADDRESS: info@HanaleiBeachHouse.com
DATE: October 17, 2018
PREPARED BY: Mike
RE: Flood related Repairs to Weke Road Guest House

We are pleased to submit the following proposal for:

Guest House

Repairs to foundations and structure

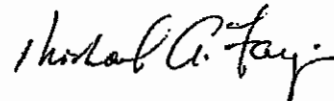
ADU Foundation Repairs (per Youn 09/18/18)	\$40,000
Structural Repairs	\$19,000
Framing	\$2,000
Electrical	\$4,000
Plumbing	\$4,000
Outside sand and stucco finish	\$5,000
Interior Finishes	\$2,000
Flooring	\$2,000
Total	78,000

Conditions:

1. Fill material must be approved by the County of Kauai. Budgeted at \$50 per ton for material.
2. GE Tax to be added.

Thank you for considering our services.

Kikiaola Construction Company, Limited



Michael A Faye
President

Bernard P. Carvalho Jr.
Mayor



Lyle Tabata
Acting County Engineer

Wallace G. Rezentes Jr.
Managing Director

DEPARTMENT OF PUBLIC WORKS
County of Kaua'i, State of Hawai'i
4444 Rice Street, Suite 275, Lihu'e, Hawai'i 96766
TEL (808) 241-4992 FAX (808) 241-6604

October 25, 2018

Nathan S. Hamar
P.O. box 296
Hanalei, HI 96714

Subject: SHORELINE SETBACK APPLICATION
SUBSTANTIAL IMPROVEMENT DETERMINATION
NATHAN HAMAR 4906A WEKE ROAD
TMK: (4) 5-5-001:012, UNIT 2 (ADU)

Dear Mr. Hamar,

This letter is in response to the revised cost estimate dated October 17, 2018 that you submitted for repairs to Unit 2. The revised cost estimate was required to account for newly found damages to the foundation of the structure.

The Department of Public Works in a letter to you dated August 10, 2018 stated that it had performed a Substantial Improvement Determination (SID) for the proposed improvements to Unit 2 and determined that the proposed improvements did not constitute a substantial improvement. The SID was based on a cost estimate of \$7,800 prepared by Kikaola Construction Company and dated July 22, 2018 and a market value of \$207,800 provided by the County's Real Property Assessment Office.

The cost for repairs to the foundation of the structure is now estimated to be \$78,000. The cost of improvements compared to the market value is:

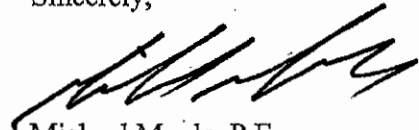
$$\frac{\text{Cost of Improvements (past 10 years): } \$78,000}{\text{Market Value (Real Property): } \$207,800} = 0.3753 \text{ or } 37.5\%$$

Since the total cost does not exceed 50% of the market value, the improvement is **not** considered to be substantial. However, if any unpermitted work has been done, or if there are modifications to this application, our determination shall be considered void and the structure must be re-evaluated.

Nathan Hamar – Unit 2
Shoreline-Setback Application – Substantial Improvement Determination
October 25, 2018

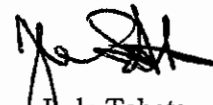
If you have any questions or need additional information, contact Stanford Iwamoto at (808)
241-4896 or siwamoto@kauai.gov.

Sincerely,



Michael Moule, P.E.
Chief, Engineering Division

Concur,

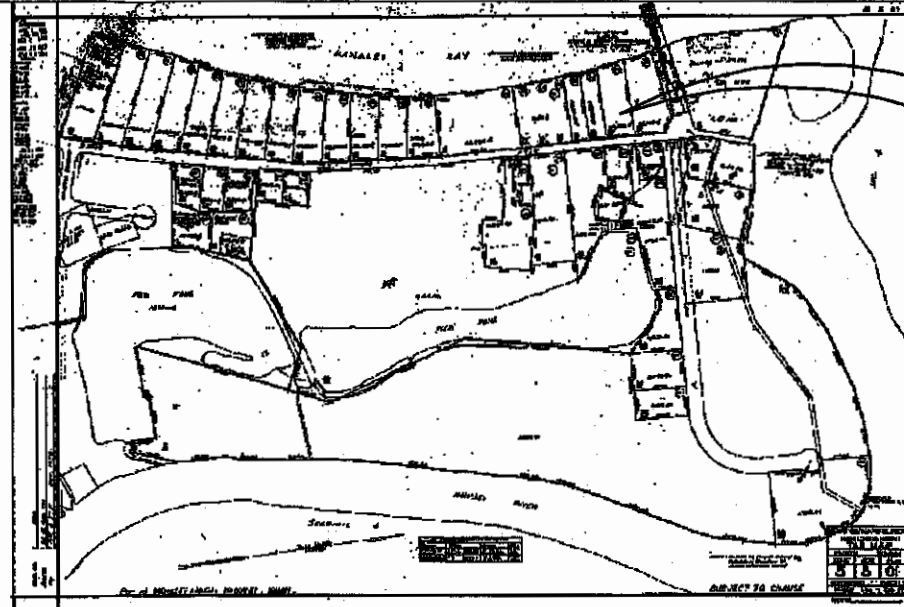
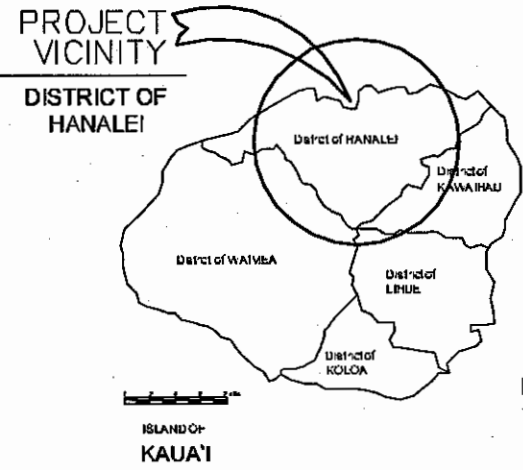


Lyle Tabata
Acting County Engineer

SI/GO

Copy: Design and Permitting
Planning
Avery Youn

VICINITY MAP
NOT TO SCALE

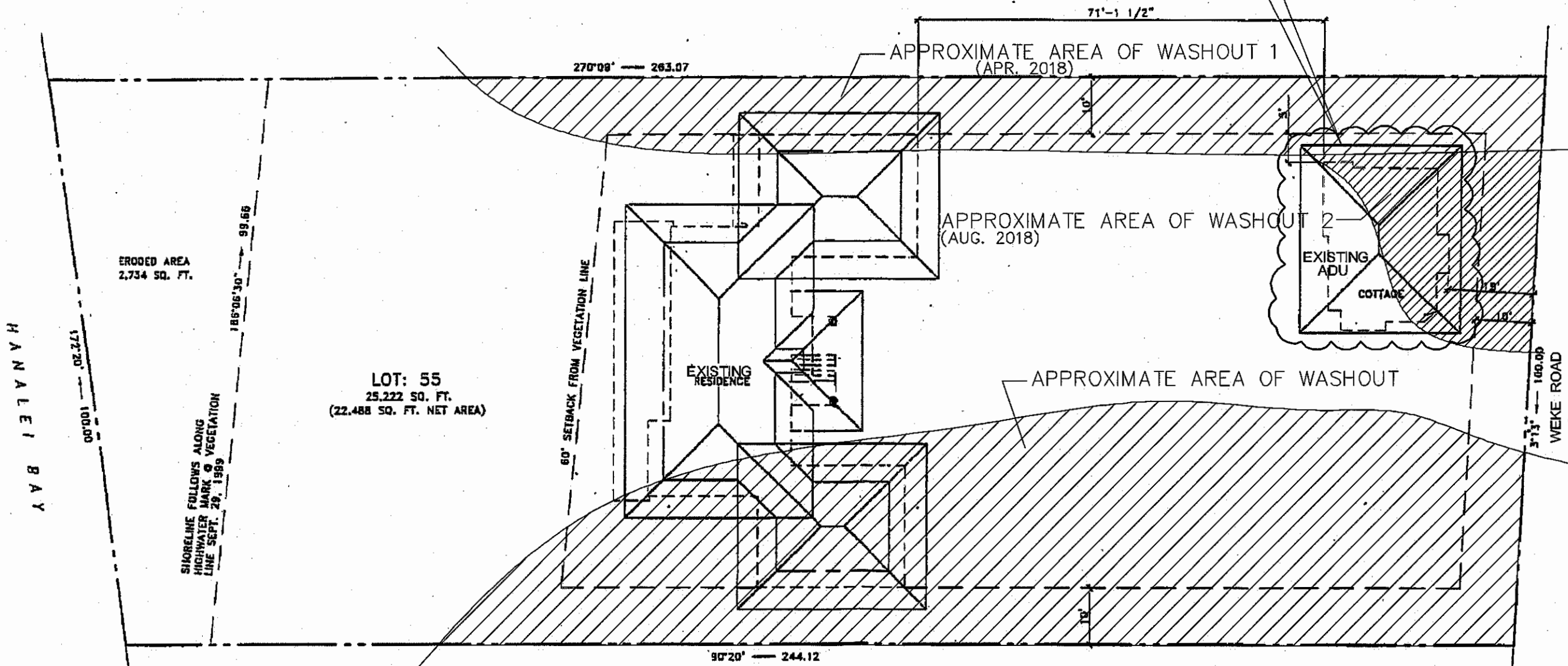


PROJECT LOCATION
TMK: (5) 5-5-001:012

T.M.K. MAP
NOT TO SCALE

NOTE: "NO FILL TO BE USED OUTSIDE THE FOOTPRINT OF THE STRUCTURES"

PROJECT LOCATION
PROPOSED FOUNDATION REPAIR



SITE PLAN (EXISTING)
SCALE: 1"=20'-0"

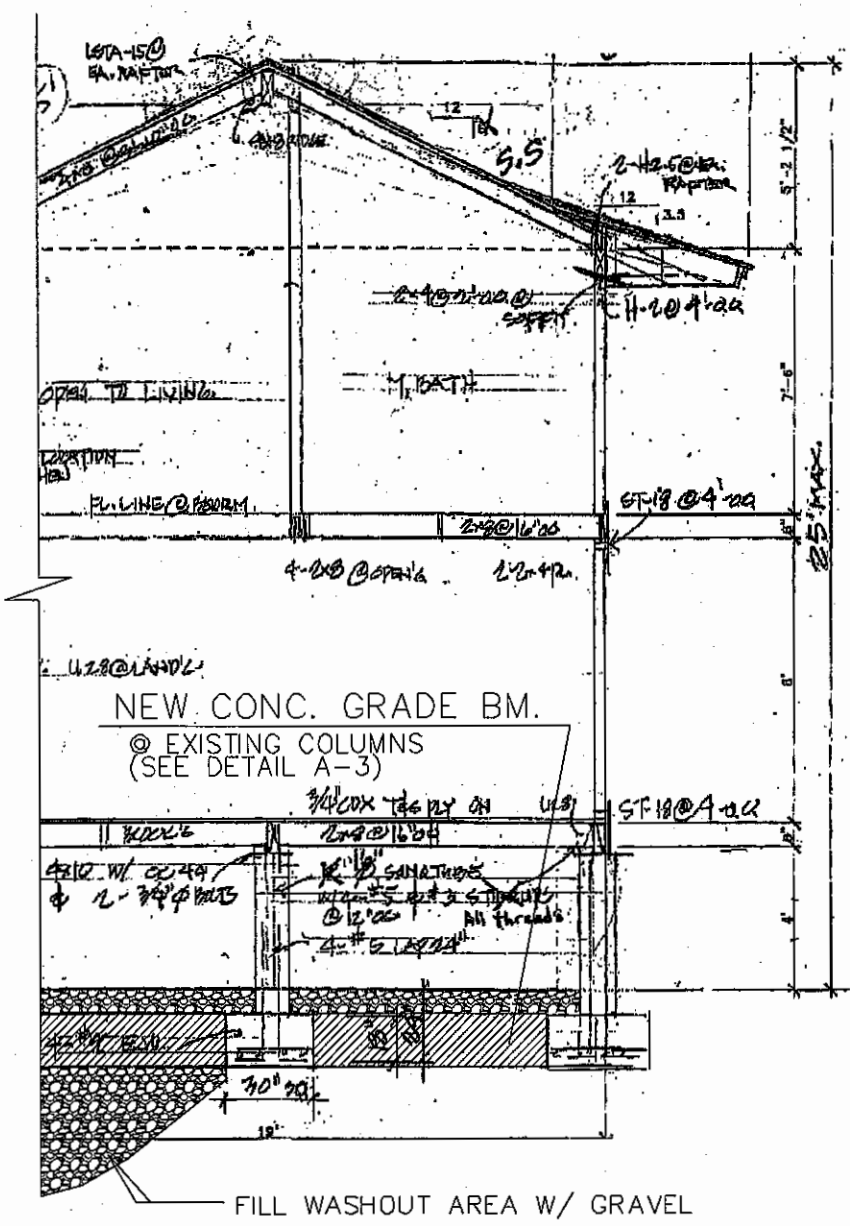
SHEET 1/4

This work was prepared by me or under my supervision and construction of this project will be under my direct supervision.

Signature: *[Signature]* EXP. 4/2018

Professional Seal: AVERY H. YOUNG, LICENSED PROFESSIONAL ARCHITECT, No. 3576, HAWAII, U.S.A.

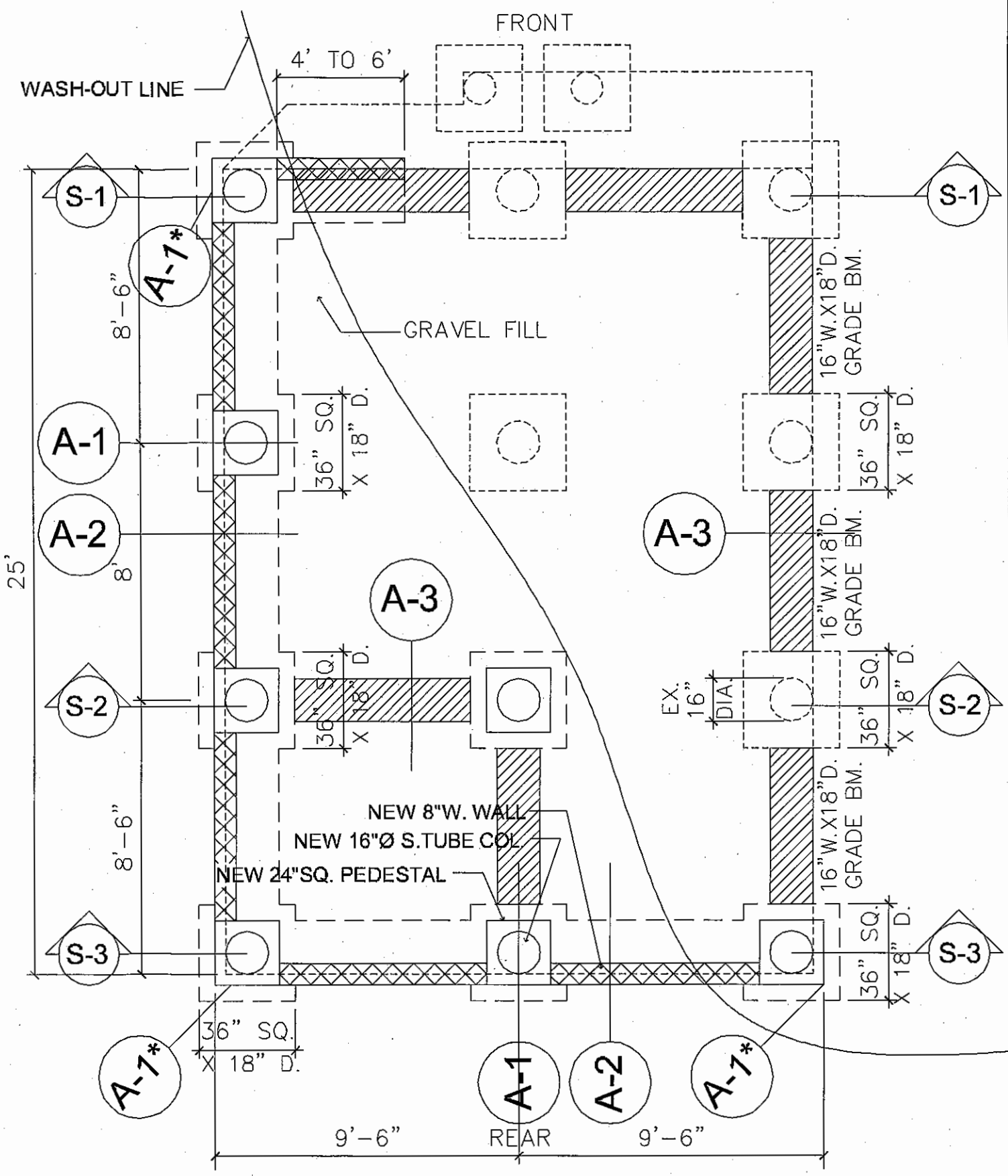
PROJECT:
PROPOSED FOUNDATION REPAIR
FOR: HANAIEI BEACH HOUSE
TMK: (4) 5-5-001: 012 [UNIT 2]
4906 WEKE ROAD, HANAIEI, KAUAI, HAWAII



NOTE: NO FILL TO BE USED OUTSIDE THE FOOTPRINT OF THE STRUCTURES

S-1 PARTIAL SECTION
SCALE: 3/16" = 1'-0"

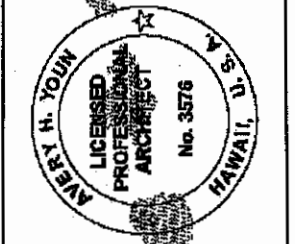
NOTE: CONTRACTOR TO CLEAN & SCARIFY EXISTING CONCRETE SLAB/FOOTINGS TO PROVIDE PROPER BOND WITH NEW CONCRETE FOOTINGS.



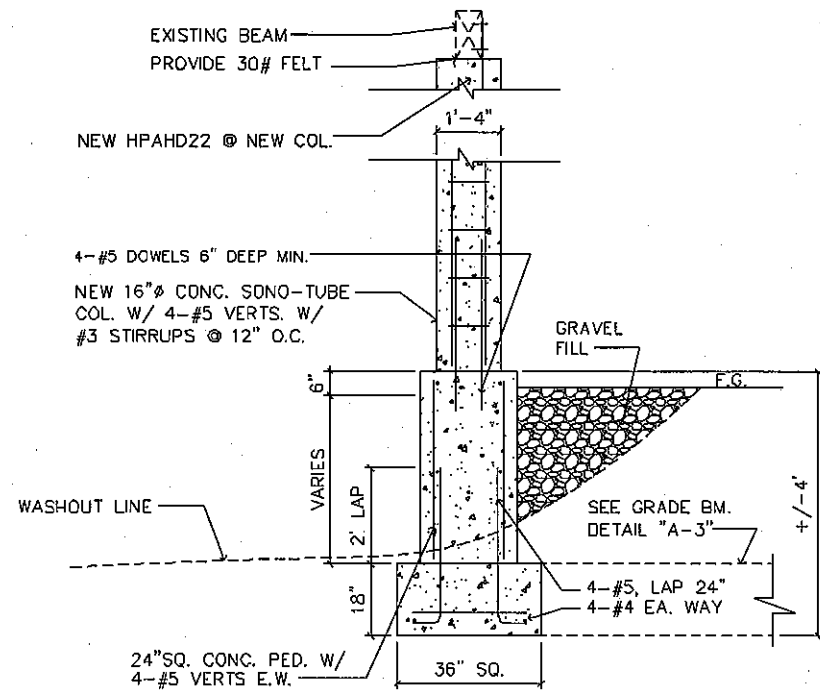
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

SHEET 2/4

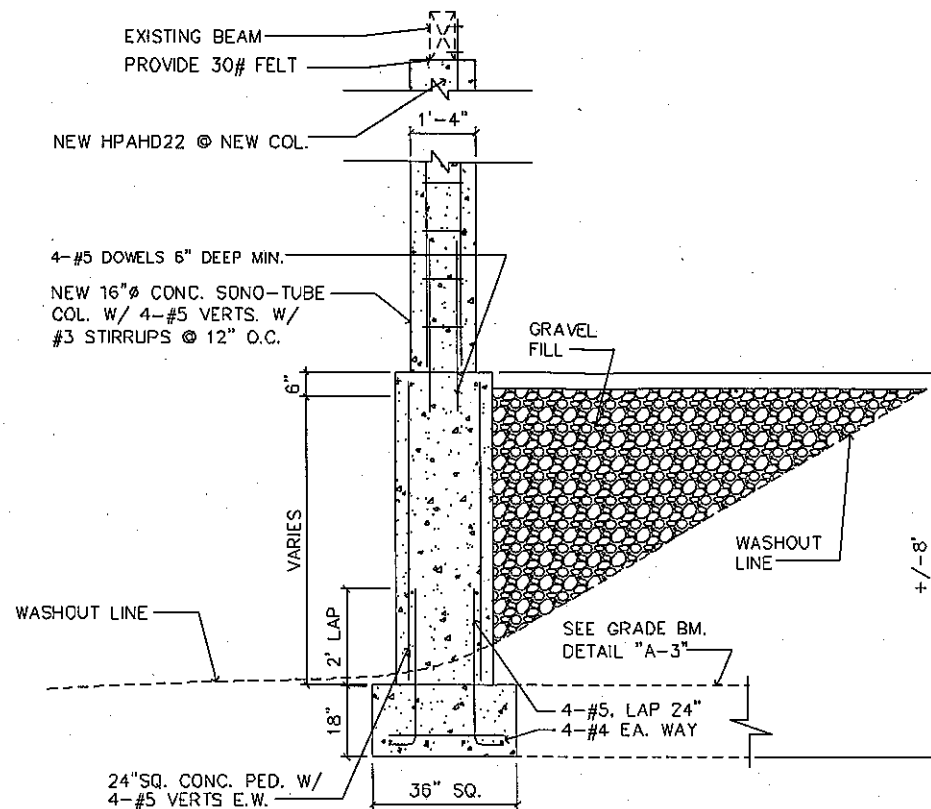
This work was prepared by me or under my supervision and construction of this project will be under my observation.
signature



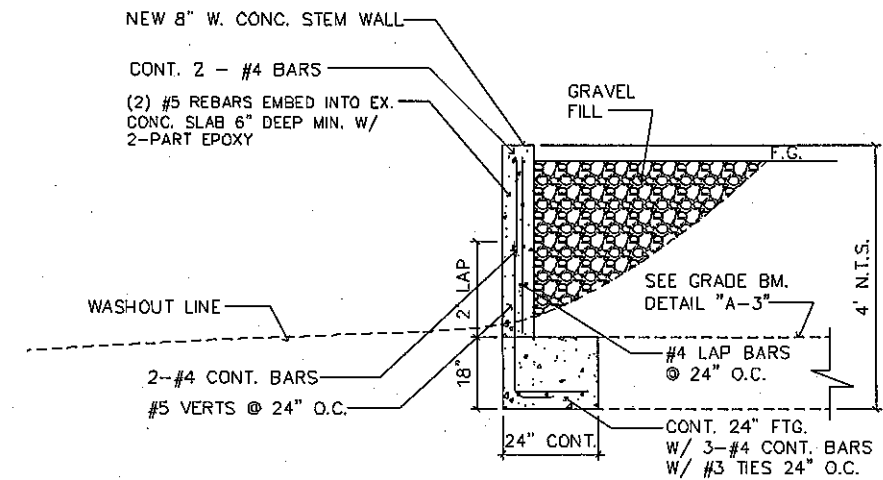
PROJECT:
PROPOSED FOUNDATION REPAIR
FOR: HANAIEI BEACH HOUSE
TMK: (4) 5-5-001:012 [UNIT 2]
4906 WEKE ROAD, HANAIEI, KAUA'I, HAWAII



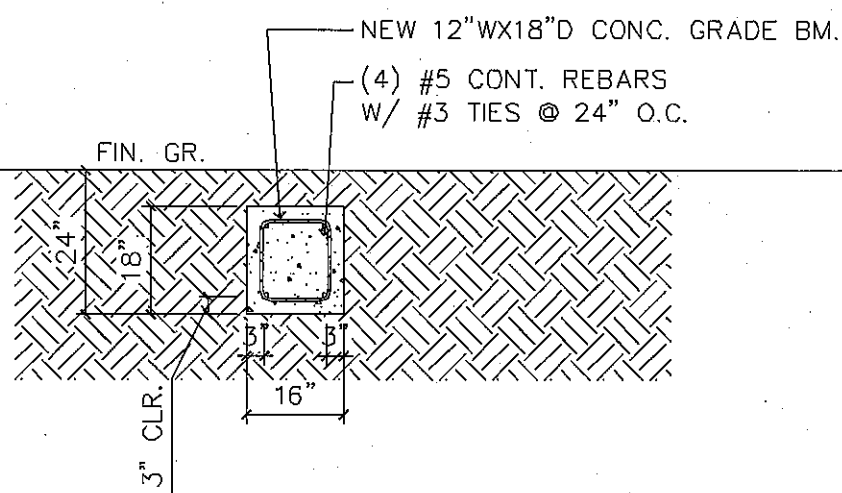
A-1 NEW FTG. @ NEW COL.
SCALE: 1/4" = 1'-0"



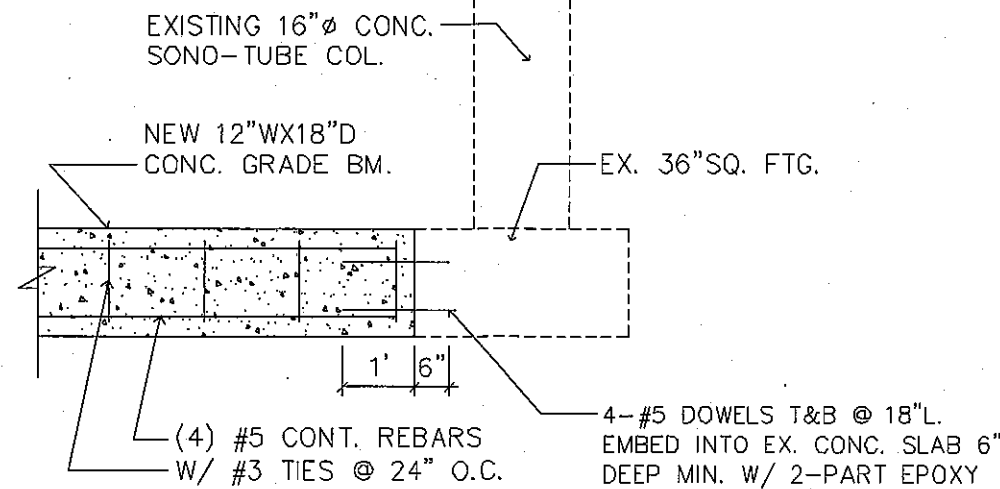
A-1* FTG. @ NEW CORNER COL.
SCALE: 1/4" = 1'-0"



A-2 NEW FTG. @ NEW WALL
SCALE: 1/4" = 1'-0"



A-3 GRADE BM. DETAILS
SCALE: 1/4" = 1'-0"



NOTE: "NO FILL TO BE USED OUTSIDE THE FOOTPRINT OF THE STRUCTURES"

This work was prepared by me or under my supervision and construction of this project will be under my supervision.

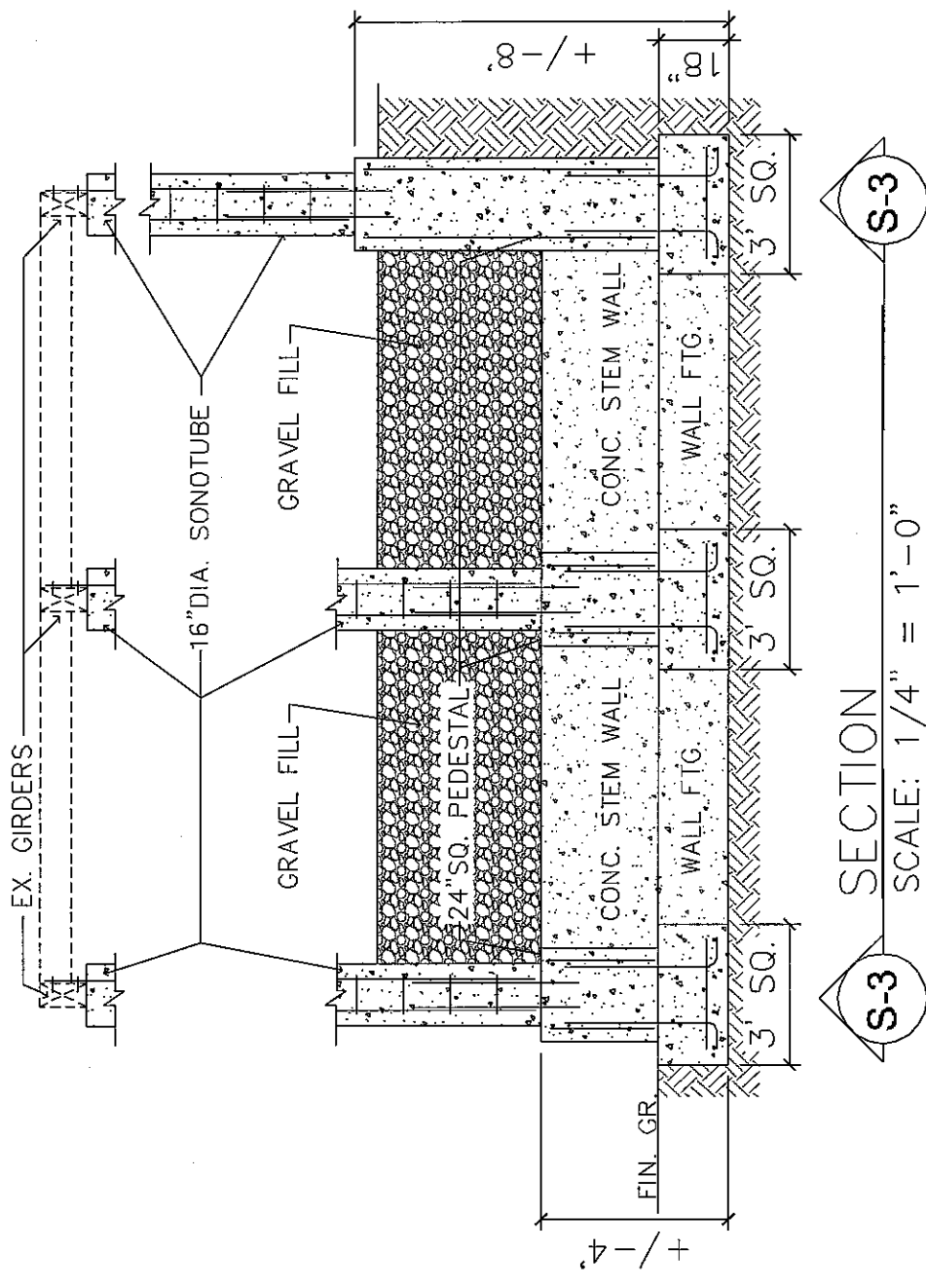
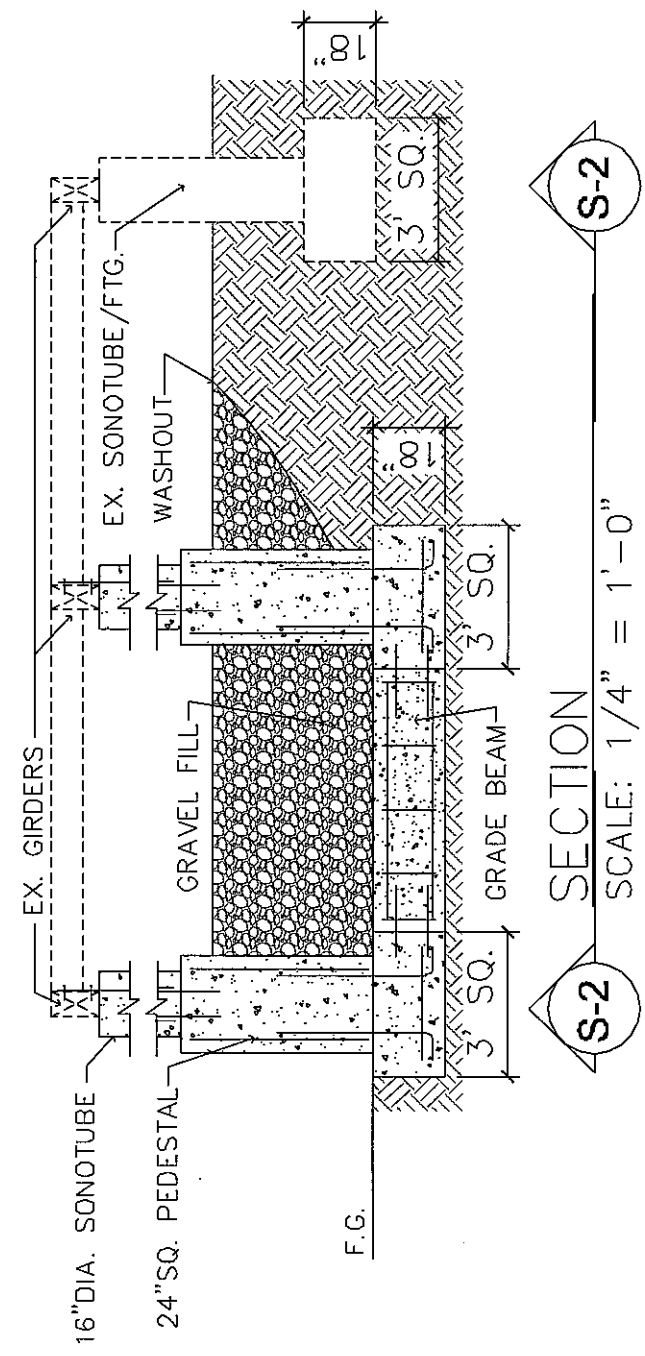
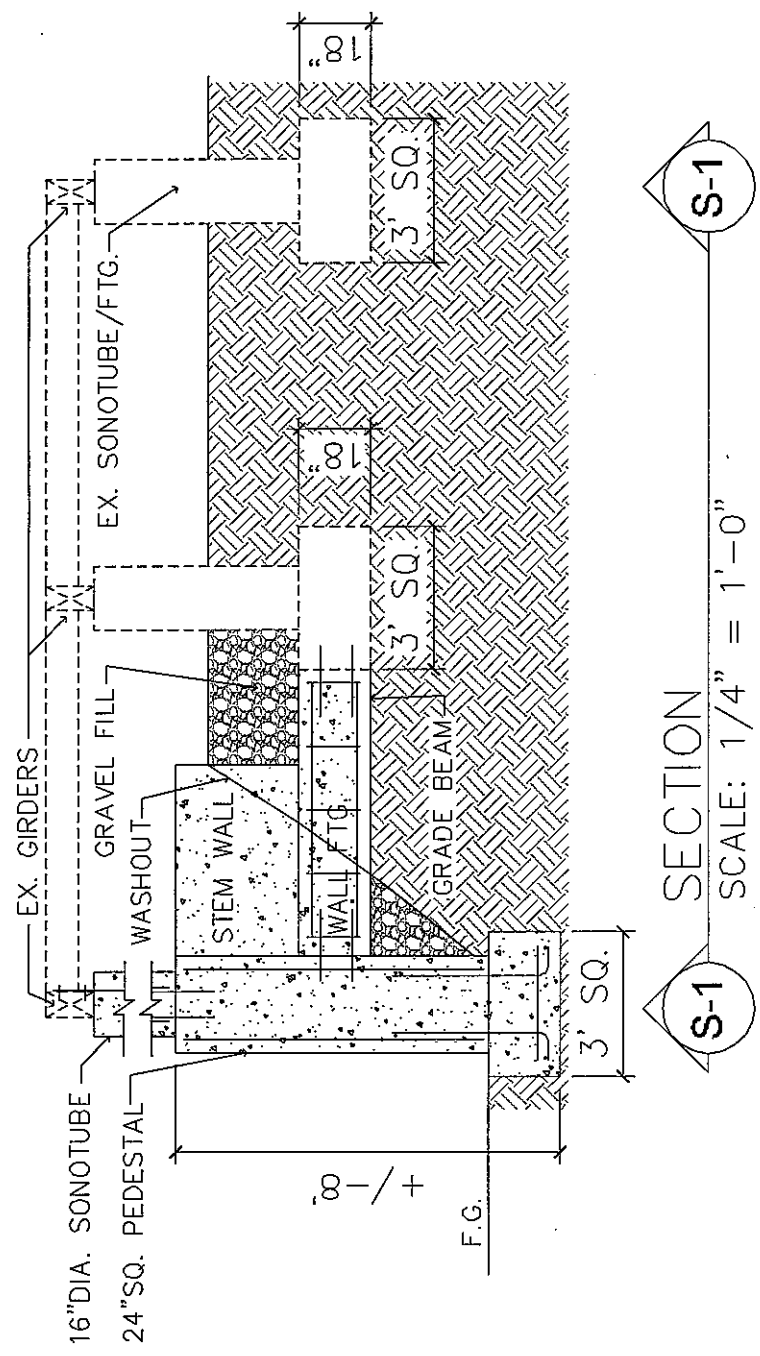
EXP. 4/30/2025

Signature

AREY H. YOUNG
LICENSED PROFESSIONAL ARCHITECT
No. 3576
HAWAII

PROJECT:
PROPOSED FOUNDATION REPAIR
FOR: HANAIEI BEACH HOUSE
TMK: (4) 5-5-001: 012 [UNIT 2]
4906 WEKE ROAD, HANAIEI, KAUA'I, HAWAII

NOTE: "NO FILL TO BE USED OUTSIDE THE FOOTPRINT OF THE STRUCTURES"

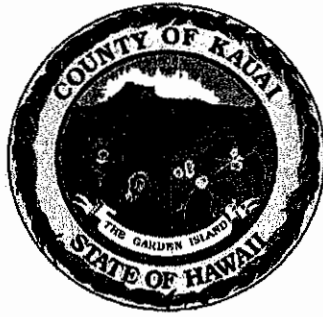


This work was prepared by me or under my supervision and construction of this project will be under my direct supervision.

Signature
EXP. 4/2/25

LICENSED PROFESSIONAL ARCHITECT
No. 3576
HAWAII, U.S.A.

PROJECT: PROPOSED FOUNDATION REPAIR
FOR: HANAIEI BEACH HOUSE
TMK: (4) 5-5-001: 012 [UNIT 2]
4906 WEKE ROAD, HANAIEI, KAUAI, HAWAII



**PLANNING DEPARTMENT
SHORELINE SETBACK APPLICATION**

FOR OFFICIAL USE ONLY:	
SSD	2019-24
Acceptance Date:	11.5.18
Website Posting Date:	11.7.18
Determination Date:	11.5.18
Planning Commission Date:	11.13.18
Expiration Date:	11.13.19
Planner Assigned:	JL

Instructions: File all information requested under Part A for processing the Determination of Applicability (§8-27.1), including signature page. Fill out Parts A and B if you know that your parcel will require a Certified Shoreline Survey, due to the proximity to the shoreline. If you are proposing a permitted structure or subdivision within the shoreline setback area fill in Part C. For applications involving a variance, complete Part D.

Applicant Information	
Applicant:	Kenneth Huang - Centerline Solutions <i>Kauai Marriott</i>
Mailing Address:	3375 Koapaka St, Suite D185 Honolulu, HI 96819
Phone:	808-536-7400 ext 7016
Email:	khuang@centerlinesolutions.com
Applicant's Status: (Check one)	
<input type="checkbox"/> Owner of the Property	(Holder of at least 75% of the equitable and legal title)
<input type="checkbox"/> Lessee of the Property	Lessee must have an unexpired and recorded lease of five (5) years or more from the date of filing of this application. If not, Owner(s) must provide a Letter of Authorization.
<input checked="" type="checkbox"/> Authorized Agent	Attach Letter of Authorization
Transmittal Date:	11/1/2018

Project Information (attach additional sheets, if necessary)	
County Zoning District:	Resort
Tax Map Key(s):	3-5-002:002
Land Area:	32.791 acres
Nature of Development: (Description of proposed structure or subdivision)	Modification and upgrade of existing telecommunications facility on the rooftop and generator shelter at the Marriott Kauai Resort.

**NO PERMITS WILL BE ISSUED WITHOUT PLANNING COMMISSION ACCEPTANCE,
EXCEPT AS PROVIDED IN §8-27.8(c)(8)**

Part A

Shoreline Setback Determination of Applicability (§8-27.1)

Check all that apply, fill in applicable information. Any box checked must be accompanied by additional information, photos and/or documentation.

- Property is Abutting the Shoreline
 - Proposed project's approximate distance from shoreline (based on aerial map): +/- 203 ft.
- Property is Not Abutting the Shoreline
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- Additional Information:
 - Shoreline Change (Erosion/Accretion) Rate: 0.8 ft./year
(Information available here: www.soest.hawaii.edu/coasts/kauaicontry/KCounty.html)
 - Number and description of parcels (including roads, buildings, structures) between Shoreline and this parcel:

None



**PLANNING DEPARTMENT
SHORELINE SETBACK DETERMINATION**

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Planning Director or designee

Date

Additional comments/conditions:

Letter of Authorization

APPLICATION FOR ZONING, BUILDING AND LAND USE ENTITLEMENTS

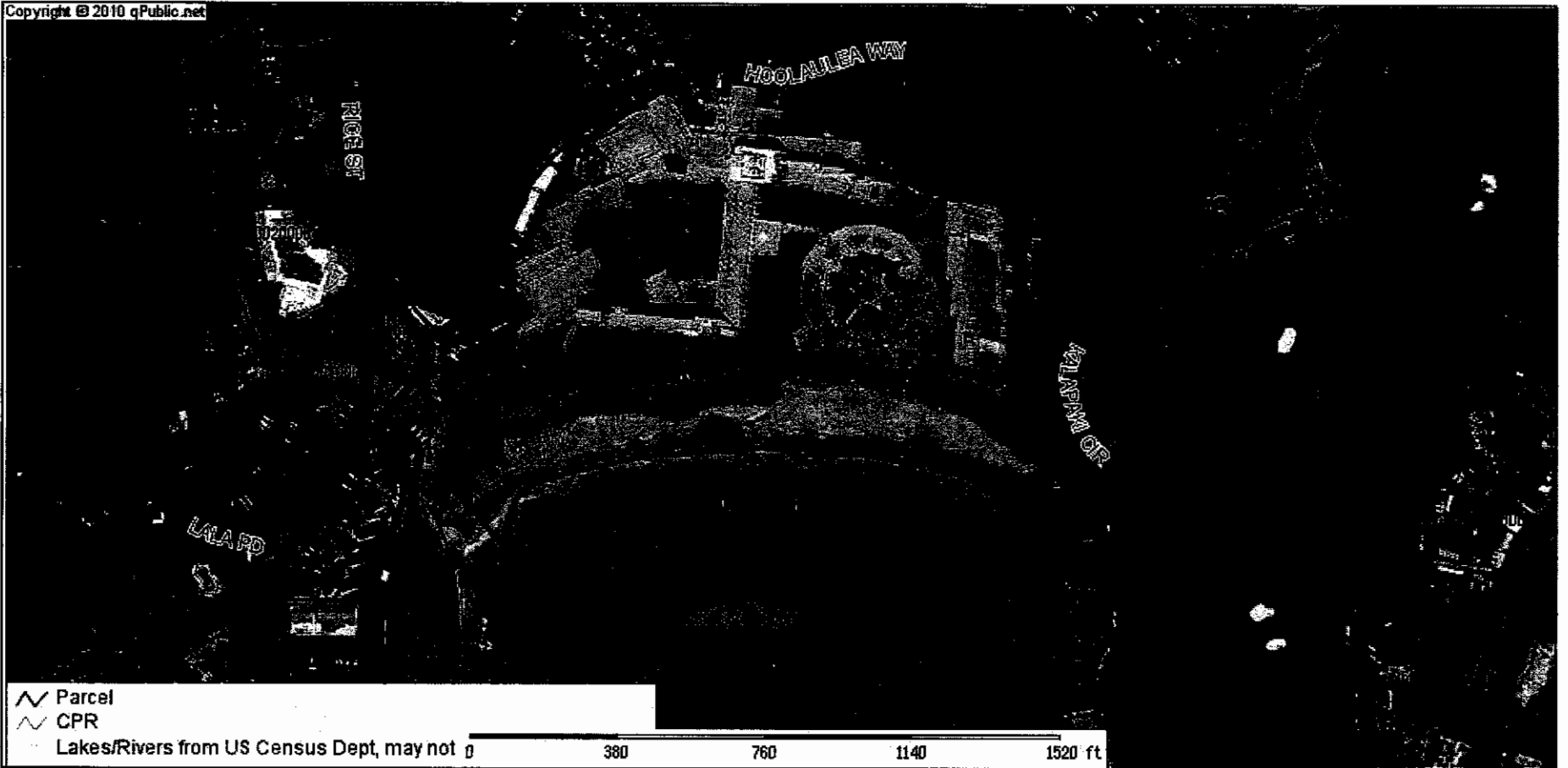
Site Name: HI1 - Kalapaki
Property Address: 3610 Rice Street Lihue, HI 96766
TMK Number: (4) 3-5-002:002

I/We, the owner(s) of the above described property, authorize Verizon Wireless and their employees, representatives, agents and/or consultants, to act as an agent on my/our behalf for the sole purpose of consummating any building and/or land-use permit applications (s), or any other entitlements necessary for the purpose of constructing and operating a wireless telecommunications facility. I/We understand that any application may be denied, modified, or approved with conditions, and that such conditions or modifications must be complied with prior to issuance of any building permit(s).

I/We further understand that signing of this authorization in no way creates an obligation of any kind.

Property Owner(s): Jeff Nischoff Date: 11/4/14
Signature

Jeff Nischoff
Print Name



Kauai County Assessor

Parcel: 350020020000 Acres: 32.791

Name:	MARRIOTT'S KAUAI RESORT	Land Value	
Site:	3610 RICE ST	Building Value	
Sale:	\$5,820,000 on 1995-06-30 Reason= Qual=	Misc Value	
Mail:		Just Value	
		Assessed Value	0
		Exempt Value	0
		Taxable Value	0

The Kauai County Assessor's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll. PLEASE NOTE THAT THE PROPERTY APPRAISER MAPS ARE FOR ASSESSMENT PURPOSES ONLY NEITHER KAUAI COUNTY NOR ITS EMPLOYEES ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS —THIS IS NOT A SURVEY—
Date printed: 10/18/18 : 20:51:19

Marriott Kauai Resort

(4) 3-5-002:002

Legend

 +/- 203 ft from shoreline to Verizon lease area

21.961131 -159.350969

Shoreline Access

Google Earth

© 2018 Google



400 ft



HI1 KALAPAKI PCS LTE / ANTMO

3610 RICE STREET
LIHUE, HI 96766

850 / PCS LTE / ANTMO

CONSTRUCTION DRAWINGS



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION. CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

CP PROJECT NO.: VER-17-0019-18

PRELIMINARY			
NO.	DATE	D/C	DESCRIPTION
0	11-01-17	KMK/KN	80% CD REVIEW
1	12-05-17	KMK/KN	CLIENT COMMENT
2	01-16-18	KMK/KN	CLIENT COMMENT

SUBMITTAL			
NO.	DATE	D/C	DESCRIPTION
0	01-26-18	KMK/KN	SP SUBMITTAL

SITE NAME:
HI1 KALAPAKI PCS
LTE / ANTMO

SITE ADDRESS:
3610 RICE STREET
LIHUE, HI 96766

SHEET TITLE
TITLE
SHEET

SHEET NO.
OCS1

PROJECT SUMMARY

THIS PROJECT INCLUDES THE FOLLOWING SCOPE OF WORK:

- PROPOSED MODIFICATION OF AN EXISTING TELECOMMUNICATIONS FACILITY.
- PROPOSED RELOCATION OF SIX (6) PANEL ANTENNAS W/ RET EQUIPMENT AS REQUIRED AND THREE (3) SURGE PROTECTORS, THREE (3) HYBRID CABLES TO REMAIN.
- PROPOSED INSTALLATION OF TWO (2) SURGE SUPPRESSORS AT EQUIPMENT LOCATION FOR A TOTAL OF THREE (3).
- PROPOSED REMOVAL OF THREE (3) RRHS AND INSTALLATION OF NINE (9) REMOTE RADIO UNITS (RRU'S).
- PROPOSED RF TRANSPARENT ENCLOSURE SHALL BE INSTALLED TO CONCEAL THE RELOCATED ANTENNA INSTALLATION.

GOVERNING CODES

IBC - 2006, INTERNATIONAL BUILDING CODE ALL CONSTRUCTION SHALL CONFORM TO THE 2006 INTERNATIONAL BUILDING CODE (2006 IBC) AND THE LATEST COUNTY OF KAUAI AMENDMENTS, AND ORDINANCES.

NEC-2008, NATIONAL ELECTRICAL CODE

NFPA - 1, 2012, NATIONAL FIRE PROTECTION ASSOCIATION FIRE SAFETY DURING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH 2012 NFPA 1.

A.D.A. COMPLIANCE
INSTALLATION IS UNMANNED AND NOT FOR HUMAN HABITATION.
HANDICAP ACCESS IS NOT REQUIRED PER A.D.A.

SITE INFORMATION

SITE ADDRESS: 3610 RICE STREET
LIHUE, HI 96766

LATITUDE: 21° 57' 40.33" N (CENTER OF PENTHOUSE)
LONGITUDE: 159° 21' 03.36" W (CENTER OF PENTHOUSE)

DATUM: NAD 83
SOURCE: 1A SURVEY LETTER
JURISDICTION: KAUAI COUNTY
TMK: (4) 3-5-002-002

GROUND ELEVATION: 22'-0" AMSL
BUILDING TOP ELEVATION: 117' AGL (139' AMSL)

OCCUPANCY GROUP: U-2
CONSTRUCTION TYPE: V-B
ZONING CLASSIFICATION: RESORT-20
FLOOD ZONE: ZONE X, AE, VE, AEF, & X5

PROJECT CONTACTS

APPLICANT:
VERIZON WIRELESS
255 KAHELU AVE.,
MILILANI, HI 96789

PROPERTY OWNER:
MARRIOTT KAUAI RESORT
3610 RICE STREET, LIHUE, HI 96766

PRINCIPAL ENGINEER, NETWORK CONSTRUCTION:
TED TSAGRIS
VERIZON WIRELESS
255 KAHELU AVE.,
MILILANI, HI 96789
PH: 808.348.4937

CONSTRUCTION MANAGER:
CENTERLINE SOLUTIONS
3375 KOAPAKA STREET, SUITE D185
HONOLULU, HI 96819
P.J. CAMOU
PH: 808.5780.2888

ZONING & PERMITTING CONSULTANT:
CENTERLINE SOLUTIONS
3375 KOAPAKA STREET, SUITE D185
HONOLULU, HI 96819
ROBYN KAHALELEHUA
PH: 808.538.7400

ENGINEER OF RECORD:
CENTERLINE SOLUTIONS
16235 TABLE MOUNTAIN PARKWAY
GOLDEN, CO 80403
CHRISTOPHER SCOTT, P.E.
PH: 303.993.3295

STRUCTURAL ENGINEER:
VECTOR STRUCTURAL ENGINEERING, LLC
651 W GALENA PARK BLVD, SUITE 101
DRAPER, UT 84020
WELLS L. HOLMES, S.E.
PH: 801.990.1775
WWW.VECTORSE.COM

DRAWING INDEX

SHEET	DESCRIPTION
OCS1	TITLE SHEET
A01	OVERALL SITE PLAN
A02	ENLARGED SITE PLAN
A03	ELEVATIONS
A04	ENLARGED ANTENNA PLANS
A05	ANTENNA MOUNT DETAIL
S01	STRUCTURAL NOTES
S02	STRUCTURAL ENCLOSURE PLAN
S03	STRUCTURAL ENCLOSURE SECTION & DETAILS
S04	STRUCTURAL DETAILS
E01	TYP. ANTENNA GROUNDING DETAILS
T01	RF DETAILS
GEND1	GENERAL NOTES

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO VERIZON CORPORATION SERVICES IS STRICTLY PROHIBITED.

FINAL CONSTRUCTION DRAWINGS SIGN OFF

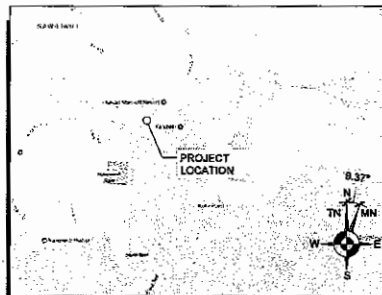
REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED

CONSULTANT	SIGNATURE	DATE
SITE ACQUISITION		
PERMITTING CONSULTANT		
RF ENGINEER:		
CONST. MNGR.		
OPS MNGR.		
PROJECT MNGR.		
REGULATORY REV.		
DEV. MNGR.		

DRAWING LEGEND

---	SUBJECT PROPERTY LINE
---	ADJACENT PROPERTY LINE
COAX	COAX ROUTE
HYBRID	HYBRID CABLE ROUTE
OH-T	OVERHEAD TELCO ROUTE
OH-F	OVERHEAD FIBER ROUTE
OH-P	OVERHEAD POWER ROUTE
UG-T	UNDERGRND. TELCO ROUTE
UG-F	UNDERGRND. FIBER ROUTE
UG-P	UNDERGRND. POWER ROUTE
FP	FIBER / POWER ROUTE
---	NEW / EXISTING FENCE
X XXX	ELEVATION MARKER
X XXX	DETAIL REFERENCE
X XXX	SECTION MARKER

PROJECT VICINITY MAP



DRIVING DIRECTIONS

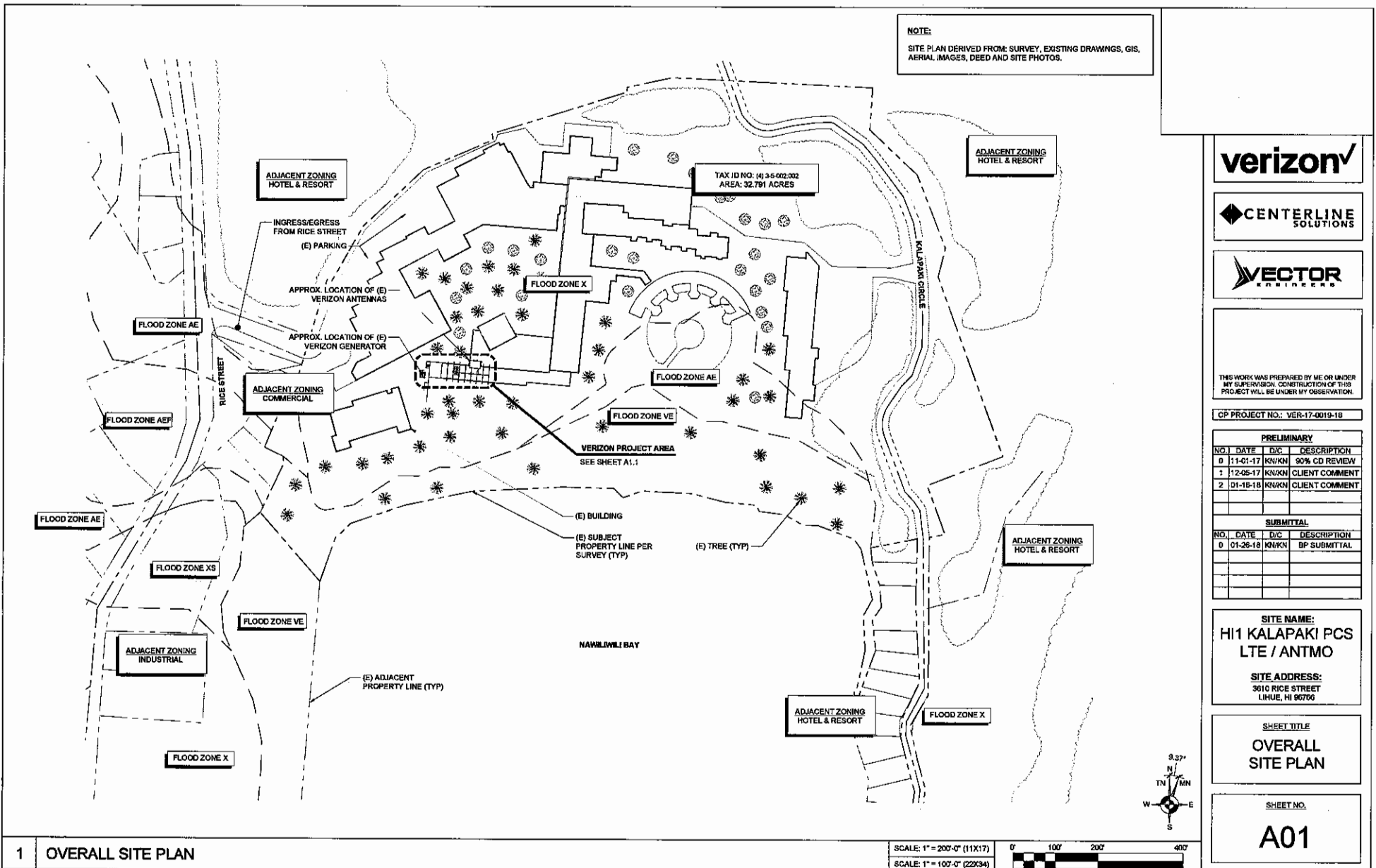
- FROM LIHUE AIRPORT:**
- DEPART MOKULELE LOOP TOWARD HOOLIMALIHA PL (0.2 MI)
 - KEEP LEFT TO STAY ON MOKULELE LOOP (260 FT)
 - KEEP LEFT TO STAY ON MOKULELE LOOP (0.3 MI)
 - KEEP RIGHT TOWARD KAANA ST (253 FT)
 - TURN RIGHT ONTO KAANA ST (227 FT)
 - TURN LEFT ONTO HI-51 / KAPULE HWY (0.7 MI)
 - TURN LEFT TO STAY ON HI-51 / RICE ST (0.5 MI)

ESTIMATED TIME: 6 MINUTES
ESTIMATED DISTANCE: 1.9 MILES



Know what's below.
Call before you dig.

NOTE:
SITE PLAN DERIVED FROM: SURVEY, EXISTING DRAWINGS, GIS, AERIAL IMAGES, DEED AND SITE PHOTOS.



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GP PROJECT NO.: VER-17-0019-18

PRELIMINARY			
NO.	DATE	D/C	DESCRIPTION
0	11-01-17	KW/KN	90% CD REVIEW
1	12-05-17	KW/KN	CLIENT COMMENT
2	01-18-18	KW/KN	CLIENT COMMENT

SUBMITTAL			
NO.	DATE	D/C	DESCRIPTION
0	01-26-18	KW/KN	BP SUBMITTAL

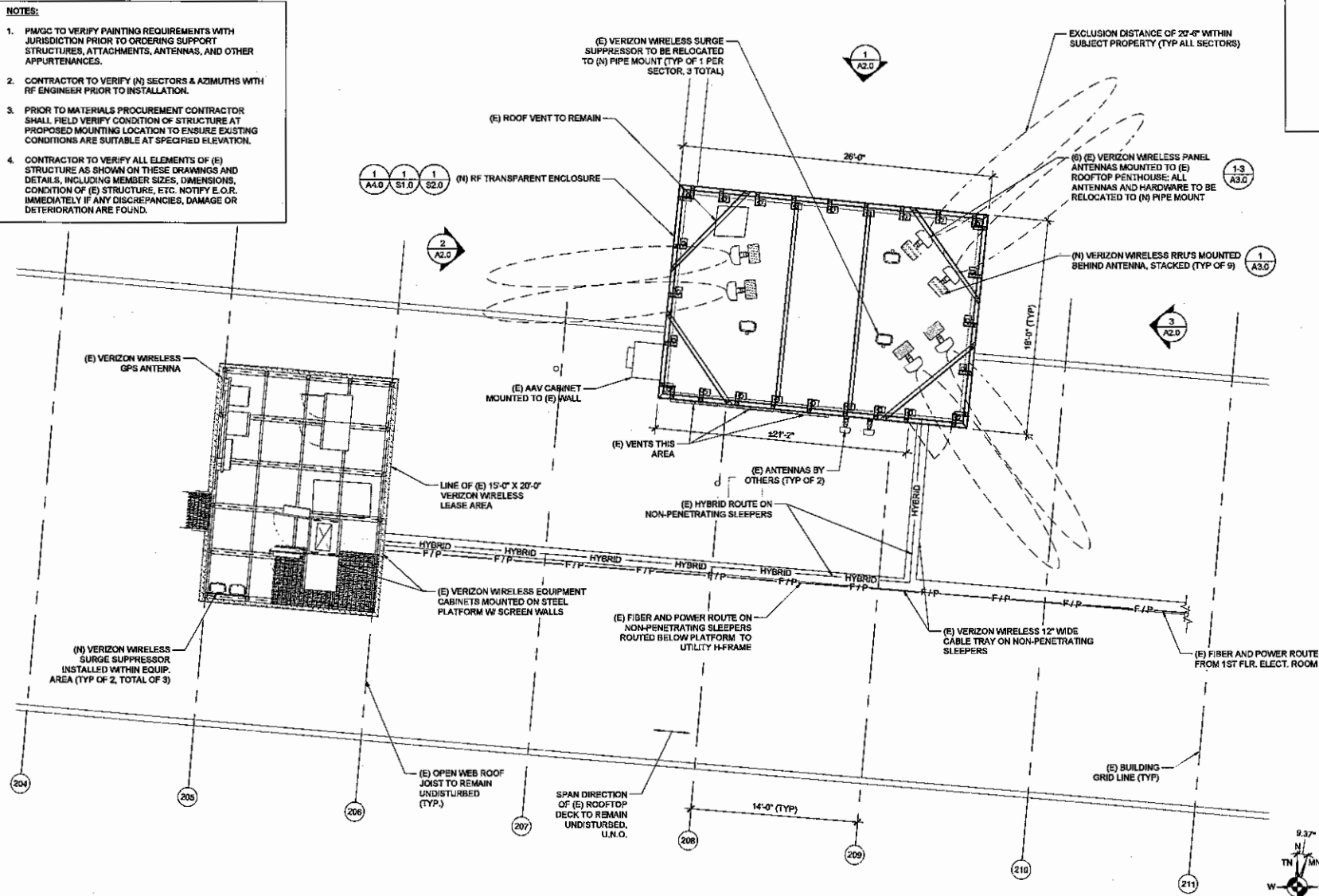
SITE NAME:
HI1 KALAPAKI PCS LTE / ANTMO

SITE ADDRESS:
3010 RICE STREET
LIHUE, HI 96766

SHEET TITLE:
OVERALL SITE PLAN

SHEET NO.:
A01

- NOTES:**
1. PM/CC TO VERIFY PAINTING REQUIREMENTS WITH JURISDICTION PRIOR TO ORDERING SUPPORT STRUCTURES, ATTACHMENTS, ANTENNAS, AND OTHER APPURTENANCES.
 2. CONTRACTOR TO VERIFY (N) SECTORS & AZIMUTHS WITH RF ENGINEER PRIOR TO INSTALLATION.
 3. PRIOR TO MATERIALS PROCUREMENT CONTRACTOR SHALL FIELD VERIFY CONDITION OF STRUCTURE AT PROPOSED MOUNTING LOCATION TO ENSURE EXISTING CONDITIONS ARE SUITABLE AT SPECIFIED ELEVATION.
 4. CONTRACTOR TO VERIFY ALL ELEMENTS OF (E) STRUCTURE AS SHOWN ON THESE DRAWINGS AND DETAILS, INCLUDING MEMBER SIZES, DIMENSIONS, CONDITION OF (E) STRUCTURE, ETC. NOTIFY E.O.R. IMMEDIATELY IF ANY DISCREPANCIES, DAMAGE OR DETERIORATION ARE FOUND.



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CP PROJECT NO.: VER-17-0019-18

PRELIMINARY			
NO.	DATE	BY	DESCRIPTION
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1	12-05-17	KN/KN	CLIENT COMMENT
2	01-16-18	KN/KN	CLIENT COMMENT

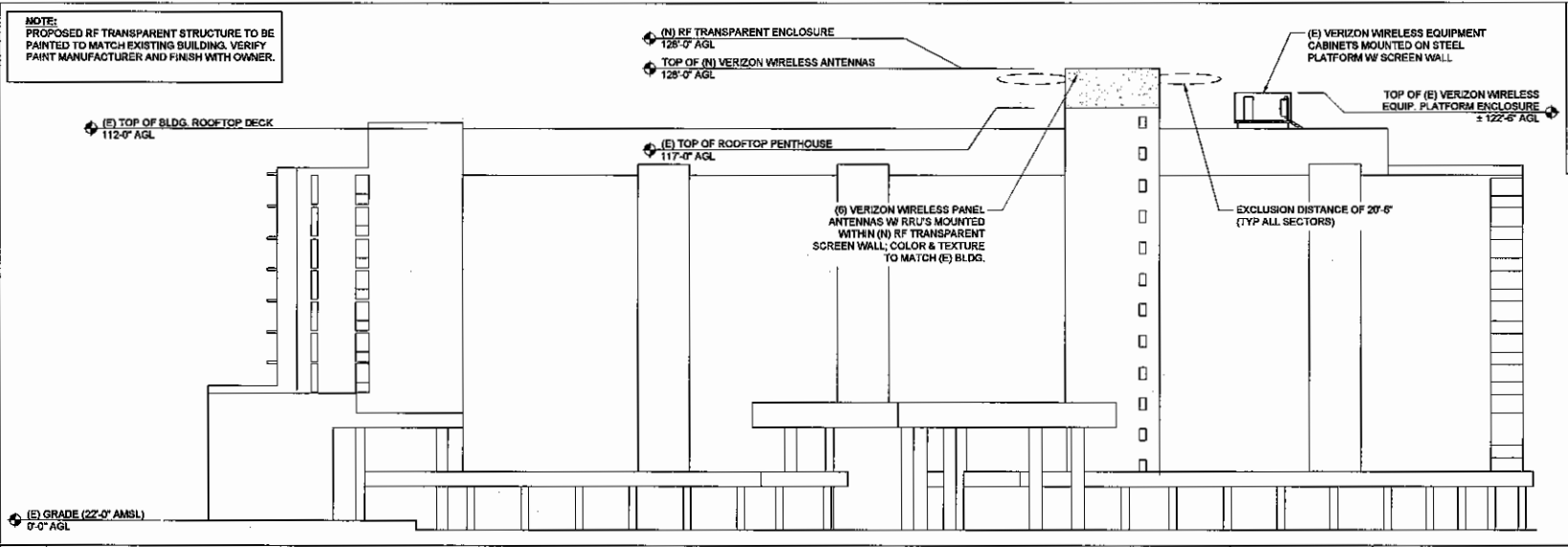
SUBMITTAL			
NO.	DATE	BY	DESCRIPTION
0	01-26-18	KN/KN	BP SUBMITTAL

SITE NAME:
HI1 KALAPAKI PCS
LTE / ANTMO

SITE ADDRESS:
3610 RACE STREET
LIHUE, HI 96766

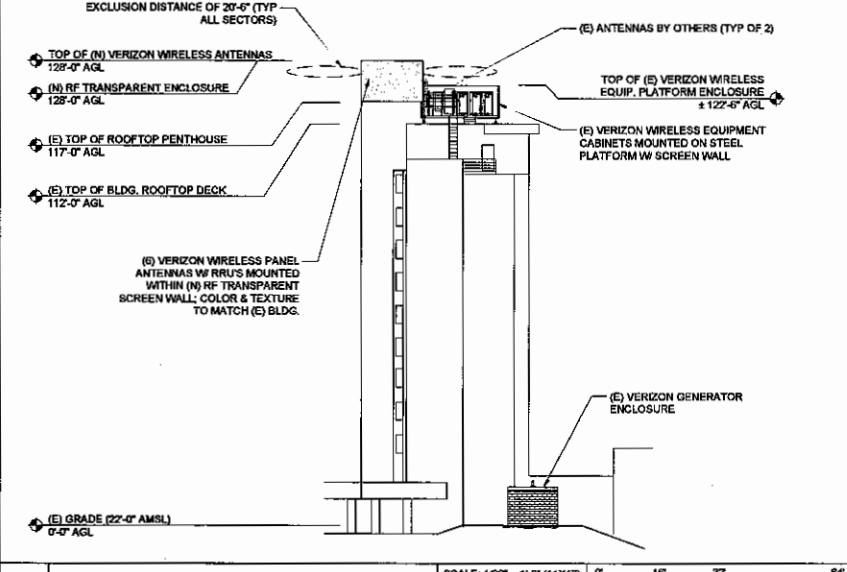
SHEET TITLE
ENLARGED
SITE PLAN

SHEET NO.
A02



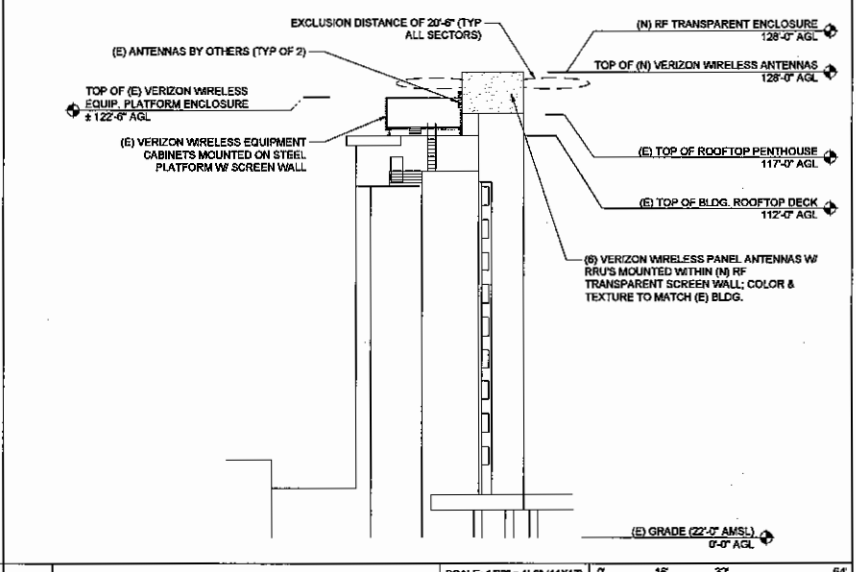
1 NORTH ELEVATION

SCALE: 1/32" = 1'-0" (11X17)
SCALE: 1/16" = 1'-0" (22X34)



2 WEST ELEVATION

SCALE: 1/32" = 1'-0" (11X17)
SCALE: 1/16" = 1'-0" (22X34)



3 EAST ELEVATION

SCALE: 1/32" = 1'-0" (11X17)
SCALE: 1/16" = 1'-0" (22X34)

verizon

CENTERLINE SOLUTIONS

VECTOR ENGINEERS

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CP PROJECT NO.: VER-17-0219-18

PRELIMINARY			
NO.	DATE	BY	DESCRIPTION
0	11-01-17	KN/KN	90% CD REVIEW
1	12-05-17	KN/KN	CLIENT COMMENT
2	01-16-18	KN/KN	CLIENT COMMENT

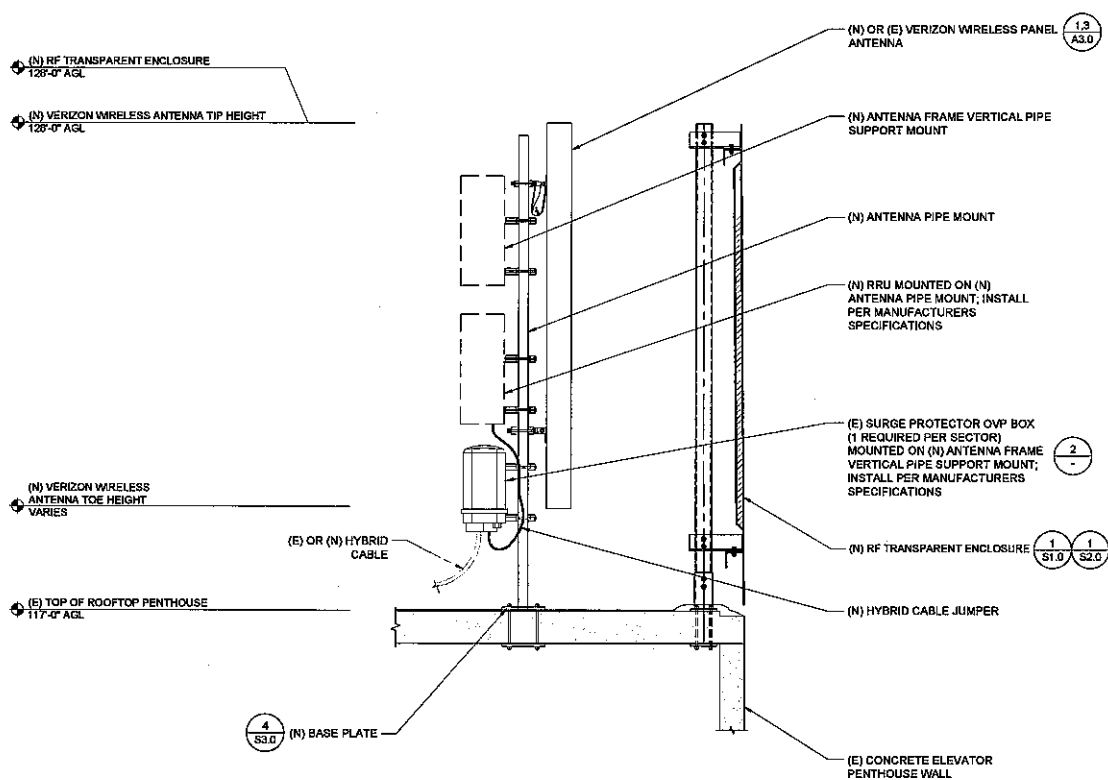
SUBMITTAL			
NO.	DATE	BY	DESCRIPTION
0	01-26-18	KN/KN	BP SUBMITTAL

SITE NAME:
HI1 KALAPAKI PCS LTE / ATMO

SITE ADDRESS:
3810 RICE STREET
LILUO, HI 96766

SHEET TITLE
ELEVATIONS

SHEET NO.
A03



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CP PROJECT NO.: VER-17-0019-18

PRELIMINARY			
NO.	DATE	BY	DESCRIPTION
0	11-01-17	KNV/KN	90% CD REVIEW
1	12-05-17	KNV/KN	CLIENT COMMENT
2	01-16-18	KNV/KN	CLIENT COMMENT

SUBMITTAL			
NO.	DATE	BY	DESCRIPTION
0	01-26-18	KNV/KN	BP SUBMITTAL

SITE NAME:
 HI1 KALAPAKI PCS
 LTE / ANTMO

SITE ADDRESS:
 3610 RICE STREET
 LILUO, HI 96766

SHEET TITLE
 ANTENNA
 MOUNT DETAIL

SHEET NO.
 A05

GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY SITE OR LAYOUT RESTRICTIONS, SITE CONDITIONS, DIMENSIONS, AND ELEVATIONS BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF VECTOR STRUCTURAL ENGINEERING, LLC PRIOR TO BEGINNING PROJECT. ALL WORK SHALL BE PERFORMED USING ACCEPTED CONSTRUCTION PRACTICES.
- NO FIELD MODIFICATIONS MAY BE MADE WITHOUT EXPRESS WRITTEN CONSENT FROM THE ENGINEER OF RECORD. ENGINEER OF RECORD ASSUMES NO RESPONSIBILITY FOR THE STRUCTURE IF ALTERATIONS AND/OR ADDITIONS ARE MADE TO THE DESIGN AS SHOWN IN THESE DRAWINGS.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY WITH ALL LOCAL CODES, REGULATIONS, AND ORDINANCES AS WELL AS STATE DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (DISHA) REQUIREMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK TO THE BEST OF HIS/HER ABILITY AND SKILL. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, AND SEQUENCES, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL VERIFY, COORDINATE, AND PROVIDE ALL NECESSARY BLOCKING, BRACING, FRAMING, HANGERS, OR OTHER SUPPORTS FOR ALL ITEMS REQUIRING SAME, WHETHER SHOWN OR NOT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, FORMWORK, ETC., AND SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL ORDINANCES AND CODES, IN ORDER TO SAFELY EXECUTE ALL STAGES OF WORK TO COMPLETE THIS PROJECT.
- IT IS THE INTENT OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION OF THE STRUCTURE SHOWN.
- CONTRACTOR ASSUMES RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES. THIS REQUIREMENT APPLIES CONTINUOUSLY, AND IS NOT LIMITED TO NORMAL WORKING HOURS.
- CONTRACTOR TO HOLD ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN. THE CONTRACTOR IS FINANCIALLY RESPONSIBLE FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED IN CONJUNCTION WITH THE EXECUTION OF WORK ON THIS PROJECT.
- WEATHER PROOFING AND/OR FLASHING TO BE PROVIDED BY CONTRACTOR AS REQUIRED.
- CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ARCHITECT/ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED.
- THESE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS, AND PEDESTRIANS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, TEMPORARY STRUCTURES, AND PARTIALLY COMPLETED WORK, ETC. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTION OF SUCH ITEMS.
- ALL STRUCTURAL MEMBERS, HARDWARE, & FASTENERS TO BE STEEL, U.N.D.
- ALL ASPECTS OF THE EXISTING STRUCTURE ARE TO REMAIN UNDISTURBED U.N.D. CONTRACTOR TO VERIFY ALL ASPECTS OF THE EXISTING STRUCTURE FOR CONFORMITY WITH THE VALUES SHOWN IN THESE PLANS. CONTRACTOR TO NOTIFY VECTOR OF ANY DISCREPANCIES BETWEEN THE VALUES SHOWN ON THESE PLANS AND THE EXISTING STRUCTURE.
- ALL ASPECTS OF THE EXISTING STRUCTURE ARE ASSUMED TO BE IN GOOD CONDITION, FREE FROM DAMAGE OR DETERIORATION. CONTRACTOR TO VERIFY CONDITION OF STRUCTURE AND INFORM VECTOR OF ANY DAMAGED STRUCTURAL MEMBERS.

DESIGN CRITERIA

- THE DESIGN CRITERIA FOR THIS STRUCTURE IS AS FOLLOWS:
 - STANDARDS AND DESIGN CODES:
 - BUILDING CODE: INTERNATIONAL BUILDING CODE, 2006 EDITION
 - DESIGN:
 - SNOW: NONE
 - WIND: 105 MPH (3-SEC GUST)
 - IMPORTANCE FACTOR: 1.00
 - EXPOSURE: C
 - OCCUPANCY CATEGORY: II
 - SEISMIC:
 - IMPORTANCE FACTOR: 1.00
 - OCCUPANCY CATEGORY: II
 - MAPPED SPECTRAL RESPONSE ACCELERATIONS: $S_a = 0.28g$, $S_v = 0.06g$
 - SITE CLASS: D
 - SPECTRAL RESPONSE COEFFICIENTS: $S_{m1} = 0.28g$, $S_{m2} = 0.11g$
 - SEISMIC DESIGN CATEGORY: D

STRUCTURAL STEEL

- ALL STEEL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION. STEEL SECTIONS SHALL BE IN ACCORDANCE WITH ASTM AS INDICATED BELOW:
 - WIDE FLANGE: ASTM A992 GR. 50
 - RECTANG. HSS: ASTM A500 GR. B (46 ksi)
 - PIPE: ASTM A53 GR. B
 - ANGLES, CHANNELS, PLATES: ASTM A36
 - STEEL TO STEEL BOLTS: ASTM F3125 GR. A328N
 - FRP TO STEEL BOLTS: ASTM A307
 - BOLTS FOR GRATING CLIPS: ASTM A307
 - SCREWS: SAE GR. 5 (OR EQUIVALENT)
- ALL STEEL SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123 AND ASTM F2329. FIELD MODIFICATIONS ARE TO BE COATED WITH ZINC ENRICHED PAINT.
- ALL WELDING TO BE PERFORMED USING E70XX ELECTRODES AND SHALL CONFORM TO AISC. WHERE FLUET WELDS SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC MANUAL OF STEEL CONSTRUCTION. PAINTED SURFACES SHALL BE TOUCHED UP. ALL WELDING SHALL BE PERFORMED IN AN APPROVED SHOP BY WELDERS CERTIFIED IN ACCORDANCE WITH AWS D1.1.
- ALL STRUCTURAL BOLTS SHALL BE TIGHTENED PER THE "TURN OF THE NUT" METHOD AS DEFINED BY AISC. HOLES TO RECEIVE BOLTS SHALL BE 1/16" LARGER THAN NOMINAL BOLT DIAMETER, U.N.D.

POST-INSTALLED ANCHORS

- USE, INSTALLATION, EMBEDMENT DEPTH, AND DIAMETER OF EXPANSION WEDGE OR ADHESIVE ANCHORS IN HARDENED CONCRETE OR CMU SHALL CONFORM TO ICC REPORT & MANUFACTURER'S RECOMMENDATIONS.
- LOCATE AND AVOID CUTTING EXISTING REBAR OR TENDONS WHEN DRILLING HOLES IN ELEVATED CONCRETE SLABS, CONCRETE WALLS, OR CMU.

STRUCTURAL FRP

- ALL FRP MATERIALS SHALL CONFORM TO THE FOLLOWING STANDARDS:
 - PULTRUDED SHAPES/THREADED ROD: FIBERGLASS DYNAMFORM (LARRR 25338)
 - RETRANSPARENT PANELS: SGI FIBERCELL
- ALL FRP MEMBERS AND PANELS TO BE SUPPLIED WITH A RESIN COMPATIBLE WITH THE RESIN MATRIX USED IN THE STRUCTURAL SHAPE.
- THE FABRICATOR AND CONTRACTOR SHALL EXERCISE PRECAUTIONS NECESSARY TO PROTECT THE FIBERGLASS PULTRUDED STRUCTURAL SHAPES FROM ABUSE TO PREVENT BREAKAGE, NICKS, GOUGES, ETC. DURING FABRICATION, HANDLING, AND INSTALLATION.
- STRUCTURAL SHAPES SHALL BE FABRICATED AND ASSEMBLED AS INDICATED ON THESE DRAWINGS.
- FRP BOLTS SHOULD BE TIGHTENED 1/2 TURN PAST SNUG AND LOCKED WITH EPOXY.
- NO FIELD MODIFICATIONS MAY BE MADE TO RETRANSPARENT PANELS WITHOUT THE EXPRESS WRITTEN CONSENT FROM THE ENGINEER OF RECORD. ENGINEER OF RECORD ASSUME NO RESPONSIBILITY FOR THE STRUCTURE IF ALTERATIONS AND/OR ADDITIONS ARE MADE TO THE DESIGN AS SHOWN IN THESE DRAWINGS.

SPECIAL INSPECTION

- CONTRACTOR SHALL PROVIDE REQUIRED SPECIAL INSPECTIONS PERFORMED BY AN INDEPENDENT INSPECTOR, APPROVED BY CARRIER AND THE GOVERNING JURISDICTION, AS REQUIRED BY CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE FOR THE FOLLOWING:
 - PERIODIC FOR HIGH STRENGTH BOLT INSTALLATIONS (IF UTILIZED)
 - PERIODIC FOR POST-INSTALLED ANCHORS IN HARDENED CONCRETE
 - CONTINUOUS FOR FIELD WELDING (IF UTILIZED)
- PROVIDE SPECIAL INSPECTIONS FOR OTHER ITEMS NOTED ON DRAWINGS TO CONFIRM COMPLIANCE WITH CONTRACT DOCUMENTS.
- STEEL FABRICATION SHALL BE DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION.
- SPECIAL INSPECTION IS NOT REQUIRED FOR WORK OF A MINOR NATURE OR AS WARRANTED BY CONDITIONS IN THE JURISDICTION AS APPROVED BY THE BUILDING OFFICIAL. THUS, SPECIAL INSPECTION ITEMS ABOVE MAY BE WAIVED AS DEEMED APPROPRIATE BY THE BUILDING OFFICIAL.
- THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL.
- STRUCTURAL OBSERVATION NOT REQUIRED.

ABBREVIATIONS

AB	ANCHOR BOLT
A-C	ARCHITECTURAL FINISH
B.D.	BUILDING
B.K.	BLOCK
B.K.G.	BLOCKING
B.V.	BED
CAN	CANISTER
C.L.	CENTER LINE
C.G.	CENTRUM
CVU	CONCRETE VASCULAR UNIT
C.U.	CORNER
C.N.	CORNER
D.L.	DRAWING
D.L.	DEAL
(-)	EXISTING
C.	CLIMATE
F.R.	FIBERGLASS REINFORCED
F.D.	FLOOR
F.G.	FLOORING
H.	HORIZONTAL (H-AV)
H.C.R.	HORIZONTAL
H.D.	HOLE
L.S.L.	LAMINATED STRAIN LUG
L.H.	LAMINATED STRAIN LUG
M.T.R.	MANUFACTURED
(N)	NEW
N.T.S.	NOT TO SCALE
O.	OVER
O.C.	ON CENTER
O.T.L.	OPTICAL
O.S.B.	ORIENTED STRAND BOARD
(P)	PROPOSED
P.L.	PARALLEL STRAIN LUG
P.	PAINT
R.O.D.	REQUIRED
S-I	SHADING
S.T.	SHIRT
S.M.	SIMILAR
S.I.	SHIRT
S.A.	STRONG
I-R	HIGH
T.O.F.	TOTAL
L.O.W.	LOW
L.S.B.	LONG AND SHORT
T.P.	TYPICAL
U.N.D.	UNDETERMINED
V.R.	VERTICAL
W.	WITH
X.	NEAR

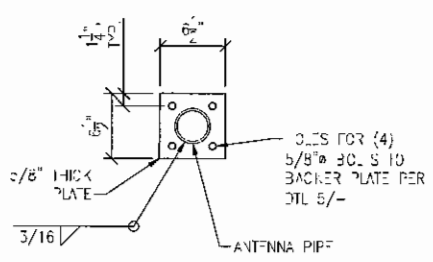


STRUCTURAL NOTES
 H11 KALAPAKI
 3810 RICE STREET
 LINDSEY, HI 96766

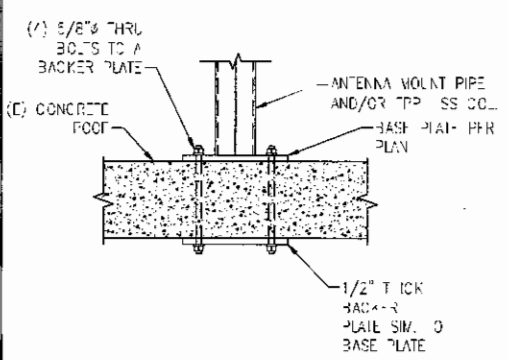
THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION. CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION AND RESPONSIBILITY PER I.B.C. 1615.4.

DATE: 12/2/18	DESIGNED: EGG	DRAWN: WAM
REVISIONS		
DATE	DESCRIPTION	

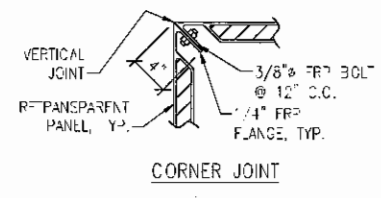
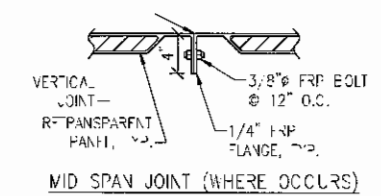
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S01 REV 0



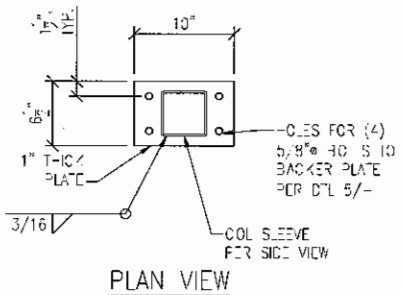
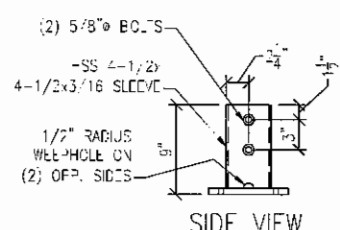
ANTENNA PIPE BASE PLATE N.T.S. 4



BASE PLATE/BACKER PLATE N.T.S. 5

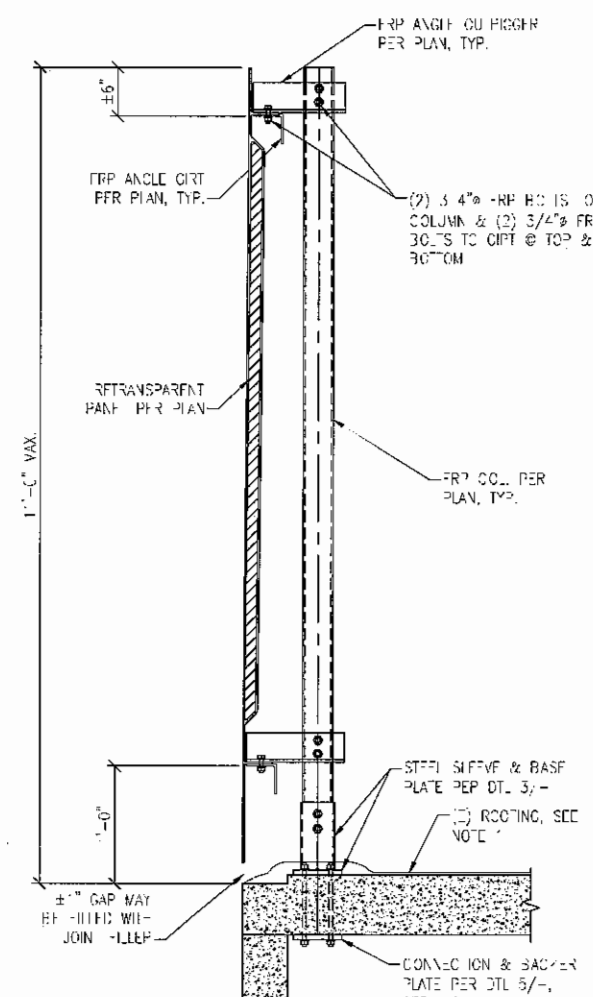


PANEL JOINTS N.T.S. 2



FRP COL. SLEEVE & BASE PLATE N.T.S. 3

NOTES:
 1. REMOVE ANY EXISTING BUILT-UP ROOFING FOR INSTALLATION OF BASE PLATE DIRECTLY ON CONCRETE. REPAIRING OF REBAR SHOULD BE EQUAL OR BETTER CONDITION AND WATERPROOFED.
 2. CONTRACTOR TO VERIFY AND AVOID CUTTING ANY REBAR OR TENDONS DURING INSTALLATION OF ALL POST INSTALLED TIE RODS.



SCREENWALL SECTION VIEW N.T.S. 1

VECTOR ENGINEERS
 651 W. CALENA PARK BLVD., SUITE 101
 DRAPER, UT 84020
 P. (801) 950-1775 F. (801) 999-1776

CENTERLINE SOLUTIONS

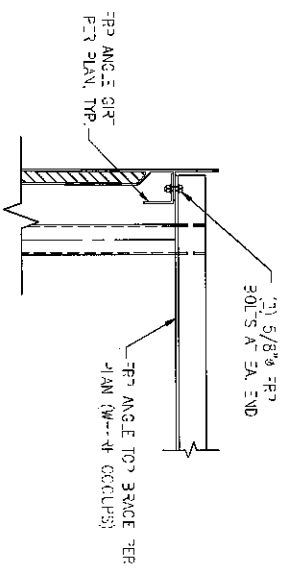
verizon

STRUCTURAL ENCLOSURE SECTION AND DETAILS
 HI1 KALAPAKI
 9810 RICE STREET
 LIHUE, HI 96766

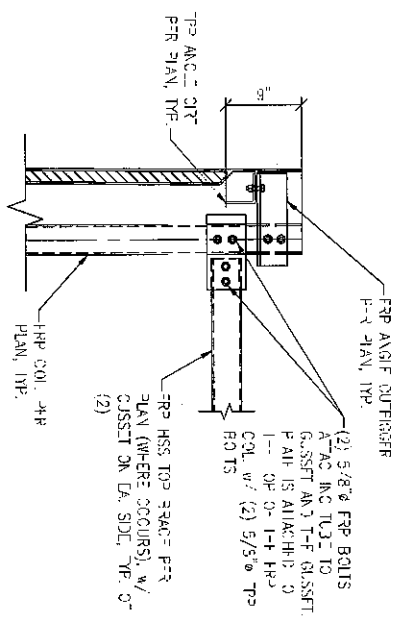
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DATE	DESIGNED: EGG	DRAWN: WAM
DATE	REVISIONS	DESCRIPTION

U1194-528-171
S03 REV 0



SCREENWALL SECTION VIEW 1
N.T.S.



FRP HSS BRACE CONNECTION 2
N.T.S.

STRUCTURAL ENCLOSURE SECTION AND DETAILS

HI1 KALAPAKI

3610 RICE STREET
LIHUE, HI 96766

VECTOR
ENGINEERS

651 W. OAHUA ROAD, SUITE 101
LIHUE, HI 96766
P: (808) 986-2725 F: (808) 986-2726

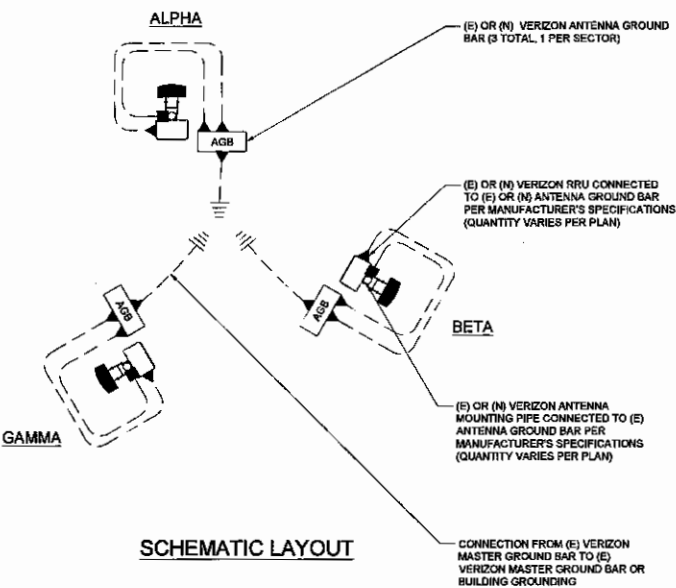
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DATE	DESCRIPTION

THE WORK DESCRIBED HEREIN IS THE PROPERTY OF VECTOR ENGINEERS. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS WORK IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF VECTOR ENGINEERS.

U1194-628-171
S04 REV 0



SCHEMATIC LAYOUT

GROUNDING LEGEND

- ⊗ GROUND TEST WELL
- ⊙ GROUND ROD
- ▲ MECHANICAL CONNECTION (DOUBLE HOLE LUG)
- CAD WELD CONNECTION
- CONNECT PER MANUFACTURER SPECIFICATIONS
- ▬ GROUND BAR
- ⊥ EARTH GROUND

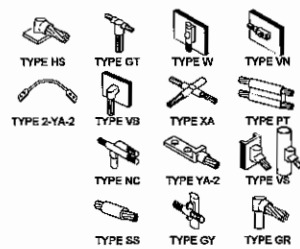
- NOTES:**
- GROUNDING SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
 - MINIMUM BENDING RADIUS FOR GROUNDING CONNECTORS IS 6".
 - NO SPLICES PERMITTED IN GROUND CONDUCTORS.
 - ALL GROUNDING CONNECTIONS TO BE CLEAN AND FREE OF PAINT AT THEIR MATING SURFACES AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. USE PENETROX ANTIOXIDANT GREASE (OR APPROVED EQUAL).
 - ALL GROUND BAR CONNECTIONS ARE TO BE 2-HOLE LUG COMPRESSION TYPE. STACKED CONNECTIONS ARE NOT ACCEPTABLE. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BAR WILL BE PERMITTED.
 - ENSURE ALL MECHANICAL CONNECTORS ARE TORQUED TO THE MANUFACTURER'S SPECIFIED VALUES.
 - MULTIPLE BONDS ON GROUND RODS TO BE SEPARATED BY AT LEAST 6".
 - MAXIMUM RESISTANCE OF THE COMPLETED GROUND SYSTEM SHALL NOT EXCEED A RESISTANCE OF 5 OHMS TO EARTH.
 - GROUND WIRES SHALL NOT BE INSTALLED THROUGH HOLES IN ANY METAL OBJECTS OR SUPPORTS, TO PRECLUDE ESTABLISHING A "CHICKEN" POINT.
 - GROUND BARS SHALL NOT BE FIELD MODIFIED.
 - GROUND RING BURIAL DEPTH SHALL BE 30".
 - A CERTIFIED CONTRACTOR WILL MAKE ALL MEASUREMENTS REQUIRED TO TEST THE GROUNDING SYSTEM USING A MEGGER OR EQUIVALENT. THE ACCEPTABLE RESISTANCE MEASURED FOR THE GROUNDING SYSTEM WILL NOT EXCEED 5 OHMS RESISTANCE. THREE DISTANCES SHALL BE USED: 1 AT 100 FEET, 1 AT 70 FEET AND 1 AT 35 FEET. THESE DISTANCES ARE SUBJECT TO A SITE-BY-SITE BASIS. VERIZON-WTS SHALL BE GIVEN 24 HOURS NOTICE. ALL COSTS ASSOCIATED WITH GROUND TESTING WILL BE AT THE EXPENSE OF THE CONTRACTOR.



Know what's below.
Call before you dig.

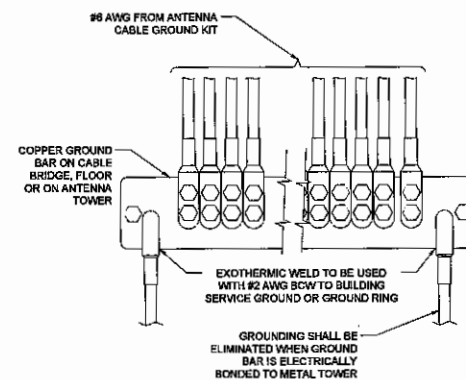
NOTE:
ERICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES, CONSULT WITH PROJECT MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.

TYPICAL CADWELD GROUNDING CONNECTIONS



2 CADWELD GROUNDING

SCALE: NTS
SCALE: NTS



- NOTES:**
- ANTENNA GROUNDING BARS NOT TO USE INSULATORS.
 - GROUND BARS AT BOTTOM OF TOWERS SHALL ONLY USE EXOTHERMIC WELDS.
 - GENERAL CONTRACTOR IS TO FURNISH AND INSTALL 2X6 HOLE GROUND BAR IN THE GBF OF THE RBS AND TIE-IN TO EXISTING GROUND RING.



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CP PROJECT NO.: VER-17-0019-19

PRELIMINARY			
NO.	DATE	BY	DESCRIPTION
0	11-01-17	KN/KN	90% CD REVIEW
1	12-05-17	KN/KN	CLIENT COMMENT
2	01-16-18	KV/KV	CLIENT COMMENT

SUBMITTAL			
NO.	DATE	BY	DESCRIPTION
0	01-25-18	KN/KN	BP SUBMITTAL

SITE NAME:
HI1 KALAPAKI PCS
LTE / ANTMO

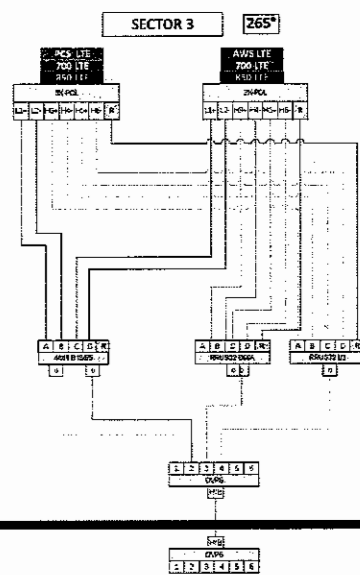
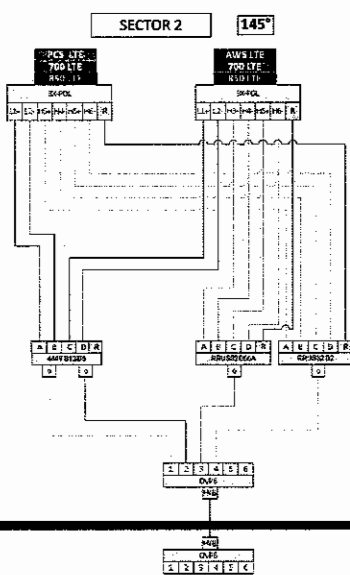
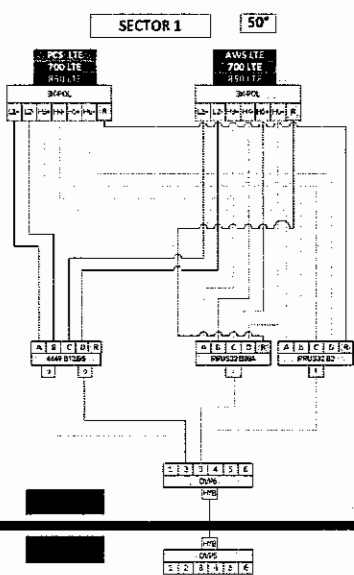
SITE ADDRESS:
3610 RICE STREET
LIHUE, HI 96766

SHEET TITLE
TYP. ANTENNA
GROUNDING
DETAILS

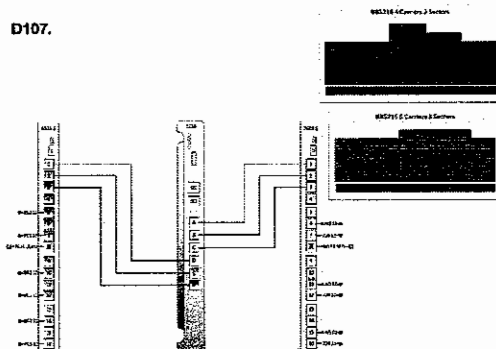
SHEET NO.
E01

H18 KALAPAKI PCS 850 LTE Add RET 4WTX 11162017

007131



D107.



verizon

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VECTOR ENGINEERS

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION. CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

CP PROJECT NO.: VER-17-0018-18

PRELIMINARY

NO.	DATE	BY	DESCRIPTION
0	11-01-17	KN/KN	30% CD REVIEW
1	12-05-17	KN/KN	CLIENT COMMENT
2	01-16-18	KN/KN	CLIENT COMMENT

SUBMITTAL

NO.	DATE	BY	DESCRIPTION
0	01-25-18	KN/KN	BP SUBMITTAL

SITE NAME:
H11 KALAPAKI PCS
LTE / ANTMO

SITE ADDRESS:
2610 RICE STREET
LIHUE, HI 96766

SHEET TITLE
RF DETAILS

SHEET NO.
T01

GENERAL NOTES

1. THE FACILITY IS AN UNOCCUPIED SPECIALIZED MOBILE RADIO FACILITY.
2. PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A GRAPHIC REPRESENTATION OF THE FINAL INSTALLATION. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
3. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTOR SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER.
4. THE CONTRACTOR SHALL RECEIVE, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK.
5. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
6. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL AND STATE JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS.
7. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT INCLUDING CONTACT AND COORDINATION WITH THE PROJECT MANAGER AND WITH LANDLORD'S AUTHORIZED REPRESENTATIVE.
8. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 5 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA DURING CONSTRUCTION.
9. THE CONTRACTOR SHALL PROVIDE SITE FOREMAN WITH A CELLULAR PHONE, AND KEEP SAME ON SITE WHENEVER ANY PERSONNEL ARE ON SITE.
10. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
11. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, GALVANIZED SURFACES, ETC., AND UPON COMPLETION OF WORK, REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION TO THE SATISFACTION OF THE PROJECT MANAGER AND/OR LANDLORD.
12. ON A DAILY BASIS, KEEP GENERAL AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH, AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST OR SMUDGES OF ANY NATURE.
13. CONTRACTOR TO PROVIDE COMPLETE SET OF AS-BUILT DRAWINGS WITHIN 10 WORKING DAYS OF PROJECT COMPLETION.
14. WHERE A CONSTRUCTION DETAIL IS NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
15. ASTM SPECIFICATIONS NOTED ON THE DRAWINGS SHALL BE OF THE LATEST REVISION.
16. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
17. ALL ITEMS REMOVED OR DAMAGED DURING CONSTRUCTION WORK WILL BE REPLACED OR REPAIRED TO MATCH EXISTING.
18. ALL ELEMENTS OF EXISTING STRUCTURE TO REMAIN UNDISTURBED, UNLESS NOTED OTHERWISE. EXISTING STRUCTURE IS ASSUMED TO BE IN GOOD CONDITION, FREE OF DAMAGE OR DETERIORATION. CONTRACTOR TO VERIFY ALL ELEMENTS OF EXISTING STRUCTURE AFFECTED BY THIS MODIFICATION AND NOTIFY ENGINEER OF RECORD IF ANY DAMAGE, DETERIORATION OR DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE DEPICTED ON THESE CONSTRUCTION DRAWINGS ARE FOUND.

SPECIAL INSPECTION

1. IF REQUIRED, SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT SPECIAL INSPECTOR.
2. THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THEIR REPORT TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL AS EACH TEST IS COMPLETED.
3. ANY MATERIAL WHICH FAILS TO MEET THE PROJECT SPECIFICATIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE STRUCTURAL ENGINEER. SPECIAL INSPECTOR TESTING REQUIREMENTS APPLY EQUALLY TO ALL BIDDER DESIGNED COMPONENTS.
4. INSPECTION FOR PREFABRICATED CONSTRUCTION SHALL BE THE SAME AS FOR THE MATERIAL USED IF THE CONSTRUCTION TOOK PLACE ON SITE. CONTINUOUS INSPECTION WILL NOT BE REQUIRED DURING PREFABRICATION IF THE APPROVED AGENCY CERTIFIES THE CONSTRUCTION AND FURNISHES EVIDENCE OF COMPLIANCE.
5. THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT CERTIFYING THAT ALL WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF THE SPECIAL INSPECTOR'S KNOWLEDGE IN CONFORMANCE WITH THE APPROVED PERMIT PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS.

STRUCTURAL NOTES

- GENERAL STRUCTURAL NOTES:**
1. WHERE A CONSTRUCTION DETAIL IS NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
 2. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES.
 3. NO PIPES, DUCTS, SLEEVES, CHASES, ETC., SHALL BE PLACED IN SLABS, BEAMS, OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED, NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC., UNLESS OTHERWISE NOTED. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC.
 4. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD VERIZON WIRELESS AND THE ARCHITECT/ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF VERIZON WIRELESS OR THE ARCHITECT/ENGINEER.
 5. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS, AND PEDESTRIANS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, TEMPORARY STRUCTURES, AND PARTIALLY COMPLETED WORK, ETC. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTION OF SUCH ITEMS.
 6. ASTM SPECIFICATIONS NOTED ON THE DRAWINGS SHALL BE OF THE LATEST REVISION.
 7. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOOR OR ROOF. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT. PROVIDE ADEQUATE SHORING/BRACING WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.
 8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
 9. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.
 10. THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.
 11. ALL ITEMS REMOVED DURING CONSTRUCTION WORK (I.E., DRYWALL, PLYWOOD, CEILING PANELS, ETC.) SHALL BE REPLACED TO MATCH EXISTING.

THE FOLLOWING REQUIREMENTS SHALL BE MET FOR SPECIAL INSPECTION:

- A. THE SPECIAL INSPECTOR SHALL BE UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER.
- B. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE ARCHITECT/ENGINEER, AND OTHER DESIGNATED PERSONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION. THEN, IF UNCORRECTED, TO THE PROPER DESIGN AUTHORITY AND THE BUILDING OFFICIAL.
- C. THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT SIGNED BY BOTH HE AND HIS SUPERVISOR STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE CODE.
- D. COMPLY WITH ALL CITY SPECIAL INSPECTION REQUIREMENTS.

STANDARD STRUCTURAL STEEL NOTES:

1. ALL METAL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATION GALVANIZED ASTM A123-A123M-02 UNLESS NOTED OTHERWISE.
2. STRUCTURAL TUBING MEMBERS SHALL CONFORM TO ASTM A500, GRADE A OR A501.
3. ALL WELDING SHALL BE DONE USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC AND AWS D1.1 WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION", 14TH EDITION.
4. BOLTED CONNECTIONS SHALL USE BEARING TYPE GALV. ASTM F3125 GRADE A325 BOLTS (5/8" DIA. UNF), GALV. PER ASTM F2328, AND SHALL HAVE A MINIMUM OF TWO BOLTS U.N.O AND SHALL INCLUDE HEAVY-HEX NUTS AND STANDARD CUT WASHERS.
5. NON-STRUCTURAL CONNECTIONS FOR HANDRAIL, LADDERS AND STEEL GRATING MAY USE 5/8" DIA GALVANIZED ASTM A307 BOLTS U.N.O.
6. ALL STRUCTURAL PIPE ASTM A53, TYPE E OR S, GRADE B.

SPECIAL INSPECTION:

1. IF REQUIRED, SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT SPECIAL INSPECTOR PER CODE FOR THE FOLLOWING ITEMS.
- A. CONTINUOUS DURING THE INSTALLATION OF EXPANSION AND/OR ADHESIVE ANCHORS: INSPECT HOLE SIZE, DEPTH, CLEANLINESS, AND INSTALLATION PER ICC REPORT.

DRAWING ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	LF	LINEAR FEET
AGL	ABOVE GRADE LEVEL	MAX	MAXIMUM
AWG	AMERICAN WIRE GAUGE	MECH	MECHANICAL
AC	AIR CONDITIONING	MFR	MANUFACTURER
ADJ	ADJUSTABLE	MGR	MANAGER
APPROX	APPROXIMATELY	MIN	MINIMUM
AZ	AZIMUTH	MISC	MISCELLANEOUS
BLDG	BUILDING	MTL	METAL
CM	CONSTRUCTION MANAGER	MTZL	METALIZE(D)
CAB	CABINET	MW	MICROWAVE
CL	CENTERLINE	NEC	NATIONAL ELECTRICAL CODE
CLG	CEILING	NIC	NOT IN CONTRACT
CLR	CLEAR	NTS	NOT TO SCALE
CO	COPPER	N/A	NOT APPLICABLE
CONC	CONCRETE	OC	ON CENTER
COND	CONDUIT	OD	OUTSIDE DIAMETER
CONST	CONSTRUCTION	OP	OVERHEAD POWER
CONT	CONTINUOUS	OT	OVERHEAD RISER
CPM	CASCADE PM	OPP	OPPOSITE
DC	DRAWER/CHECKER	PL	PROPERTY LINE
DEMO	DEMOLISH	PLYWD	PLYWOOD
DA	DIAMETER	PM	PROJECT MANAGER
DIM	DIMENSION	PROJ	PROJECT
DN	DOWN	PROP	PROPERTY
DTL	DETAIL	PT	PRESSURE TREATED
DRG	DRAWING	RD	ROUGH OPENING
EA	EACH	ROW	RIGHT OF WAY
ELECT	ELECTRICAL	RRU	REMOTE RADIO UNIT
ELEV	ELEVATION	REQ	REQUIRED
EQ	EQUAL	SBTC	SOLID BARE TINNED COPPER
EQUIP	EQUIPMENT	SF	SQUARE FEET
EXT	EXTERIOR	SHT	SHEET
FN	FINISH	SPEC	SPECIFICATION
FLR	FLOOR	SQ	SQUARE
FT	FOOT, FEET	SS	STAINLESS STEEL
GA	GALVE	STL	STEEL
GALV	GALVANIZED	STRUCT	STRUCTURE, STRUCTURAL
GC	GENERAL CONTRACTOR	TOC	TOP OF CONCRETE
GWB	GYPSUM WALL BOARD	TCM	TOP OF MASONRY
GR	GRADE	THRU	THROUGH
GRND	GROUND	TINND	TINNED
HVAC	HEATING, VENTING & AIR CONDITIONING	USC	UNIFORM BUILDING CODE
HORIZ	HORIZONTAL	UG	UNDERGROUND
HT	HEIGHT	UNO	UNLESS NOTED OTHERWISE
IBC	INTERNATIONAL BUILDING CODE	UP	UNDERGROUND POWER
ID	INSIDE DIAMETER	UP	UNDERGROUND RISER
IN	INCH	VIF	VERTICAL IN FIELD
INSUL	INSULATION	VERT	VERTICAL
INT	INTERIOR	WP	WATERPROOF
JBOX	JUNCTION BOX	W	WITH
LB(S)	POUNDS(S)	WO	WITHOUT



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CP PROJECT NO.: VER-17-0018-18

PRELIMINARY			
NO.	DATE	BY	DESCRIPTION
0	11-01-17	KANN	90% CD REVIEW
1	12-05-17	KANN	CLIENT COMMENT
2	01-16-18	KANN	CLIENT COMMENT

SUBMITTAL			
NO.	DATE	BY	DESCRIPTION
0	01-26-18	KANN	SP SUBMITTAL

SITE NAME:
H11 KALAPAKI PCS
LTE / ANTMO

SITE ADDRESS:
 301 D RICE STREET
 LITTLE, HI 96768

SHEET TITLE
GENERAL
NOTES

SHEET NO.
GEN01



H11 KALAPAKI GENERATOR MODIFICATION

PROJECT DATA

SITE ADDRESS: 3610 RICE STREET
LIHUE, HI 96766

LATITUDE: 21° 57' 40.35" N
LONGITUDE: 159° 21' 03.36" W
DATUM: NAD 83
SOURCE: 1A
JURISDICTION: KAUAI COUNTY
TMC: (4) 3-5-002-002

GROUND ELEVATION: 22'-0" AMSL
BUILDING TOP ELEVATION: 137' AGL
OCCUPANCY GROUP: U-2
CONSTRUCTION TYPE: V-8
ZONING CLASSIFICATION: RESORT-20
FLOOD ZONE: ZONE X, AE, VE, AEF, & XS

GOVERNING CODES

- IBC - 2006, INTERNATIONAL BUILDING CODE ALL CONSTRUCTION SHALL CONFORM TO THE 2006 INTERNATIONAL BUILDING CODE (2006 IBC) AND THE LATEST KAUAI COUNTY AMENDMENTS AND ORDINANCES.
- NEC-2008, NATIONAL ELECTRICAL CODE
- NFPA 2012, NATIONAL FIRE PROTECTION ASSOCIATION FIRE SAFETY DURING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH 2006 NFPA 1
- A.D.A. COMPLIANCE
INSTALLATION IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS IS NOT REQUIRED PER A.D.A.

PROJECT CONTACTS

APPLICANT
VERIZON WIRELESS
3350 191 ST AVE. SE
BELLEVUE, WA 98006

PROPERTY OWNER
MARRIOTT KAUAI RESORT
3610 RICE STREET, LIHUE, HI 96766
JEFF NISENOFF

**PRINCIPAL ENGINEER,
NETWORK CONSTRUCTION**
VERIZON WIRELESS
3245 159TH AVE. SE
MS 231
BELLEVUE, WA 98006
CONTACT: BRYAN ADAMS, PMP
PH: 425.803.2728
CELL: 206.715.8499
bryan.adams@verizonwireless.com

ZONING & PERMITTING CONSULTANT
CENTERLINE SOLUTIONS
3375 KOAPAKA STREET, SUITE D-165
HONOLULU, HI 96819
PH: 808-536-7400
hawaii@centerlinesolutions.com

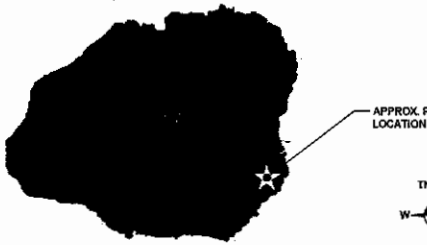
STRUCTURAL ENGINEER
VECTOR STRUCTURAL ENGINEERS
851 W. GALENA PARK BLVD, SUITE 101
DRAPER, UT 84020
WELLS L. HOLMES, S.E.
PH: 801.960.1775

ELECTRICAL ENGINEER
9200 CHERRY CREEK S. DRIVE,
SUITE 25
DENVER, CO 80231
RICHARD J. MOSS, PE
PH: 303.921.5081

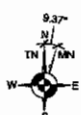
DRAWING INDEX

SHEET	DESCRIPTION
Ocs1	TITLE SHEET
A01	OVERALL SITE PLAN
A02	ENLARGED GENERATOR PLAN
A03	NEW & EXISTING ENLARGED OVERVIEW
A04	CEILING & ROOFTOP PLAN VIEWS
A05	ELEVATIONS
A06	SHELTER SECTION VIEW
M01	GENERATOR SHELTER PLAN
Gen01	GENERAL NOTES
Gen02	GENERAL NOTES

ISLAND MAP



APPROX. PROJECT LOCATION



DRIVING DIRECTIONS

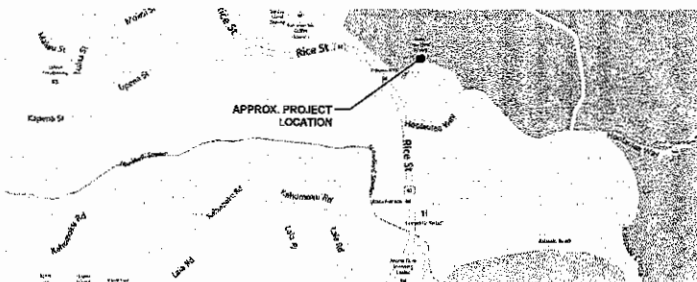
- FROM LIHUE AIRPORT:**
1. DEPART MOKULELE LOOP TOWARD HOOLIMALIMA PL. (0.2 MI)
 2. KEEP LEFT TO STAY ON MOKULELE LOOP (260 FT)
 3. KEEP LEFT TO STAY ON MOKULELE LOOP (0.3 MI)
 4. KEEP RIGHT TOWARD KAANA ST (263 FT)
 5. TURN RIGHT ONTO KAANA ST (227 FT)
 6. TURN LEFT ONTO HI-51 / KAPULE HWY (0.7 MI)
 7. TURN LEFT TO STAY ON HI-51 / RICE ST (0.5 MI)

ESTIMATED TIME: 8 MINUTES
ESTIMATED DISTANCE: 1.9 MILES



CALL BEFORE YOU DIG!
866-423-7287

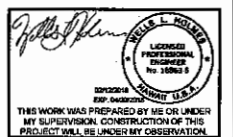
VICINITY MAP



PROJECT SUMMARY

THIS PROJECT INCLUDES THE FOLLOWING SCOPE OF WORK:

1. PROPOSED MECHANIC MODIFICATION TO EXISTING GENERATOR AND ENCLOSURE



CIPM PROJECT NO.: 7078

NO.	DATE	D/C	DESCRIPTION
0	11-02-17	AK/PJ	CONTRACTOR REVS
1	01-22-18	KV/B	CENTERLINE REVS
2			

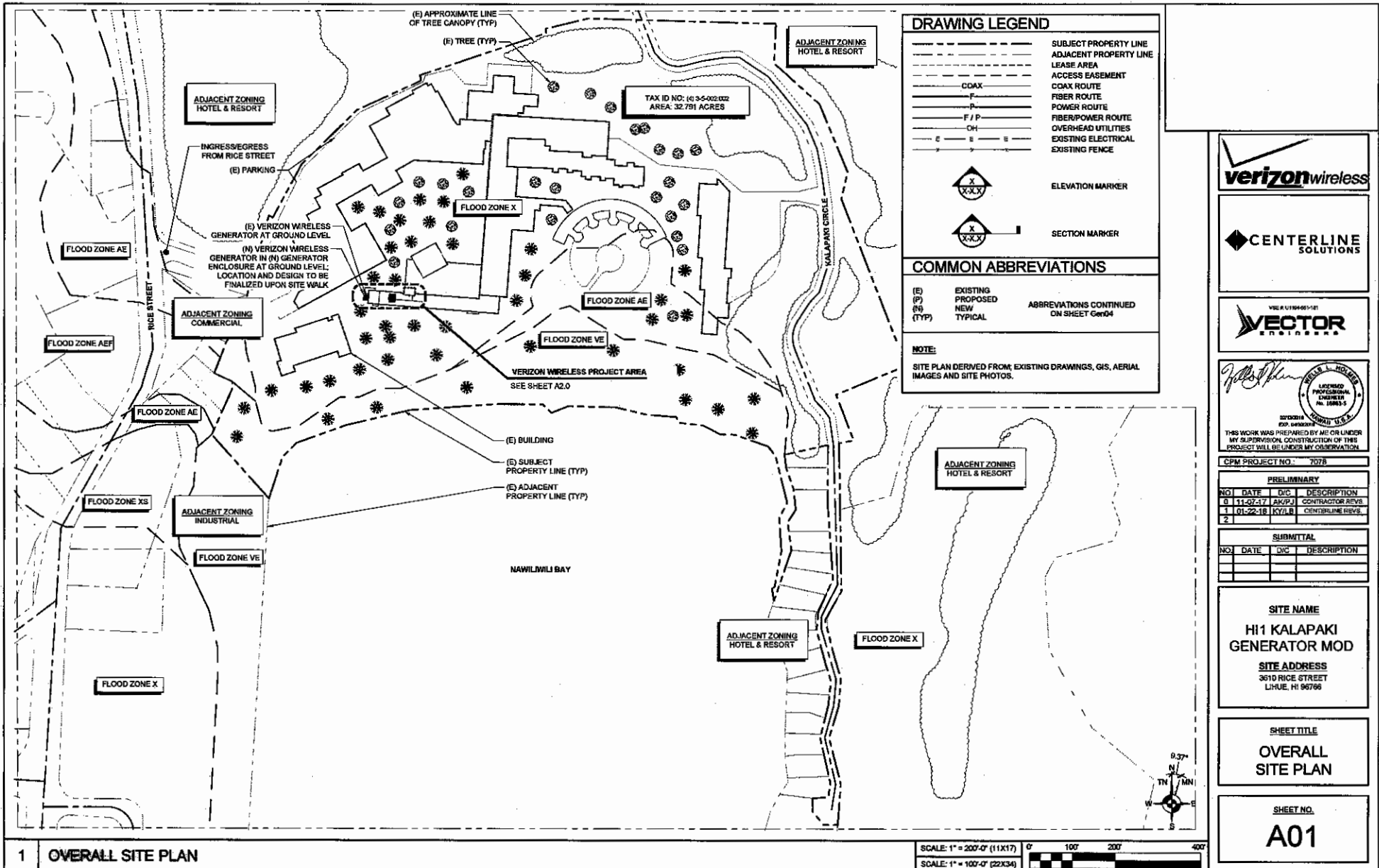
NO.	DATE	D/C	DESCRIPTION

SITE NAME
H11 KALAPAKI
GENERATOR MOD

SITE ADDRESS
3610 RICE STREET
LIHUE, HI 96766

SHEET TITLE
TITLE SHEET

SHEET NO.
Ocs1



DRAWING LEGEND

---	SUBJECT PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	LEASE AREA
---	ACCESS EASEMENT
---	COAX ROUTE
---	FIBER ROUTE
---	POWER ROUTE
---	FIBER/POWER ROUTE
---	OVERHEAD UTILITIES
---	EXISTING ELECTRICAL
---	EXISTING FENCE

ELEVATION MARKER
 SECTION MARKER

COMMON ABBREVIATIONS

(E)	EXISTING	ABBREVIATIONS CONTINUED ON SHEET C604
(P)	PROPOSED	
(N)	NEW	
(TYP)	TYPICAL	

NOTE:
SITE PLAN DERIVED FROM EXISTING DRAWINGS, GIS, AERIAL IMAGES AND SITE PHOTOS.



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION. CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

CPM PROJECT NO. 7076

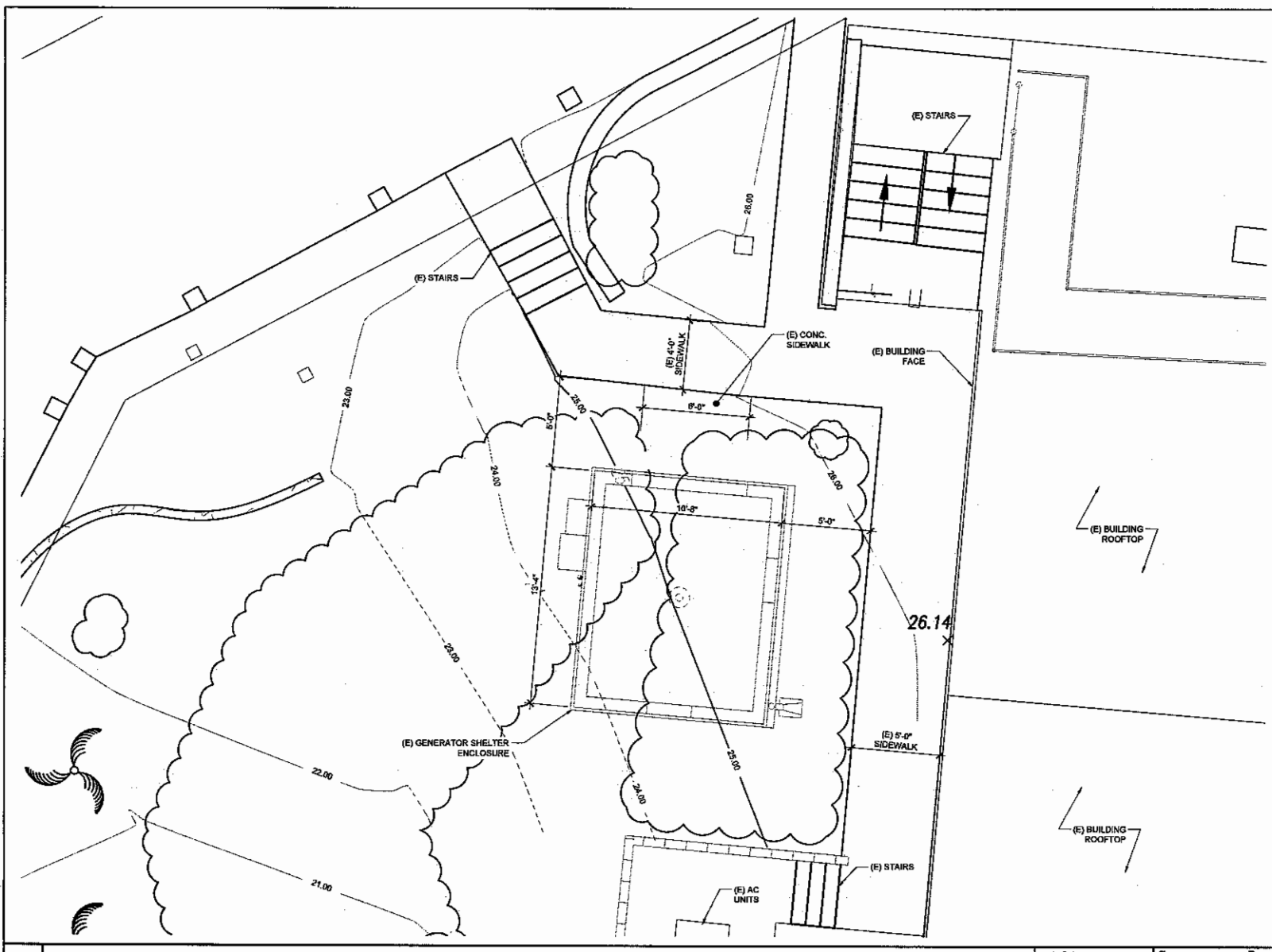
PRELIMINARY			
NO.	DATE	D/C	DESCRIPTION
0	11-07-17	AKP/J	CONTRACTOR REV.
1	01-22-18	KYL/B	CENTERLINE REV.
2			

SUBMITTAL			
NO.	DATE	D/C	DESCRIPTION

SITE NAME
 HI1 KALAPAKI GENERATOR MOD
SITE ADDRESS
 3510 RICE STREET
 LHUE, HI 96766

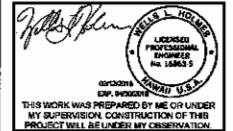
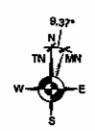
SHEET TITLE
 OVERALL SITE PLAN

SHEET NO.
 A01



1 ENLARGED GENERATOR PLAN

SCALE: 3/16" = 1'-0" (11X17)
 SCALE: 3/8" = 1'-0" (22X34)



CPM PROJECT NO.: 7076

PRELIMINARY			
NO.	DATE	D/C	DESCRIPTION
0	11-07-17	AKP/J	CONTRACTOR REV.
1	01-22-18	KYL/R	CENTERLINE REV.
2			

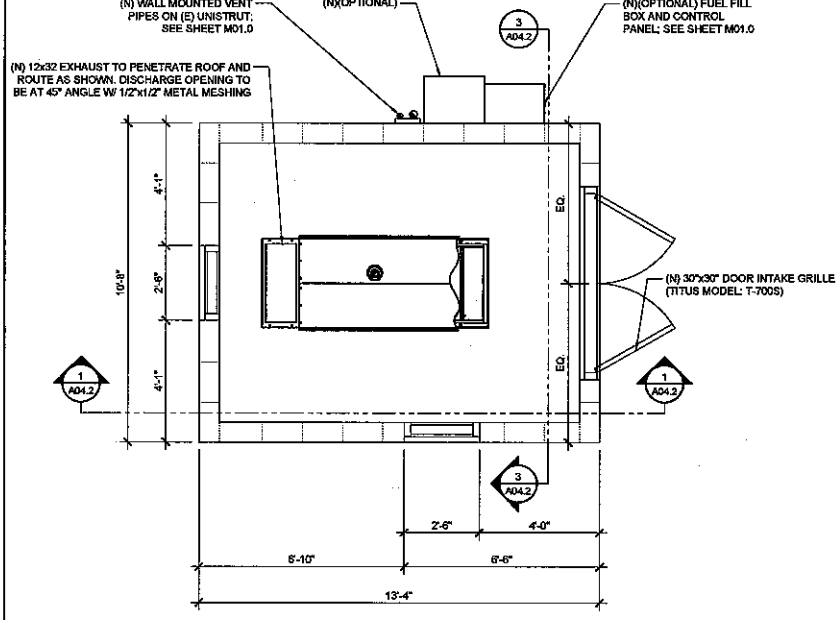
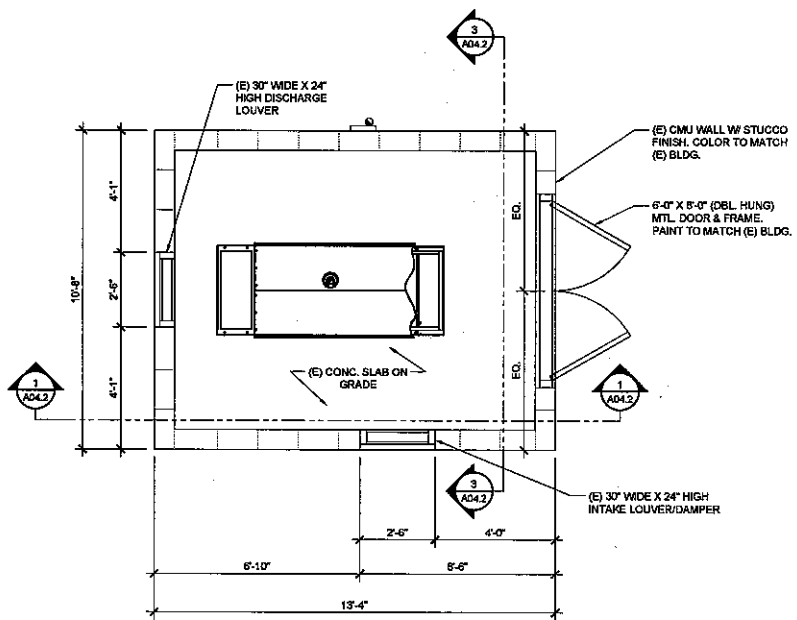
SUBMITTAL			
NO.	DATE	D/C	DESCRIPTION

SITE NAME
 HI1 KALAPAKI
 GENERATOR MOD

SITE ADDRESS
 3610 RICE STREET
 LIHUE, HI 96766

SHEET TITLE
 ENLARGED
 GENERATOR SITE
 PLAN

SHEET NO.
 A02



1 (E) GENERATOR SHELTER - INTERIOR PLAN VIEW

SCALE: NTS (11X17)
SCALE: NTS (22X34)

2 (N) GENERATOR SHELTER - INTERIOR PLAN VIEW

SCALE: NTS (11X17)
SCALE: NTS (22X34)



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION. CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

GPM PROJECT NO.: 7078

PRELIMINARY			
NO.	DATE	D/C	DESCRIPTION
0	11-07-17	AW/P	CONTRACTOR REVS.
1	01-22-18	KYL/P	CENTERLINE REVS.
2			

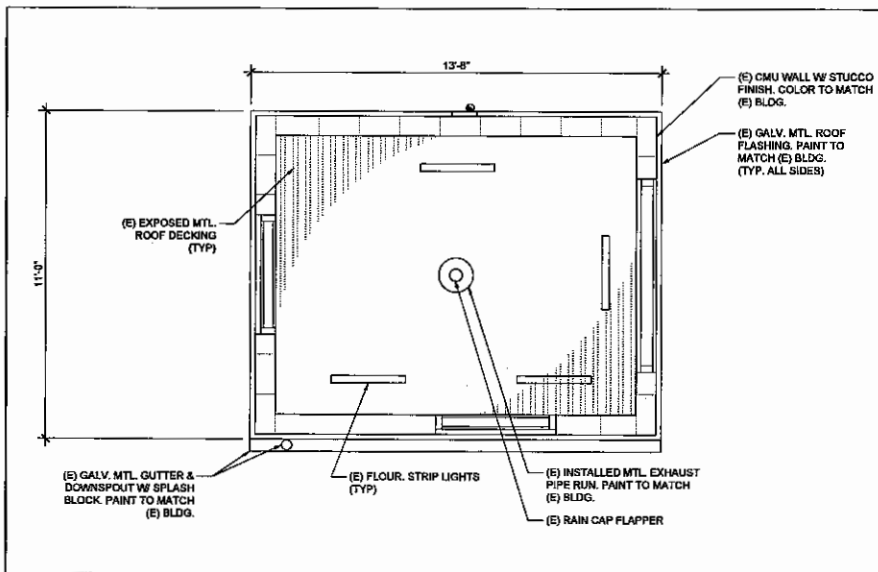
SUBMITTAL			
NO.	DATE	D/C	DESCRIPTION

SITE NAME
HI1 KALAPAKI
GENERATOR MOD

SITE ADDRESS
3810 RICE STREET
LIHUE, HI 96766

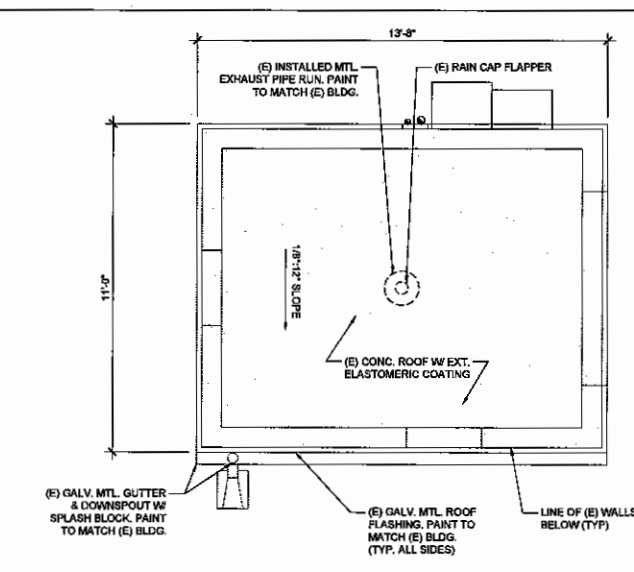
SHEET TITLE
(N) & (E)
ENLARGED
OVERVIEW

SHEET NO.
A03



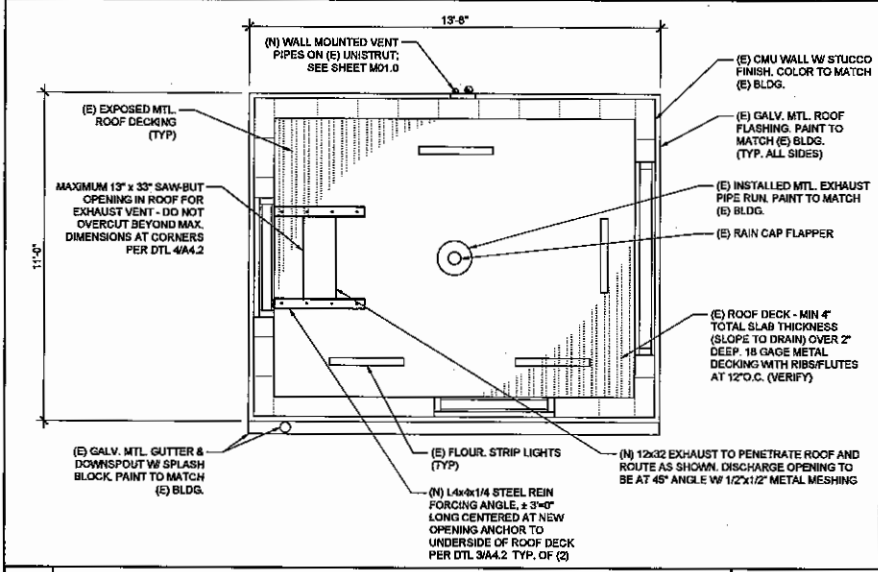
1 (E) GENERATOR SHELTER - REFLECTED CEILING PLAN

SCALE: NTS (11X17)
SCALE: NTS (22X34)



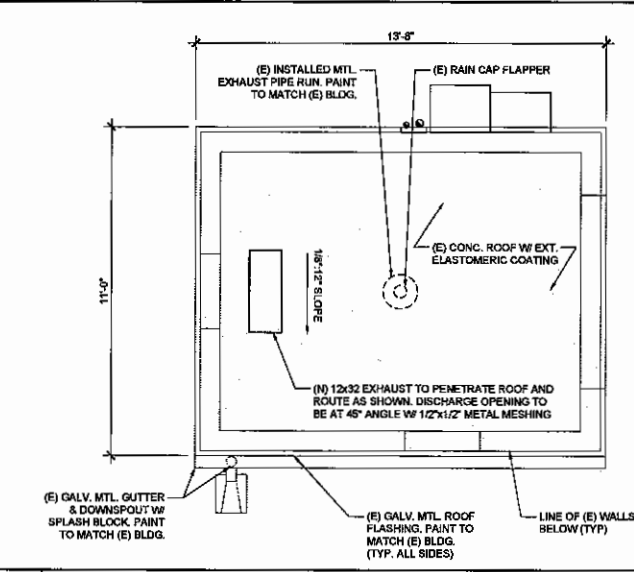
2 (E) GENERATOR SHELTER - ROOFTOP PLAN VIEW

SCALE: NTS (11X17)
SCALE: NTS (22X34)



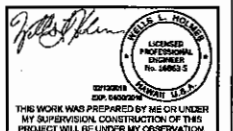
3 (N) GENERATOR SHELTER - REFLECTED CEILING PLAN

SCALE: NTS (11X17)
SCALE: NTS (22X34)



4 (N) GENERATOR SHELTER - ROOFTOP PLAN VIEW

SCALE: NTS (11X17)
SCALE: NTS (22X34)



CPM PROJECT NO.: 7075

PRELIMINARY			
NO.	DATE	BY	DESCRIPTION
0	11-27-17	AKJ/L	CONTRACTOR REVISION
1	01-22-18	KVJ/B	CENTRALINE REVISION
2			

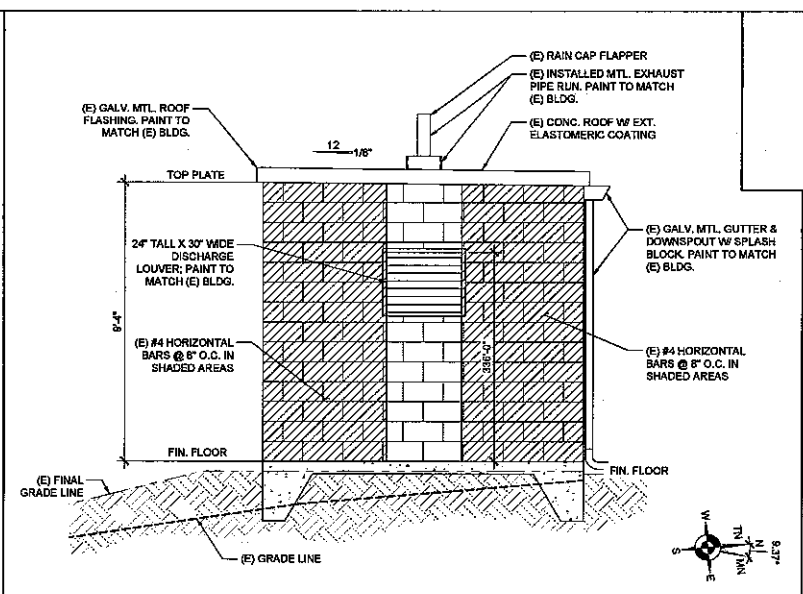
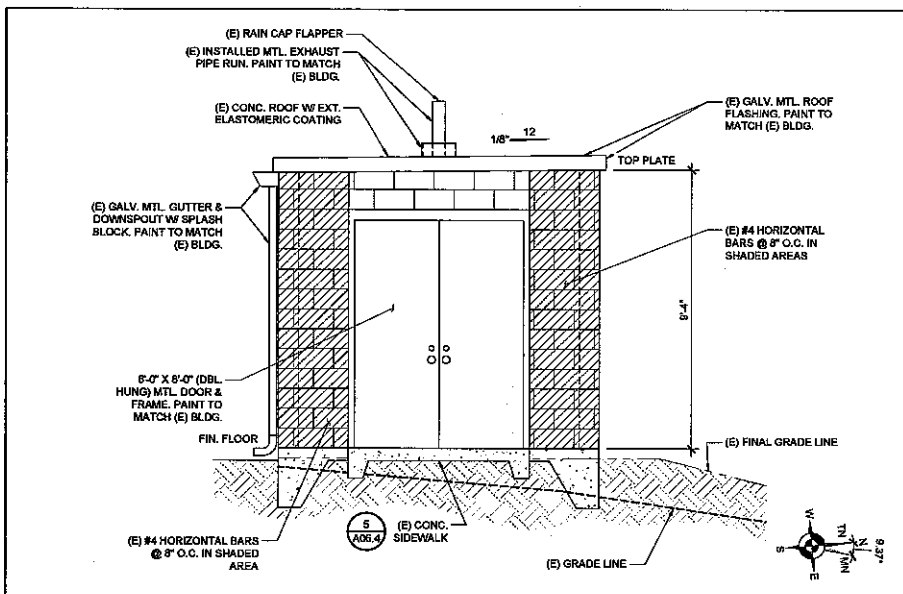
SUBMITTAL			
NO.	DATE	BY	DESCRIPTION

SITE NAME
HI1 KALAPAKI GENERATOR MOD

SITE ADDRESS
3610 RICE STREET
LINCOLN, HI 96766

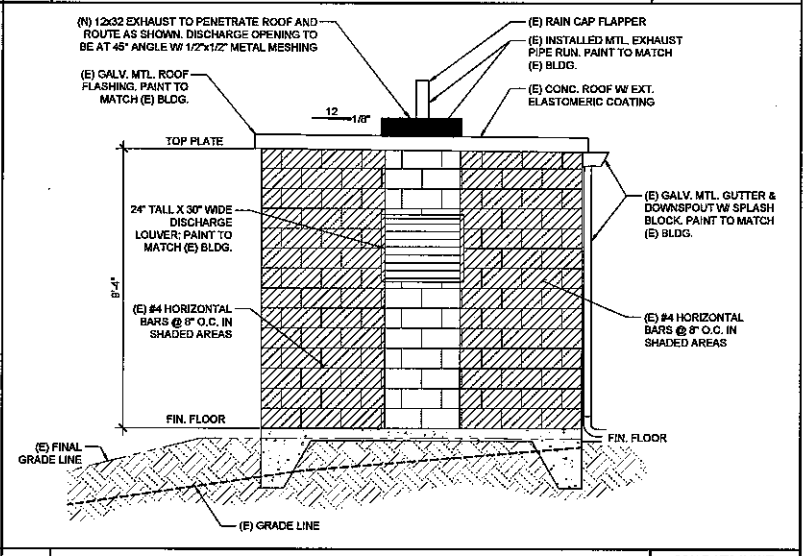
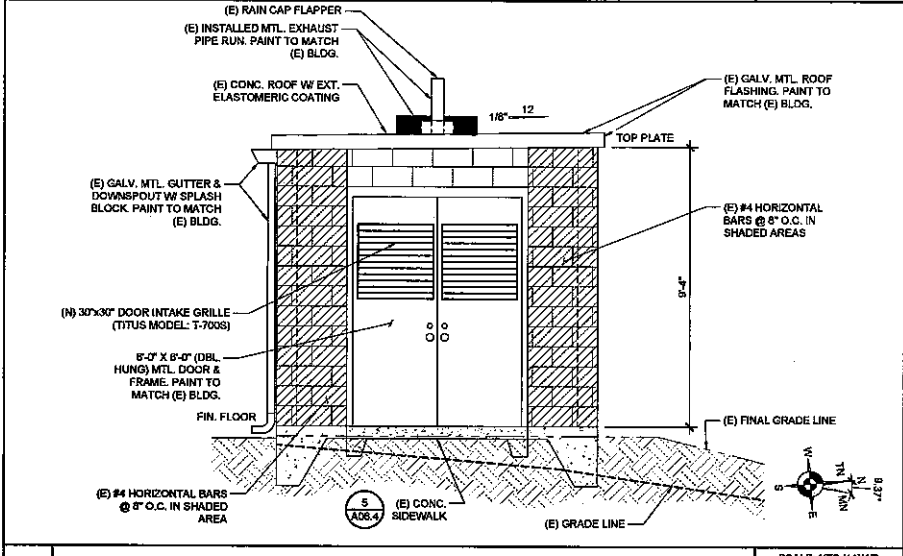
SHEET TITLE
CEILING & ROOFTOP PLAN VIEWS

SHEET NO.
A04



1 (E) GENERATOR SHELTER - NORTH ELEVATION

2 (E) GENERATOR SHELTER - SOUTH ELEVATION



3 (N) GENERATOR SHELTER - NORTH ELEVATION

4 (N) GENERATOR SHELTER - SOUTH ELEVATION

verizonwireless

CENTERLINE SOLUTIONS

VECTOR ENGINEERS

CPM PROJECT NO.: 7878

PRELIMINARY			
NO.	DATE	D/C	DESCRIPTION
0	11-07-17	AW/PJ	CONTRACTOR REV'S
1	01-22-18	KVL/R	CENTERLINE REV'S
2			

SUBMITTAL

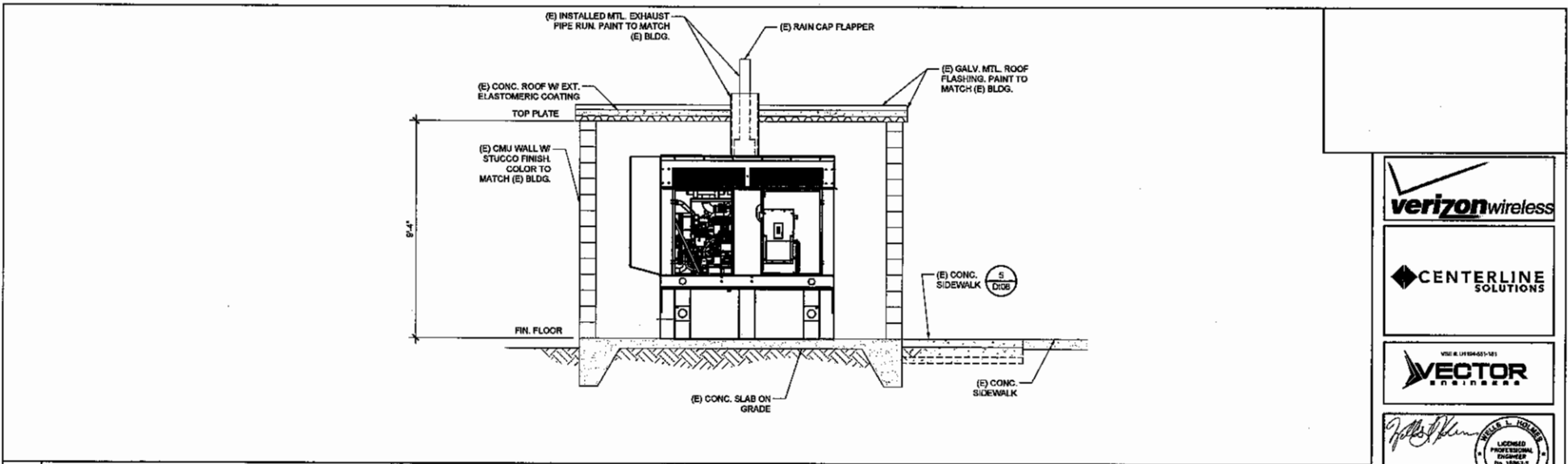
NO.	DATE	D/C	DESCRIPTION

SITE NAME
HI1 KALAPAKI GENERATOR MOD

SITE ADDRESS
3610 RICE STREET
LIHUE, HI 96766

SHEET TITLE
(N) & (E)
ELEVATION
VIEWS

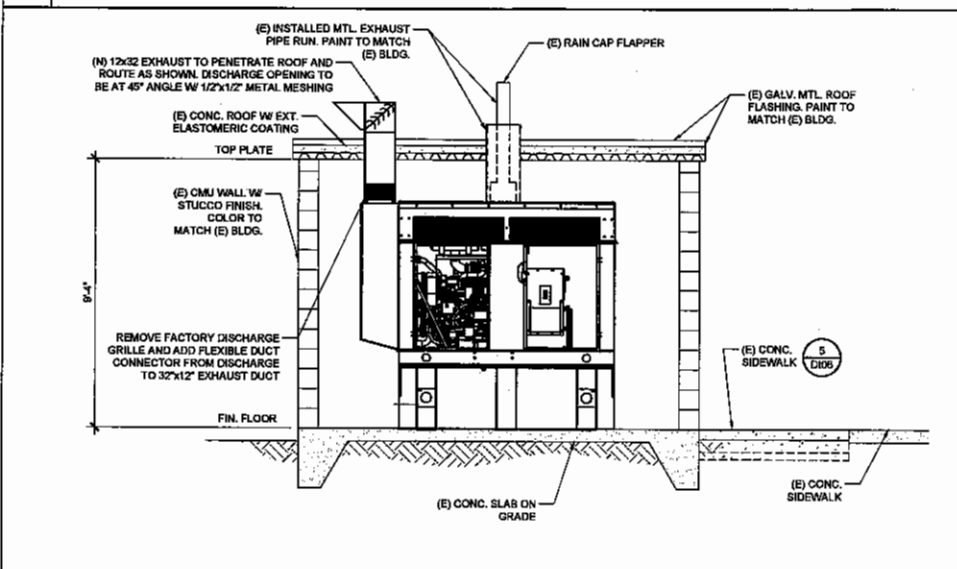
SHEET NO.
A05



1 (E) GENERATOR SHELTER - SECTION VIEW

SCALE: NTS (11X17)

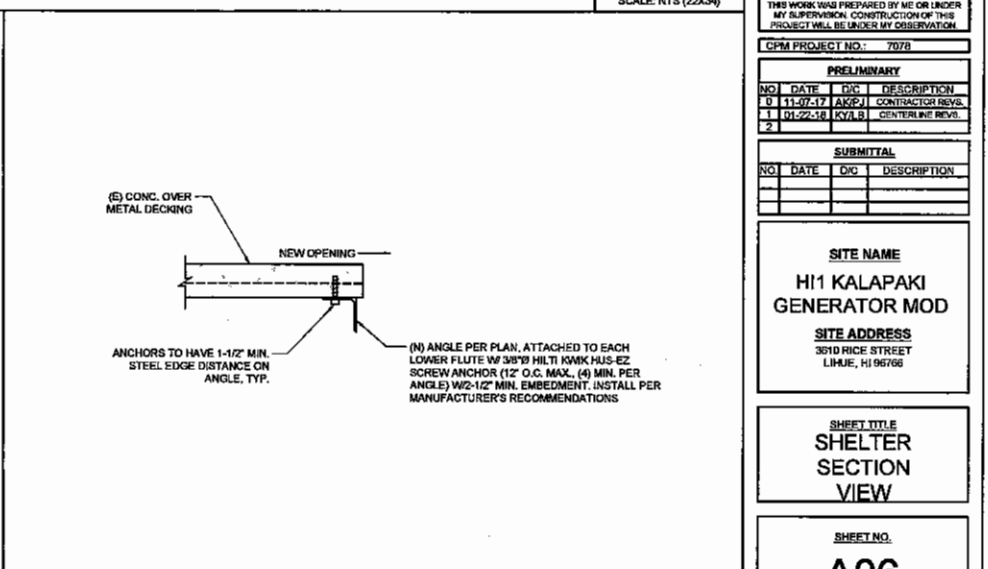
SCALE: NTS (22X34)



2 (N) GENERATOR SHELTER - SECTION VIEW

SCALE: NTS (11X17)

SCALE: NTS (22X34)



3 (N) EXHAUST OPENING - STRUCTURAL DETAIL

SCALE: NTS (11X17)

SCALE: NTS (22X34)

verizonwireless

CENTERLINE SOLUTIONS

VECTOR ENGINEERS

John P. Klein
LICENSED PROFESSIONAL ENGINEER
NO. 15883 S
STATE OF HAWAII

CPM PROJECT NO.: 707B

PRELIMINARY			
NO.	DATE	BY	DESCRIPTION
0	11-07-17	AKP/J	CONTRACTOR REVL.
1	01-22-18	KVA/B	CENTERLINE REVL.
2			

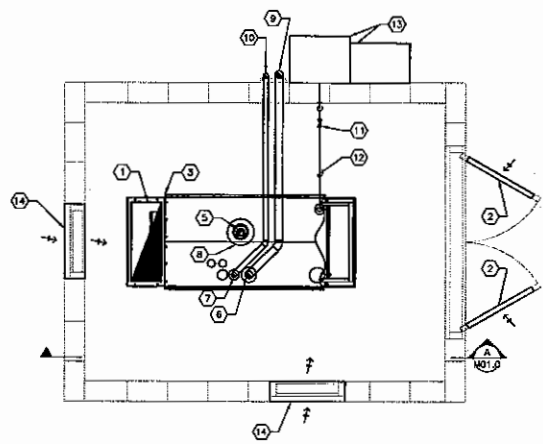
SUBMITTAL			
NO.	DATE	BY	DESCRIPTION

SITE NAME
HI1 KALAPAKI
GENERATOR MOD

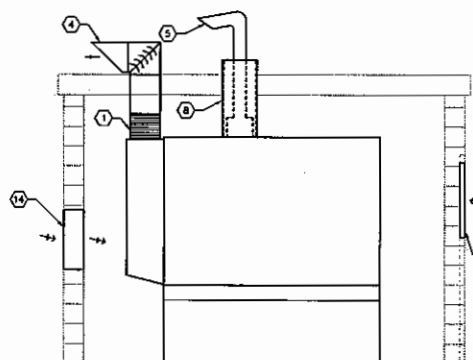
SITE ADDRESS
3010 RICE STREET
LILUOE, HI 96766

SHEET TITLE
SHELTER
SECTION
VIEW

SHEET NO.
A06



1 GENERATOR SHELTER PLAN - MECHANICAL
 22x34 SCALE: 1/2" = 1'-0" | 11x17 SCALE: 1/4" = 1'-0"



A GENERATOR SHELTER SECTION - MECHANICAL
 22x34 SCALE: 1/2" = 1'-0" | 11x17 SCALE: 1/4" = 1'-0"

GENERAL NOTES

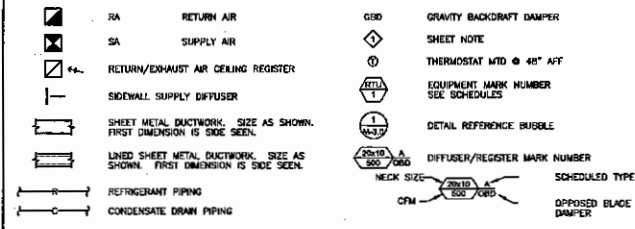
A. DESIGN SHOWN IS BASED ON RTV MODEL 380087 DIESEL GENERATOR. NOTIFY ENGINEER IF DIFFERENT MODEL OF GENERATOR IS USED.

NOTES THIS SHEET

- 1 REMOVE FACTORY DISCHARGE GRILLE FROM SOUND ENCLOSURE. PROVIDE FLEXIBLE DUCT CONNECTOR AT SOUND ENCLOSURE DISCHARGE AND TRANSITION TO 33x12 EXHAUST DUCT.
- 2 30x30 DOOR INTAKE GRILLE TITUS MODEL T-7005. FIELD VERIFY DOOR SIZE AND CONDITIONS.
- 3 12x24 EXHAUST TO PENETRATE ROOF AND ROUTE AS SHOWN. DISCHARGE OPENING TO BE AT 45° ANGLE WITH 1/2"x1/2" METAL MESHING.
- 4 REMOVE DISCHARGE CAP WHERE ENGINE EXHAUST PIPING EXITS SOUND ENCLOSURE. MODIFY AND CONNECT PER MANUFACTURER'S RECOMMENDATIONS.
- 5 ROUTE 3" ENGINE EXHAUST PIPING TO UP THROUGH ROOF. MAINTAIN AT LEAST 6" CLEARANCE TO COMBUSTIBLE CONSTRUCTION. TERMINATE WITH DRY CAP AT LEAST 24" ABOVE TOP OF ROOF. PROVIDE VALVED DRAIN AT LOW POINTS OF EXHAUST PIPING. DISCHARGE OPENING TO BE AS SHOWN WITH 1/2"x1/2" METAL MESHING.
- 6 ROUTE 3" SCHEDULE 40 BLACK IRON EMERGENCY VENT PIPE FROM BASE TANK TO UP NEAR ROOF AND THROUGH OUTSIDE WALL.
- 7 ROUTE 2" SCHEDULE 40 BLACK IRON NORMAL VENT PIPE FROM BASE TANK TO UP NEAR ROOF AND THROUGH OUTSIDE WALL.
- 8 ROOF THIMBLE, HARCO MODEL #H470300 SERIES OR APPROVED EQUAL.
- 9 ROUTE 3" SCHEDULE 40 BLACK IRON EMERGENCY VENT PIPE UP ALONG WALL AND TERMINATE WITH APPROVED VENT CAP AT LEAST 12" ABOVE TOP OF ROOF. MOUNT VENT PIPE ON UNBRIEFT SUPPORTS SPACED AT NO MORE THAN 10' APART. DISCHARGE OPENING TO BE SIMILAR TO EXHAUST SHOWN WITH 1/2"x1/2" METAL MESHING.
- 10 ROUTE 2" SCHEDULE 40 BLACK IRON NORMAL VENT PIPE UP ALONG WALL AND TERMINATE WITH APPROVED VENT CAP AT LEAST 12" ABOVE TOP OF ROOF. MOUNT VENT PIPE ON UNBRIEFT SUPPORTS SPACED AT NO MORE THAN 10' APART. DISCHARGE OPENING TO BE SIMILAR TO EXHAUST SHOWN WITH 1/2"x1/2" METAL MESHING.
- 11 OPTIONAL PER AUTHORITY HAVING JURISDICTION: AUTOMATIC FUEL SHUT-OFF VALVE. MOUNT AS CLOSE TO TANK AS PRACTICAL.
- 12 PROVIDE 2" SCHEDULE 40 BLACK IRON FUEL PIPING AND CONNECT TO BASE TANK AND FUEL FILL BOX. SLOPE A MINIMUM OF 2% TOWARD TANK. SUPPORT PIPING WITH UNBRIEFT AND PIPE CLAMPS.
- 13 OPTIONAL PER AUTHORITY HAVING JURISDICTION: FUEL FILL BOX AND CONTROL PANEL. MOUNT AT THE MINIMUM DISTANCE ABOVE GROUND REQUIRED FOR 2% SLOPE TO GENERATOR BASE TANK AND AT A MINIMUM DISTANCE OF 5' FROM BUILDING OPENINGS. FUEL FILL BOX TO COMPLY WITH NFPA REQUIREMENTS AND INCLUDE:
 - a. MAIN SUPPLY LINE WITH MANUAL BALL VALVE, ANGLE CHECK VALVE AND TIGHTEN ADAPTER.
 - b. LOCKABLE, WEATHERPROOF, STAINLESS STEEL ENCLOSURE WITH 10-GALLON CONTAINMENT (WITH HAND PUMP) AND STAINLESS STEEL HARDWARE.
 - c. LOCKABLE, MANUAL BALL VALVE.
 - d. TWO-POINT ALARM PANEL TO RECEIVE HIGH LEVEL AND LEAK DETECTION ALARM INDICATIONS.
 - e. GROUND CONNECTION.
 - f. ON/OFF POWER SWITCH AND VISUAL INDICATION.
 - g. SOX AND SOX TANK FILL ALARM, VISUAL AND AUDIBLE, WITH AUTOMATICALLY CLOSING VALVE TO STOP FUEL DELIVERY.
 - h. FRIEZE PRODUCTS DIESEL DIRECTOR REMOTE FILLPOINT OR APPROVED EQUAL.
- 14 30" WIDE x 24" HIGH WEATHER PROOF INTAKE DOOR. LOCATE @ A MINIMUM OF 36" ABOVE GROUND. DESIGN BASED ON RUSON MODEL ELEC5750M OR APPROVED EQUAL. DAMPER SHALL FALL OPEN UPON LOSS OF POWER.

NOTE: MOST PIPING NOT SHOWN FOR CLARITY.

MECHANICAL LEGEND



NOTE: NOT ALL SYMBOLS OR ABBREVIATIONS SHOWN ON THIS LEGEND WILL APPEAR ON DRAWINGS.

MECHANICAL SPECIFICATIONS

- A. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS AS REQUIRED TO INSTALL A COMPLETE AND FUNCTIONING INSTALLATION AS INDICATED IN DRAWINGS, SPECIFICATIONS, REQUIREMENTS AND INSTRUCTIONS TO BUYER.
- B. ANY QUESTIONS CONCERNING SCOPE OF WORK SHALL BE SUBMITTED TO CONSTRUCTION MANAGER PRIOR TO BID.
- C. ALL WORK AND MATERIALS SHALL CONFORM TO APPLICABLE CODES, REGULATORY AGENCIES, AND STANDARDS, INCLUDING BUT NOT NECESSARILY LIMITED TO IBC, IFC, ETC. UFC, IBC, OSHA, NFPA, ETC. INFORM CONSTRUCTION MANAGER OF CONFLICTS PRIOR TO BID. WHERE TWO CODES OR STANDARDS DIFFER, THE MORE STRICT OF THE TWO SHALL BE FOLLOWED.
- D. CONTRACTOR SHALL SUPPLY AND PAY FOR ALL PERMITS, FEES, AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES HAVING JURISDICTION.
- E. COORDINATE AND SCHEDULE ALL WORK WITH CONSTRUCTION MANAGER PRIOR TO START OF WORK. ALL EFFECTS OF INSTALLATION WORK MUST BE COORDINATED, REVIEWED, APPROVED, AND SCHEDULED WITH CONSTRUCTION MANAGER. CONTRACTOR SHALL LIMIT NOISE, DUST, FUMES, SHUT DOWNS, WORKING HOURS, ETC. AS REQUIRED BY CONSTRUCTION MANAGER.
- F. DRAWINGS ARE DIAGNOSTIC AND DO NOT SHOW ALL OFFSETS, BENDS, ELBOWS, TURNS, EXISTING CONDITIONS, ETC. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, INSTALLATION CONDITIONS AND COORDINATE WITH OTHER TRADES AS REQUIRED. PROVIDE ADDITIONAL BENDS AND OFFSETS REQUIRED FOR COMPLETE INSTALLATION AT NO ADDITIONAL COST TO PROJECT.
- G. CONTRACTOR RESPONSIBLE TO REPLACE ANY DAMAGED ITEMS WITH NEW MATERIAL TO MATCH EXISTING WHEN DAMAGE RESULTS DURING THE PROCESS OF INSTALLATION.
- H. ALL WORK SHALL BE DONE IN FIRST CLASS, WORKMANLIKE MANNER. ALL EQUIPMENT AND MATERIALS PROVIDED SHALL BE NEW AND CONFORM TO ALL CURRENT CODES AND APPROVAL AGENCIES HAVING JURISDICTION. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. PERFORM ALL LUBRICATION REQUIREMENTS PRIOR TO STARTING EQUIPMENT.
- I. COMPLETE MATERIAL AND LABOR WARRANTY SHALL APPLY FOR NO LESS THAN ONE YEAR FROM DATE OF OWNER ACCEPTANCE, UNLESS OTHERWISE REQUIRED BY TERMS OF CONTRACT.
- J. PROVIDE OWNER INSTRUCTION BY QUALIFIED PERSONNEL ON EQUIPMENT AND SYSTEMS AT OWNER'S REQUEST.
- K. MANUFACTURERS AND MODEL NUMBERS LISTED IN THE EQUIPMENT SCHEDULES ARE THE BASIS OF DESIGN AND ARE INTENDED TO CONVEY THE STANDARD OF QUALITY FOR EQUIPMENT.
- L. CUT WALL FOR PROPER EQUIPMENT, DUCT OR PIPE INSTALLATION. FILL HOLES WHICH ARE CUT OVERSIZE SO THAT A TIGHT FIT IS OBTAINED AROUND OBJECTS PASSING THROUGH. PATCH AND SEAL FINISHED TO MATCH NEW OR EXISTING FINISHES.
- M. INSTALL LABELS ON ALL MECHANICAL EQUIPMENT.
- N. CONTROLS AND WIRING SHALL MEET ALL ELECTRICAL REQUIREMENTS OF APPLICABLE ELECTRICAL SPECIFICATIONS AND REQUIREMENTS OF OWNER, BUILDING OFFICIALS AND EQUIPMENT SUPPLIERS OF EQUIPMENT INSTALLED ON PROJECT.
- O. ELECTRIC MOTORS SHALL HAVE BUILT-IN THERMAL OVERLOAD PROTECTION OR BE PROTECTED EXTERNALLY WITH SEPARATE THERMAL OVERLOAD DEVICES WITH LOW-VOLTAGE RELEASE OR LOCK OUT AS REQUIRED.
- P. ALL NEW EQUIPMENT, PIPING, CONDUIT, AND DUCTWORK SHALL BE INSTALLED PER IBC SEISMIC ZONE 3 REQUIREMENTS.
- Q. MAINTAIN CODE REQUIRED AND MANUFACTURER RECOMMENDED CLEARANCES AROUND ALL EQUIPMENT.
- R. BALANCE ALL REGISTERS AND DIFFUSERS AS CALLED OUT IN DRAWINGS.
- S. PROVIDE A SYSTEM OF LOW VOLTAGE ELECTRICAL CONTROLS. WIRING SHALL BE AS REQUIRED FOR A COMPLETE OPERATING CONTROL SYSTEM, PER STATE AND NATIONAL ELECTRIC CODE. PROVIDE NECESSARY RELAYS, TRANSFORMERS, FUSING AND INTERLOCKS.
- T. ALL DUCTWORK SHALL BE GALVANIZED STEEL.

SCALE: 1" = 200'-0" (11X17)
 SCALE: 1" = 100'-0" (22X34)



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION. CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

CPM PROJECT NO.: 7076

NO.	DATE	BY	DESCRIPTION
0	11-07-17	TMTK	CONTRACTOR REVS
1			
2	03-06-14	SS/SS	CLIENT COMMENT

NO.	DATE	BY	DESCRIPTION
0	08-05-15	TT/TT	BP SUBMITTAL
A	09-30-16	TT/SS	CONTRACTOR REVS
A	04-06-15	TT/TT	BP COMMENTS

SITE NAME
 H11 KALAPAKI
 GENERATOR MOD

SITE ADDRESS
 3810 RICE STREET
 LEBUE, HI 96766

SHEET TITLE
 GENERATOR
 SHELTER PLAN
 MECHANICAL

SHEET NO.
 M01.0



GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, THE LATEST EDITION AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND VERIZON WIRELESS INTEGRATED CONSTRUCTION STANDARDS FOR WIRELESS SITES (LATEST REVISION). THE SPECIFICATION IS THE RULING DOCUMENT AND ANY DISCREPANCIES BETWEEN THE SPECIFICATION AND THESE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK. NO COMPENSATION WILL BE AWARDED BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
4. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT AND APPURTENANCES, AND LABOR NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
5. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE WORK.
6. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
7. CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
8. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE BEST CONSTRUCTION SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
10. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE SUPERINTENDENT OF BUILDINGS & GROUNDS AND SCHEDULE HIS ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
12. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
13. MAKE NECESSARY PROVISIONS TO PROTECT EXISTING SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND IMMEDIATELY REPAIR ANY DAMAGE THAT OCCURS DURING CONSTRUCTION.
14. IN DRILLING HOLES INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., MUST BE CLEARLY UNDERSTOOD THAT REINFORCING STEEL SHALL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES (UNLESS NOTED OTHERWISE). LOCATIONS OF REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT.
15. REPAIR ALL EXISTING WALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND WITH ADJACENT SURFACES.
16. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS.
17. KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR BRUISES OF ANY NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
18. MINIMUM BEND RADIUS OF ANTENNA CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURERS RECOMMENDATIONS.
19. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE ENGINEER.
20. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH JURISDICTIONAL OR STATE AND LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL AND COORDINATED WITH LOCAL REGULATORY AUTHORITIES.
21. LIGHT SHADED LINES AND NOTES REPRESENT WORK PREVIOUSLY DONE. DARK SHADED LINES AND NOTES REPRESENT THE SCOPE OF WORK FOR THIS PROJECT. CONTRACTOR SHALL VERIFY IF EXISTING CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY EXISTING CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
22. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND/OR WRITING CERTIFICATES REQUIRED FOR THE ELECTRICAL SERVICE UPGRADE. IN ADDITION, CONTRACTOR SHALL PROVIDE ALL NECESSARY COORDINATION AND SCHEDULING WITH THE SERVING ELECTRICAL UTILITY AND LOCAL INSPECTION AUTHORITIES.

SITE WORK NOTES

1. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
2. DO NOT SCALE BUILDING DIMENSIONS FROM DRAWING.
3. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-BUILT DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
4. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ENGINEER AND OWNER ASSUME NOT RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES.
5. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
6. CONTRACTOR SHALL CALL LOCAL DIGGER HOT LINE FOR UTILITY LOCATIONS 48 HOURS PRIOR TO START OF CONSTRUCTION.
7. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
8. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO EXISTING GRADES AT THE GRADING LIMITS.
9. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
10. STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 90% OF MAXIMUM STANDARD PROCTOR DRY DENSITY.
11. NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 90% OF STANDARD PROCTOR DENSITY.
12. ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. THE LIFTS THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.
13. ANY FILLS PLACED ON EXISTING SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE EXISTING SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
14. CONTRACTOR SHALL CLEAN ENTIRE SITE DAILY AFTER CONSTRUCTION SUCH THAT NO PAPERS, TRASH, WEEDS, BRUSH OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.

ENVIRONMENTAL NOTES

1. ALL WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH ISSUED PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF FINES AND PROPER CLEAN UP FOR AREAS IN VIOLATION.
2. CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS AND WATERWAYS AND SHALL BE MAINTAINED IN PLACE THROUGH FINAL JURISDICTIONAL INSPECTION & RELEASE OF SITE.
3. CONTRACTOR SHALL INSTALL/CONSTRUCT ALL NECESSARY SEDIMENT/SILT CONTROL FENCING AND PROTECTIVE MEASURES WITHIN THE LIMITS OF SITE DISTURBANCE PRIOR TO CONSTRUCTION.
4. NO SEDIMENT SHALL BE ALLOWED TO EXIT THE PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ADEQUATE MEASURES FOR CONTROLLING EROSION, ADDITIONAL SEDIMENT CONTROL FENCING MAY BE REQUIRED IN ANY AREAS SUBJECT TO EROSION.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES WITH SILT AND EROSION CONTROL MEASURES MAINTAINED ON THE DOWNSTREAM SIDE OF SITE DRAINAGE. ANY DAMAGE TO ADJACENT PROPERTY AS A RESULT OF EROSION WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY INSPECTIONS AND ANY REPAIRS OF ALL SEDIMENT CONTROL MEASURES INCLUDING SEDIMENT REMOVAL AS NECESSARY.
7. CLEARING OF VEGETATION AND TREE REMOVAL SHALL BE ONLY AS PERMITTED AND BE HELD TO A MINIMUM. ONLY TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED.
8. SEEDING AND MULCHING AND/OR SODDING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE PROJECT FACILITIES AFFECTING LAND DISTURBANCE.
9. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STRAW BALE SEDIMENT BARRIERS, AND CHECK DAMS.
10. RIP RAP OF SIZES INDICATED SHALL CONSIST OF CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY STONE FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCES.

WEATHERPROOFING NOTES

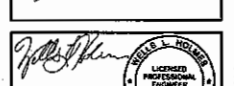
- 3.6 STANDARD CONSTRUCTION SPECIFICATIONS FOR WIRELESS SITES WEATHERPROOFING CONNECTORS AND GROUND KITS:
 - A. ALL CONNECTORS AND GROUND KITS SHALL BE WEATHERPROOFED USING BUTYL RUBBER WEATHERPROOFING AND TAPE. THIS INSTALLATION MUST BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION OR AS SHOWN ON THE CONSTRUCTION DRAWINGS (WHICHEVER IS GREATER). IF NO DIRECTION IS PROVIDED, MUST BE DONE PER THE FOLLOWING INSTRUCTIONS.
 1. THE COAXIAL CABLE CONNECTION OR GROUND KIT CAN BE ENCOMPASSED INTO COLD SHRINK AND COMPLETELY WRAPPED WITH 2 INCH WIDE ELECTRICAL TAPE OVERLAPPING EACH ROW BY APPROXIMATELY 1/2" AND EXTENDING PAST THE CONNECTION BY TWO INCHES AS DISCUSSED BELOW, OR
 2. THE COAXIAL CABLE CONNECTION OR GROUND KIT CAN BE WRAPPED WITH LAYERS OF ELECTRICAL BUTYL RUBBER ELECTRICAL TAPE AS DISCUSSED BELOW, OR
 3. THE COAXIAL CABLE CONNECTION OR GROUND KIT CAN BE WRAPPED WITH TWO LAYERS OF 1.5 INCH WIDE SELF-AMALGAMATING TAPE COVERED WITH TWO LAYERS OF ELECTRICAL TAPE AS DISCUSSED BELOW.
 - B. COLD SHRINK INSTALLATION PROCEDURE:
 1. REQUIRED MATERIAL: COLD SHRINK TUBE, SPACERS AS NEEDED, BLACK ELECTRICAL TAPE-2 INCHES WIDE
 2. REQUIRED TOOLS: KNIFE AND TAPE MEASURE
 - STEP 1: THOROUGHLY CLEAN AND DRY THE SURFACE OF COAXIAL CABLE AND CONNECTOR TO REMOVE ALL GREASE AND DIRT. MARK THE MAIN FEED (LARGER DIAMETER) COAXIAL CABLE AT LEAST TWO INCHES ABOVE THE CONNECTION AS THE SPECIFIED START DIMENSION FOR THE COLD SHRINK.
 - STEP 2: SLIDE THE COLD SHRINK TUBE OVER THE CONNECTION TO THE SPECIFIED START DIMENSION MARK. HOLD THE COLD SHRINK TUBE AND COAXIAL CABLE IN ONE HAND SO THAT THE EDGE OF COLD SHRINK TUBE IS IN LINE WITH THE MARK.
 - STEP 3: WITH YOUR FREE HAND, BEGIN REMOVING COLD SHRINK TUBE CORE. THE CORE WILL BE REMOVED BY UNWINDING IN A COUNTERCLOCKWISE DIRECTION WHILE LIGHTLY PULLING THE ATTACHED CORD AWAY FROM THE TUBE.
 - STEP 4: USE BOTH HANDS TO CONTINUE THE UNWINDING PROCESS AS THE COLD SHRINK TUBE BEGINS TO COLLAPSE INTO POSITION. CONTINUE THE UNWINDING PROCESS UNTIL THE CORE IS COMPLETELY REMOVED AND THE COLD SHRINK TUBE IS INSTALLED.
 - STEP 5: EXCESS COLD SHRINK TUBE EXTENDING TWO INCHES BEYOND THE SPACER HALVES CAN BE REMOVED OR LEFT IN PLACE. EXCESS COLD SHRINK TUBE CAN BE CAREFULLY CUT OFF WITH A KNIFE.

STRUCTURAL STEEL NOTES

1. ALL STEEL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION. STEEL SECTIONS SHALL BE IN ACCORDANCE WITH ASTM AS INDICATED BELOW:
 - W-SHAPES: ASTM A992, 50 KSI
 - ANGLES, BARS CHANNELS: ASTM A36, 36 KSI
 - HSS SECTIONS: ASTM 500, 48 KSI
 - PIPE SECTIONS: ASTM A53-E, 35 KSI
2. ALL EXTERIOR EXPOSED STEEL AND HARDWARE SHALL BE HOT DIPPED GALVANIZED.
3. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION". PAINTED SURFACES SHALL BE TOUCHED UP.
4. ALL BOLTS FOR STEEL TO STEEL CONNECTIONS TO BE PER ASTM A325N, U.S.N.O.
5. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
6. FIELD MODIFICATIONS ARE TO BE COATED WITH ZINC ENRICHED PAINT.
7. THIRD PARTY SPECIAL INSPECTION REQUIRED FOR ALL HIGH STRENGTH (A325) BOLT INSTALLATIONS AND ALL FIELD WELDING (IF UTILIZED).

SPECIAL INSPECTION

1. SPECIAL INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT SPECIAL INSPECTOR PER CODE FOR THE FOLLOWING ITEM.
 - A. CONTINUOUS DURING THE INSPECTION OF EXPANSION AND/OR ADHESIVE ANCHORS: INSPECT HOLE SIZE, DEPTH, CLEANLINESS, AND INSTALLATION PER ICC REPORT.



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISORIAL CONTROL AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA.
GPM PROJECT NO.: 7078

PRELIMINARY			
NO.	DATE	BY	DESCRIPTION
0	11-27-17	AK/PJ	CONTRACTOR REVISED
1	01-22-18	KV/LB	CENTERLINE REVISED
2			

SUBMITTAL			
NO.	DATE	BY	DESCRIPTION

SITE NAME
H11 KALAPAKI
GENERATOR MOD

SITE ADDRESS
3810 RICE STREET
LIHUE, HI 96766

SHEET TITLE
GENERAL
NOTES

SHEET NO.
Gen01

WEATHERPROOFING NOTES CONT.

STEP 4: WRAP OVER THE COLD SHRINK TUBE WITH ONE LAYER OF BLACK ELECTRICAL TAPE 2 INCH WIDTH OVERLAPPING EACH ROW BY 1/2 INCH. THIS TOP LAYER MUST BE WRAPPED USING A SHINGLED EFFECT. THE LAYER SHALL BE WRAPPED SO THAT THE ENDS ARE IN THE UPWARD DIRECTION CREATING A SHINGLED EFFECT WITH THE TAPE SO WATER WILL BE REPELLED AND NOT ALLOWED TO COLLECT AND POOL. THIS TOP LAYER OF ELECTRICAL TAPE MUST EXTEND TWO INCHES (THE TAPE WIDTH) PAST THE COLD SHRINK TUBE ONTO THE UNDERLYING CABLE. TAPE SHALL BE WRAPPED SO THAT NO VOIDS OR AIR PACKETS ARE PRESENT. TAPE SHALL BE CUT WITH A SHARP KNIFE.

C. BUTYL RUBBER TAPE INSTALLATION PROCEDURE:

1. REQUIRED MATERIAL: BLACK ELECTRICAL TAPE-2 INCH WIDE AND BUTYL RUBBER TAPE 2 TO 3 INCHES WIDE.

2. REQUIRED TOOLS: KNIFE OR SCISSORS.

STEP 1: THOROUGHLY CLEAN AND DRY THE SURFACE OF COAXIAL CABLE AND CONNECTOR TO REMOVE ALL GREASE AND DIRT. WRAP CONNECTOR/GROUND KIT WITH TWO LAYERS OF BLACK ELECTRICAL TAPE-2 INCH WIDTH OVERLAPPING EACH ROW BY APPROXIMATELY 1/2 INCH. THESE LAYERS OF TAPE MUST BE WRAPPED TIGHT ENOUGH SO THAT NO VOIDS OR AIR PACKETS ARE PRESENT AND MUST EXTEND ONE INCH PAST THE CONNECTOR/GROUND KIT ON EACH SIDE. TWO ROWS SHALL BE APPLIED, ONE IN EACH DIRECTION, WITH THE TOP ROW SHINGLED TO PROMOTE WATER RUNOFF.

STEP 2: WRAP CONNECTOR/GROUND KIT WITH ONE LAYER OF BUTYL RUBBER TAPE 2 TO 3 INCHES WIDTH OVER THE BLACK ELECTRICAL TAPE OVERLAPPING EACH ROW BY APPROXIMATELY 1/2 INCH. THE BUTYL RUBBER TAPE MUST EXTEND 2 TO 3 INCHES (THE TAPE WIDTH) PAST THE ELECTRICAL TAPE AND COME IN GOOD CONTACT WITH THE UNDERLYING CABLE OR CONNECTORS. WHEN WEATHERPROOFING FROM THE MAIN LINE TO THE JUMPER, BUILD UP THIS AREA WITH EXTRA BUTYL RUBBER TAPE TO INSURE A SMOOTH TRANSITION FREE OF VOIDS AND AIR PACKETS DOWN TO THE SMALLER DIAMETER CABLE.

STEP 3: WRAP CONNECTOR/GROUND KIT WITH TWO LAYERS OF BLACK ELECTRICAL TAPE 2 INCH WIDTH OVERLAPPING EACH ROW BY 1/2 INCH. THESE LAST TWO LAYERS MUST BE WRAPPED USING A SHINGLED EFFECT. THE TOP LAYER SHALL BE WRAPPED SO THAT THE ENDS ARE IN THE UPWARD DIRECTION CREATING A SHINGLED EFFECT WITH THE TAPE SO WATER WILL BE REPELLED AND NOT ALLOWED TO COLLECT AND POOL. THESE TOP LAYERS OF ELECTRICAL TAPE MUST EXTEND TWO INCHES (THE TAPE WIDTH) PAST THE BUTYL RUBBER TAPE ONTO THE UNDERLYING CABLE.

ALL LAYERS OF TAPE SHALL BE WRAPPED SO THAT NO VOIDS OR AIR PACKETS ARE PRESENT. THE LAST WRAP OF TAPE SHALL NOT BE PULLED OR STRETCHED. ALL TAPE SHALL BE CUT WITH A SHARP KNIFE OR SCISSORS.

D. SELF-AMALGAMATING TAPE INSTALLATION PROCEDURE:

1. REQUIRED MATERIAL: SELF-AMALGAMATING TAPE-1.5 INCHES WIDE AND BLACK ELECTRICAL TAPE-2 INCHES WIDE.

2. REQUIRED TOOLS: KNIFE OR SCISSORS.

STEP 1: THOROUGHLY CLEAN AND DRY THE SURFACE OF COAXIAL CABLE AND CONNECTOR TO REMOVE ALL GREASE AND DIRT.

STEP 2: START WRAPPING SELF-AMALGAMATING TAPE ON THE CABLE AT LEAST 2 INCHES FROM THE CONNECTOR/GROUND KIT. MAKE SURE TAPE IS STRETCHED TIGHT DURING THIS APPLICATION.

STEP 3: WHILE STRETCHING TAPE, MAKE ONE WRAP OF THE TAPE AROUND THE CABLE, MAKING SURE THE TAPE IS WRAPPED ONTO ITSELF. THE TAPE WILL ONLY ADHERE TO ITSELF.

STEP 4: CONTINUE WRAPPING THE CABLE AND CONNECTOR/GROUND KIT USING HALF OVERLAP (0.75 INCH WIDE) LAYERS.

STEP 5: WRAP OVER AND PAST THE CONNECTOR/GROUND KIT AT LEAST 2 INCHES.

STEP 6: TO TERMINATE THE SELF-AMALGAMATING TAPE, WRAP THE TAPE AT LEAST ONE FULL ROUND OVER THE CABLE STRETCHING THE TAPE TIGHT. CUT THE TAPE USING KNIFE OR SCISSORS AND APPLY THE LOOSE END TO THE UNDERLYING SELF-AMALGAMATING TAPE USING THUMB PRESSURE.

STEP 7: TWO ROWS OF SELF-AMALGAMATING TAPE SHALL BE APPLIED IN THIS MANNER, IN ALTERNATING DIRECTIONS. THE TOP LAYER SHALL BE WRAPPED SO THAT THE ENDS ARE IN AN UPWARD DIRECTION CREATING A SHINGLED EFFECT WITH THE TAPE SO WATER WILL BE REPELLED.

STEP 8: WRAP OVER SELF-AMALGAMATING TAPE WITH TWO LAYERS OF BLACK ELECTRICAL TAPE-2 INCH WIDTH OVERLAPPING EACH ROW BY 1/2 INCH. THESE TOP TWO LAYERS MUST ALSO BE WRAPPED USING A SHINGLED EFFECT. THE LAYERS SHALL BE WRAPPED SO THAT THE ENDS ARE IN THE UPWARD DIRECTION CREATING A SHINGLED EFFECT WITH THE TAPE SO WATER WILL BE REPELLED AND NOT ALLOWED TO COLLECT AND POOL. THESE TOP LAYERS OF ELECTRICAL TAPE MUST EXTEND TWO INCHES (THE TAPE WIDTH) PAST THE SELF-AMALGAMATING TAPE ONTO THE UNDERLYING CABLE. ALL LAYERS OF TAPE SHALL BE WRAPPED SO THAT NO VOIDS OR AIR PACKETS ARE PRESENT. THE LAST WRAP OF TAPE SHALL NOT BE PULLED OR STRETCHED. ALL TAPE SHALL BE CUT WITH A SHARP KNIFE OR SCISSORS.

CONCRETE MASONRY NOTES

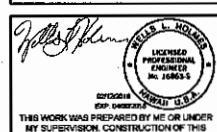
1. CONCRETE MASONRY UNITS SHALL BE MEDIUM WEIGHT UNITS CONFORMING TO ASTM C90, GRADE H-1, (F_W=1,500 PSI), MEDIUM WEIGHT (115 PCF).
2. MORTAR SHALL BE TYPE "S" (MINIMUM 1,500 PSI AT 28 DAYS).
3. GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
4. ALL CELLS CONTAINING REINFORCING STEEL OR EMBEDDED ITEMS AND ALL CELLS IN RETAINING WALLS AND WALLS BELOW GRADE SHALL BE SOLID GROUTED.
5. ALL HORIZONTAL REINFORCEMENT SHALL BE PLACED IN BOND BEAM OR LINTEL BEAM UNITS.
6. WHEN GROUTING IS STOPPED FOR ONE HOUR OR LONGER, HORIZONTAL CONSTRUCTION JOINTS SHALL BE FORMED BY STOPPING THE GROUT POUR 1-1/2" BELOW TOP OF THE UPPERMOST UNIT.
7. ALL BOND BEAM BLOCK SHALL BE "DEEP CUT" UNITS.
8. PROVIDE INSPECTION AND CLEAN-OUT HOLES AT BASE OF VERTICAL CELLS HAVING GROUT LIFTS IN EXCESS OF 4'-0" OF HEIGHT.
9. ALL GROUT SHALL BE CONSOLIDATED WITH A MECHANICAL VIBRATOR.
10. CEMENT SHALL BE AS SPECIFIED FOR CONCRETE.
11. REINFORCING BARS - SEE NOTES UNDER "STRUCTURAL CONCRETE NOTES" FOR REQUIREMENTS.
12. PROVIDE ONE BAR DIAMETER (A MINIMUM OF 1/2") GROUT BETWEEN MAIN REINFORCING AND MASONRY UNITS.
13. LOW LIFT CONSTRUCTION, MAXIMUM GROUT POUR HEIGHT IS 4 FEET.
14. ALL CELLS IN CONCRETE BLOCKS SHALL BE FILLED SOLID WITH GROUT, EXCEPT AS NOTED IN THE DRAWINGS OR SPECIFICATIONS.
15. CELLS SHALL BE IN VERTICAL ALIGNMENT, DOWELS IN FOOTINGS SHALL BE SET TO ALIGN WITH CORES CONTAINING REINFORCING STEEL.
16. REFER TO ARCHITECTURAL DRAWINGS FOR SURFACE AND HEIGHT OF UNITS, LAYING PATTERN AND JOINT TYPE.
17. SAND SHALL BE CLEAN, SHARP AND WELL GRADED, FREE FROM HARMFUL AMOUNTS OF DUST, LUMPS, SHALE, ALKALI OR ORGANIC MATERIAL.
18. BRICK SHALL CONFORM TO ASTM C-82 AND SHALL BE GRADE MW OR BETTER.
19. LEVEL II SPECIAL INSPECTION REQUIRED FOR ALL CMU CONSTRUCTION.

STRUCTURAL CONCRETE NOTES

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 318-08 AND THE SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH FC=3,000 PSI AT 28 DAYS UNLESS NOTED OTHERWISE.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES CLASS "B" AND ALL HOOKS SHALL BE STANDARD UNLESS NOTED OTHERWISE.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 CONCRETE CAST AGAINST EARTH.....3 IN.
 CONCRETE EXPOSED TO EARTH OR WEATHER:
 #5 AND LARGER.....2 IN.
 #5 AND SMALLER & WWF.....1 1/2 IN.
 CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
 SLAB AND WALL.....3/4 IN.
 BEAMS AND COLUMNS.....1 1/2 IN.
5. A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE U.N.O. IN ACCORDANCE WITH ACI 301, LATEST EDITION, SECTION 4.
6. HOLES TO RECEIVE EXPANSIONWEDGE ANCHORS SHALL BE 1/4" LARGER IN DIAMETER THAN THE ANCHOR BOLT, DOWEL OR ROD AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. LOCATE AND AVOID CUTTING EXISTING REBAR OR TENDONS WHEN DRILLING HOLES IN ELEVATED CONCRETE SLABS OR CONCRETE WALLS.
7. USE AND INSTALLATION OF CONCRETE EXPANSIONWEDGE ANCHOR, SHALL BE PER ICC & MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURES. THIRD PARTY SPECIAL INSPECTION IS REQUIRED FOR (HILTI KWIK BOLT-TZ EXPANSION ANCHORS PER ESR-1017) CONCRETE EXPANSION ANCHORS. INSTALLATION OF WEDGE ANCHORS (I.E. KWIK BOLT TZ ANCHORS) IN MASONRY IS NOT PERMITTED

DRAWING ABBREVIATIONS

APP	ABOVE FINISH FLOOR	LF	LINEAR FEET
ADL	ABOVE GRADE LEVEL	MAX	MAXIMUM
AWG	AMERICAN WIRE GAUGE	MECH	MECHANICAL
AC	AIR CONDITIONING	MFR	MANUFACTURER
ADJ	ADJUSTABLE	MGR	MANAGER
APPROX	APPROXIMATELY	MIN	MINIMUM
AZ	AZIMUTH	MISC	MISCELLANEOUS
BLDG	BUILDING	MTL	METAL
CM	CONSTRUCTION MANAGER	MTL	METALIZE(D)
CAB	CABINET	MW	MICROWAVE
CL	CENTERLINE	NEC	NATIONAL ELECTRICAL CODE
CLD	CEILING	NIC	NOT IN CONTRACT
CLR	CLEAR	NTS	NOT TO SCALE
CO	COPPER	N/A	NOT APPLICABLE
CONC	CONCRETE	OC	ON CENTER
COND	CONDUIT	OD	OUTSIDE DIAMETER
CONET	CONSTRUCTION	OP	OVERHEAD POWER
CONF	CONTINUOUS	OT	OVERHEAD FIBER
CPM	CASCADE PM	OPP	OPPOSITE
DVD	DRAWING CHECKER	PL	PROPERTY LINE
DEMO	DEMOLISH	PLYWD	PLYWOOD
DIA	DIAMETER	PM	PROJECT MANAGER
DIM	DIMENSION	PROJ	PROJECT
DN	DOWN	PROP	PROPERTY
DTL	DETAIL	PT	PRESSURE TREATED
DWG	DRAWING	RO	ROUGH OPENING
EA	EACH	ROW	RIGHT OF WAY
ELECT	ELECTRICAL	R/R	REMOTE RADIO UNIT
ELEV	ELEVATION	REQ	REQUIRED
EQ	EQUAL	SETC	SOLID BARE THINED COPPER
EQMP	EQUIPMENT	SF	SQUARE FEET
EXT	EXTERIOR	SH	SHEET
FIN	FINISH	SPEC	SPECIFICATION
FLR	FLOOR	SQ	SQUARE
FT	FOOT, FEET	SS	STAINLESS STEEL
GA	GAUGE	STL	STEEL
GALV	GALVANIZED	STRCT	STRUCTURE, STRUCTURAL
GC	GENERAL CONTRACTOR	TOP	TOP OF CONCRETE
GWB	GYPSSUM WALL BOARD	TCM	TOP OF MASONRY
GR	GRADE	THRU	THROUGH
GRND	GROUND	TIND	TINNED
HVAC	HEATING, VENTING & AIR CONDITIONING	UBC	UNIFORM BUILDING CODE
HORIZ	HORIZONTAL	UG	UNDERGROUND
HT	HEIGHT	UNO	UNLESS NOTED OTHERWISE
IBC	INTERNATIONAL BUILDING CODE	UP	UNDERGROUND POWER
ID	INSIDE DIAMETER	UF	UNDERGROUND FIBER
IN	INCH	VF	VERIFY IN FIELD
INSUL	INSULATION	VERT	VERTICAL
INT	INTERIOR	WP	WATERPROOF
JBOX	JUNCTION BOX	W	WITH
LWS	FOUND(S)	W/O	WITHOUT



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION. CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

CPM PROJECT NO.: 7078

PRELIMINARY			
NO.	DATE	D/C	DESCRIPTION
0	11-07-17	AKPJ	CONTRACTOR REV
1	01-22-18	KYAR	CENTERLINE REV
2			

SUBMITTAL			
NO.	DATE	D/C	DESCRIPTION

SITE NAME
H11 KALAPAKI
GENERATOR MOD

SITE ADDRESS
 3510 RICE STREET
 LIHUE, HI 96766

SHEET TITLE
GENERAL
NOTES

SHEET NO.
Gen02



3375 Koapaka St. Suite D185
Honolulu, HI 96819
808-536-7400

COUNTY OF KAUAI
www.centerlinesolutions.com

November 1, 2018

NOV -1 P2:26

Kauai County Planning Department
Attn: Jody Galinato
4444 Rice Street., Ste A473
Lihue, Hawaii 96766

PLANNING DEPT.

RE: Shoreline Setback Determination application for a Verizon Modification to an existing telecommunication facility with enclosed plans to include with the SMA(M)-2015-38 file.

Dear Jody Galinato,

Thank you for your time and assistance as we continue with the permitting process.

Please find enclosed:

- SSD application package with \$100 submittal fee
- Construction Drawing set for the antenna modifications (BP18-00000259)
- Construction Drawing set for the generator shelter (BP18-00000285)

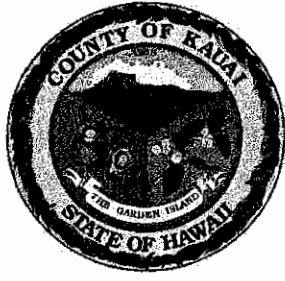
Verizon originally received approval to install antennas on the roof of the Marriott Kauai Resort, under SMA(M)-2015-38, with each of the six (6) antennas placed within cylindrical canisters to conceal the antennas from view. Verizon has received subsequent zoning approval to relocate the antennas to the rooftop of the penthouse and place a screen wall around the antennas to conceal them from view.

The proposed project does not increase the overall height of the structure nor number of antennas. The existing installation and proposed redesign top out at 128' AGL.

Thank you and please do not hesitate to contact me if you have any follow up questions.

Sincerely,

Kenneth Huang
Project Coordinator
Centerline Solutions
(808) 536-7400 Ext. 7016
khuang@centerlinesolutions.com



**PLANNING DEPARTMENT
SHORELINE SETBACK APPLICATION**

FOR OFFICIAL USE ONLY:	
SSD 201	9-23
Acceptance Date:	11.5.18
Website Posting Date:	11.7.18
Determination Date:	11.9.18
Planning Commission Date:	11.13.18
Expiration Date:	11.13.21
Planner Assigned:	JL

Instructions: File all information requested under Part A for processing the Determination of Applicability (§8-27.1), including signature page. Fill out Parts A and B if you know, due to proximity of the shoreline, that your parcel will require a Certified Shoreline Survey. If you are proposing a permitted structure or subdivision within the shoreline setback area fill in Part C. For applications involving a variance, complete Part D.

Applicant Information	
Applicant:	HONUA Engineering, Inc./Brian M. Hennessy <i>Samuel Kugel</i>
Address:	PO Box 851 Hanalei, HI. 96714
Phone:	(808) 826-7256
Email:	brian@honuaengineering.com
Applicant's Status: (Check one)	
<input type="checkbox"/> Owner of the Property	(Holder of at least 75% of the equitable and legal title)
<input type="checkbox"/> Lessee of the Property	Lessee must have an unexpired and recorded lease of five (5) years or more from the date of filing of this application. If not, Owner(s) must provide a Letter of Authorization.
<input checked="" type="checkbox"/> Authorized Agent	Attach Letter of Authorization
Transmittal Date: _____	

Project Information (attach additional sheets, if necessary)	
County Zoning District:	R-4
Tax Map Key(s):	(4) 5-4-13:29
Land Area:	13,089 sq. ft.
Nature of Development: (Description of proposed Structure of subdivision)	Extend deck and add pool on the makai side of existing residence.

**NO PERMITS WILL BE ISSUED WITHOUT PLANNING COMMISSION ACCEPTANCE,
EXCEPT AS PROVIDED IN §8-27.8(c)(8)**

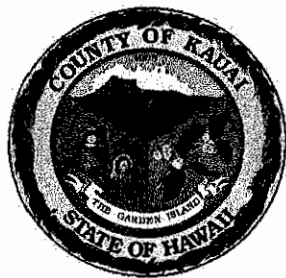
Part A

Shoreline Setback Determination of Applicability (§8-27.1)

Check all that apply, fill in applicable information. Any box checked must be accompanied by additional information, photos and/or documentation.

- Properties Abutting the Shoreline
 - Project's approximate distance from shoreline: _____
- Properties Not Abutting the Shoreline
 - Project's approximate distance from shoreline: 150'
- Additional Information:
 - Closest distance of improvement(s) from Shoreline is approximately 150 ft.
 - Number of parcels and type of improvements (roads, buildings, structures) between Shoreline and this parcel:

*Greenbelt - Parcel 5-4-05:10
UN-IMPROVED*



**PLANNING DEPARTMENT
SHORELINE SETBACK APPLICATION**

If Part A has been deemed that a Determination will be necessary, the additional information will be required for submission of this application.

Part B

Exemption Determination

A non-refundable processing fee of **one hundred dollars (\$100.00)** shall accompany a request for determination. (§8-27.8(e))

Exemption 1

In cases where the proposed structure or subdivision satisfies the following four criteria:

(A) In cases where the proposed structure or subdivision is located outside of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) 'V' or 'VE' flood zones;

(B) The proposed structure or subdivision is located at an elevation which is thirty (30) feet above sea level or greater;

(C) The applicant can demonstrate to the satisfaction of the Planning Director that the property is clearly adjacent to a rocky shoreline and that it will not affect or be affected by coastal erosion or hazards; and

(D) The shoreline setback shall be sixty (60) feet from the certified shoreline which has been established not more than twelve (12) months from the date of the application for the exception under this section.

Exemption 2

Pool

In cases where the applicant can demonstrate to the satisfaction of the Planning Director that the applicant's proposed structure or subdivision will not affect beach processes, impact public beach access, or be affected by or contribute to coastal erosion or hazards, excluding natural disasters. Factors to be considered shall include, but not be limited to, proximity to the shoreline, topography, properties between shoreline and applicant's property, elevation, and the history of coastal hazards in the area.

Exemption 3

Deck

Those structures and uses found exempt in Table 3 (§8-27.7) (see pg. 5-6)

Letter from the Department of Public Works stating that the proposed project does not constitute "Substantial Improvement," pursuant to §8-27.2

Exemption Determination (to be completed by Planning Department)

Pursuant to §8-27.3 the Kauai County Code, 1987 as amended, the Planning Department hereby certifies the proposed structure(s) or subdivision(s) as exempt from those shoreline setback determination required established under §8-27.8.

[Signature]
Planning Director or designee

11.5.18
Date

Bernard P. Carvalho Jr.
Mayor



Lyle Tabata
Acting County Engineer

COUNTY OF KAUAI

'18 NOV -2 AM 11:26

Wallace G. Rezentes Jr.
Managing Director

DEPARTMENT OF PUBLIC WORKS

County of Kaua'i, State of Hawai'i PLANNING DEPT.

4444 Rice Street, Suite 275, Lihu'e, Hawai'i 96766
TEL (808) 241-4992 FAX (808) 241-6604

October 31, 2018

Brian Hennessy, P.E.
Honua Engineering, Inc.
P.O. Box 851
Hanalei, HI 96714

Subject: SHORELINE SETBACK APPLICATION
SUBSTANTIAL IMPROVEMENT DETERMINATION
KUGEL DECK RENOVATION AND POOL INSTALLATION
TMK: (4) 5-4-013: 029

PW 10.18.055

Dear Mr. Hennessy;

The Kauai County Shoreline Setback and Coastal Protection Ordinance (Ordinance No. 979) Section 8-27.2 defines substantial improvement as "any cumulative series of repairs, reconstruction, improvements, or additions to a structure over a ten (10) year period, where the cumulative cost equals or exceeds fifty percent (50%) of the market value of the structure before the start of construction of the first improvement during that ten (10) year period. For the purposes of this definition, substantial improvement is considered to occur when the first alteration of any wall, ceiling, floor, or other structural part of the building commences, whether or not that alteration affects the external dimensions of the structure."

The Department of Public Works (DPW) Engineering Division has reviewed the proposed improvements to extend an existing deck and install a swimming pool on the subject property. Since the swimming pool will be structurally supported by new retaining walls, DPW does not consider the pool to be part of the existing building and therefore has not included it in this Substantial Improvement Determination (SID). DPW did compare the cost of the proposed deck extension to the market value of the structure and has determined that the proposed improvements do **not** constitute a substantial improvement. A summary of the calculations follows.

Market Value

There were no building permits for the structure within the past 10 years. The market value used in the calculations is the current Replacement Cost New Less Depreciation (RCNLD) value for the structure as determined by the County's Real Property Assessment Division. The 2018 RCNLD was determined to be \$608,206. If the owner chooses to dispute this value, then an appraisal of the structure must be provided at the owner's expense. The appraisal shall be prepared

Kugel Improvements
Shoreline Setback Application – Substantial Improvement Determination
October 31, 2018

by a professional appraiser licensed in the State of Hawai‘i and the market value shall be based on the “Cost Approach” (or Replacement Cost New Less Depreciation).

Cost of Improvements

The total cost of improvements for the proposed deck extension is taken to be the cost estimate of \$127,000 that was prepared by Claus Bollman and dated July 30, 2018. The estimate was submitted to the Engineering Division by Honua Engineering.

Summary

The cost of improvements compared to the market value is:

$$\frac{\text{Cost of Improvements (past 10 years): } \$127,000}{\text{Market Value (Real Property): } \$608,206} = 0.2088 \text{ or } 20.9\%$$

Since the total cost does not exceed 50% of the market value, the improvement is not considered to be substantial. Based on our records there were no other permits for the structure within the past ten years. However, if any unpermitted work has been done, or if there are modifications to this application, our determination shall be considered void and the structure must be re-evaluated.

If you have any questions or need additional information, contact Stanford Iwamoto at (808) 241-4896 or siwamoto@kauai.gov.

Sincerely,



Michael Moule, P.E.
Chief, Engineering Division

Concur,



Lyle Tabata
Acting County Engineer

MM/SI

Copy: Design and Permitting
Planning

Honua Engineering, Inc.

Ching Young Center, Suite C7
P.O. Box 851 Hanalei, HI 96714
(P) 808 826 7256 (F) 808 826 7745

July 27, 2018

County of Kauai
Planning Department
4444 Rice Street, Suite 473
Lihue, HI 96766

Subject: *Shoreline Setback Determination (SSD) for Lot 83, 3565 Kaweonui Rd.,
Princeville, Kaua'i, Hawai'i* *TMK (4th Div.) 5-4-13:29*

To Whom It May Concern:

This is to inform you that the undersigned is the owner of the subject parcel of land and hereby authorize Brian M. Hennessy of Honua Engineering, Inc. to act as the authorized agent for the subject application before the Planning Department.

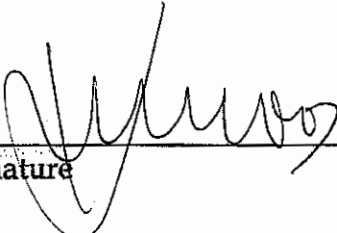
Property Owner:

Name Samuel Kugel

Address 1342 Rhoda Dr.

La Jolla, CA. 92037-5223

Phone 619-9331033


Signature

07-27-18
Date

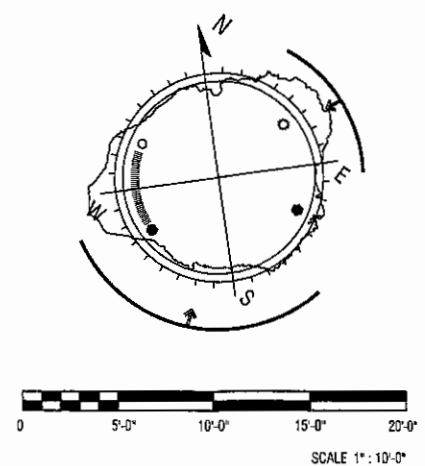
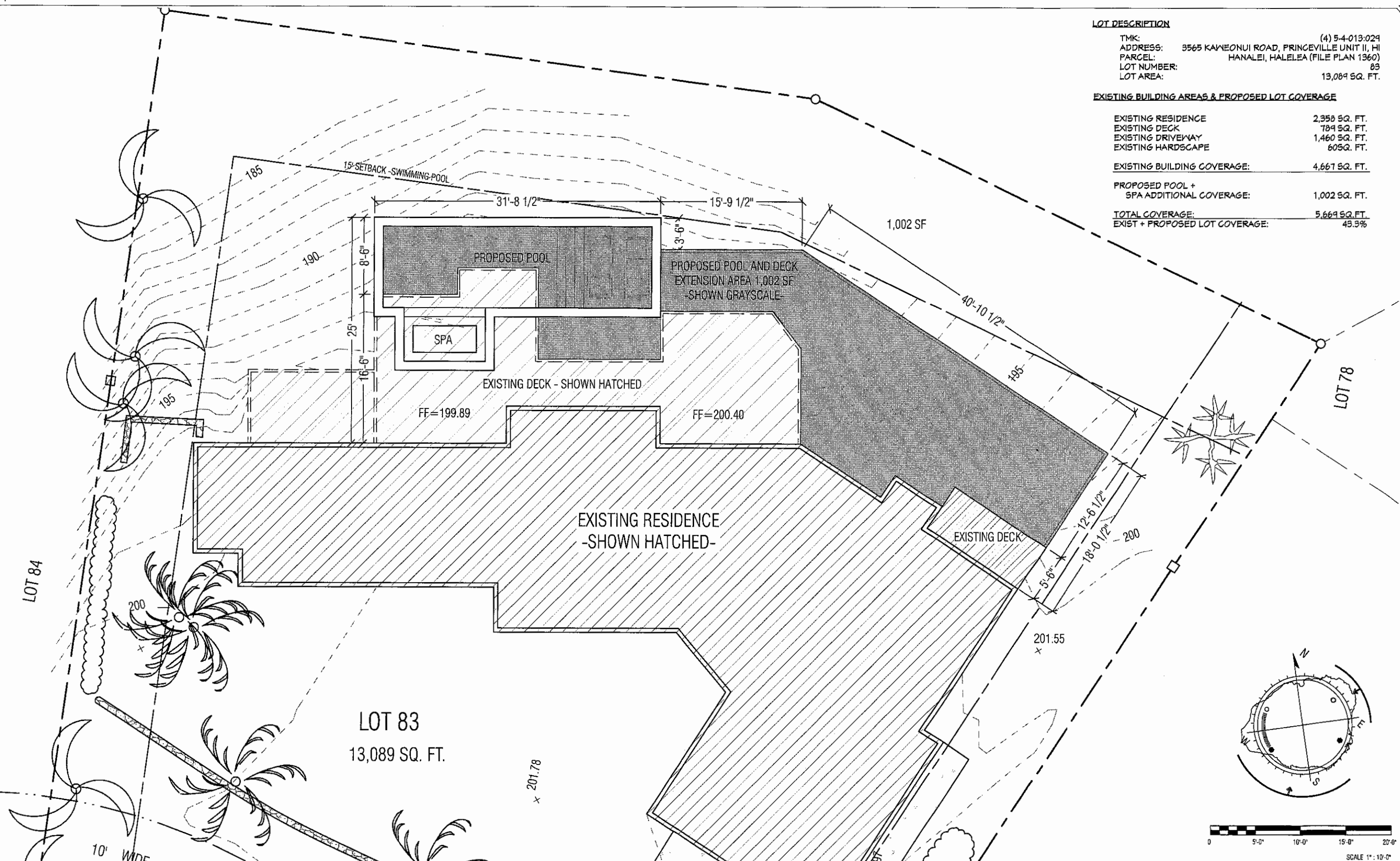
Project No. 6100.1

LOT DESCRIPTION

TMK: (4) 5-4-013:029
 ADDRESS: 3565 KAWEONUI ROAD, PRINCEVILLE UNIT II, HI
 PARCEL: HANALEI, HALELEA (FILE PLAN 1360)
 LOT NUMBER: 83
 LOT AREA: 13,089 SQ. FT.

EXISTING BUILDING AREAS & PROPOSED LOT COVERAGE

EXISTING RESIDENCE	2,358 SQ. FT.
EXISTING DECK	789 SQ. FT.
EXISTING DRIVEWAY	1,460 SQ. FT.
EXISTING HARDSCAPE	605 SQ. FT.
EXISTING BUILDING COVERAGE:	4,667 SQ. FT.
PROPOSED POOL + SPA ADDITIONAL COVERAGE:	1,002 SQ. FT.
TOTAL COVERAGE:	5,669 SQ. FT.
EXIST + PROPOSED LOT COVERAGE:	43.9%



July 24, 2018

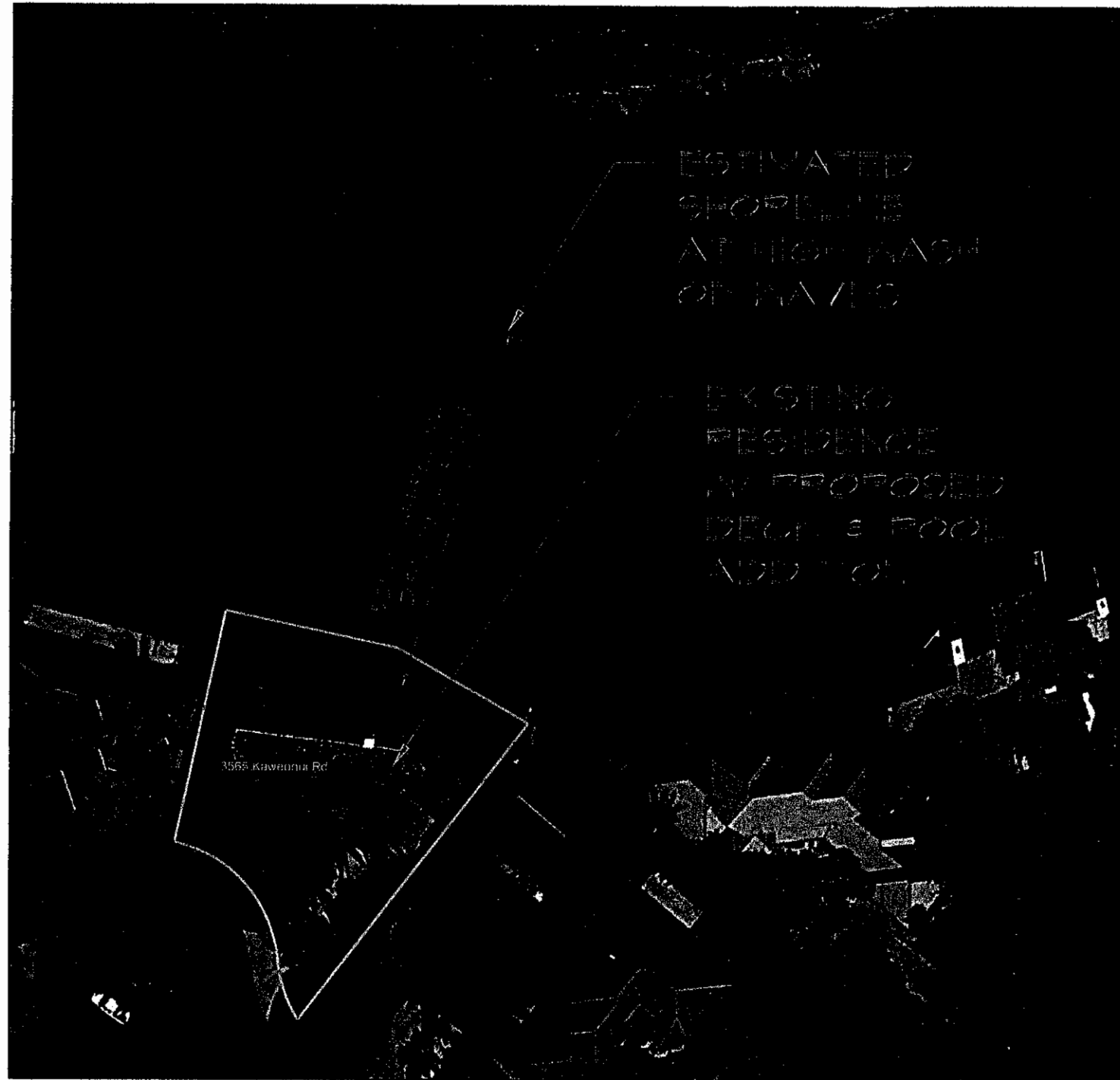
KUGEL POOL AND DECK RENOVATION
LOT 83, PRINCEVILLE, KAUA'I, HAWAII

PROPOSED POOL & SURVEY OVERLAY

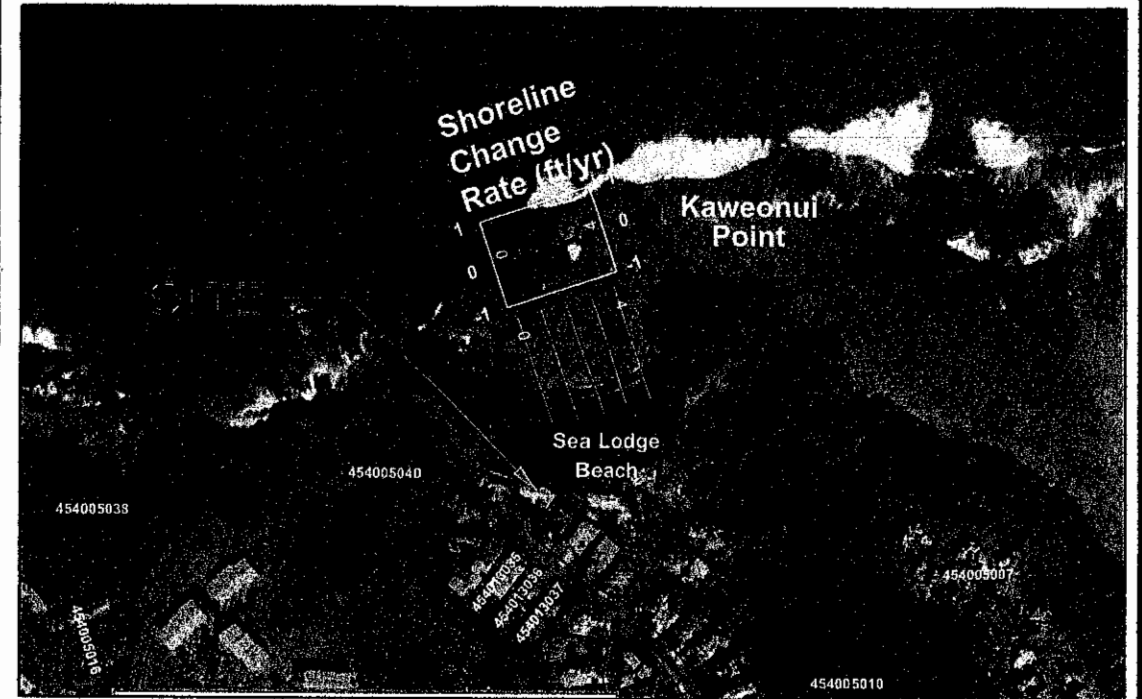
A1

TRUE NORTH

Scale: 1 INCH = 60 FEET

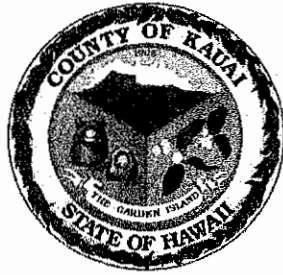


Graphic Scale in Feet



SHORELINE EROSION RATE MAP
NOT TO SCALE

SHORELINE SETBACK EXHIBIT
LOT 83
 PRINCEVILLE AT HANAIEI, UNIT 3
 at Princeville, Hanalei, Kauai, Hawaii
 TMK 5-4-13:29



**PLANNING DEPARTMENT
SHORELINE SETBACK APPLICATION**

FOR OFFICIAL USE ONLY:	
SSD 201	9-22
Acceptance Date:	11-5-18
Website Posting Date:	11-7-18
Determination Date:	11-7-18
Planning Commission Date:	11-13-18
Expiration Date:	11-7-21
Planner Assigned:	JV

Instructions: File all information requested under Part A for processing the Determination of Applicability (§8-27.1), including signature page. Fill out Parts A and B if you know, due to proximity of the shoreline, that your parcel will require a Certified Shoreline Survey. If you are proposing a permitted structure or subdivision within the shoreline setback area fill in Part C. For applications involving a variance, complete Part D.

Applicant Information	
Applicant:	Adam Brown <i>Robert Ferguson</i>
Address:	5784 Ahakea St Kapaa, HI. 96746
Phone:	808 652 9440
Email:	bwaybrown@gmail.com
Applicant's Status: (Check one)	
<input type="checkbox"/> Owner of the Property	(Holder of at least 75% of the equitable and legal title)
<input type="checkbox"/> Lessee of the Property	Lessee must have an unexpired and recorded lease of five (5) years or more from the date of filing of this application. If not, Owner(s) must provide a Letter of Authorization.
<input checked="" type="checkbox"/> Authorized Agent	Attach Letter of Authorization
Transmittal Date: _____	

Project Information (attach additional sheets, if necessary)	
County Zoning District:	R4
Tax Map Key(s):	(4) 5-5-004:040
Land Area:	8,588 sf
Nature of Development: (Description of proposed Structure of subdivision)	Rebuild existing permitted structure due to poor construction and lack of proper maintenance. No increase to existing footprint. ART STUDIO (AD)

**NO PERMITS WILL BE ISSUED WITHOUT PLANNING COMMISSION ACCEPTANCE,
EXCEPT AS PROVIDED IN §8-27.8(c)(8)**

Part A

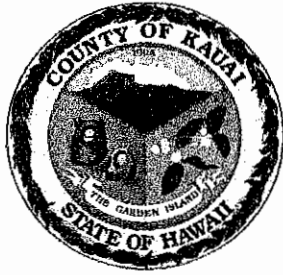
Shoreline Setback Determination of Applicability (§8-27.1)

Check all that apply, fill in applicable information. Any box checked must be accompanied by additional information, photos and/or documentation.

- Properties Abutting the Shoreline
 - Project's approximate distance from shoreline: _____
- Properties Not Abutting the Shoreline
 - Project's approximate distance from shoreline: 450' front 485' rear

- Additional Information:
 - Closest distance of improvement(s) from Shoreline is approximately 65' ft.
 - Number of parcels and type of improvements (roads, buildings, structures) between Shoreline and this parcel:

There are two parcels and Weke road between shoreline and parcel. Waioli Beach park parking lot fronts the shoreline (TMK 5-5-04:002) and is an extremely large parcel. The line of vegetation at beach front to first parking area is 85' and rear of parking lot is approximately 200' and an active county beach parking lot. Behind the parking lot (mauka) is a 16,408 sf parcel (TMK 5-5-04-003) with large existing residence approximately 227' from shoreline. Mauka of this lot is Weke road which is approximately 40' wide. Mauka of Weke road is the subject parcel, 4185 Anae road (TMK 5-5-04:040). The closest side of permitted residence to shoreline is approximately 450' from the shoreline and 485' to the rear.



**PLANNING DEPARTMENT
SHORELINE SETBACK APPLICATION**

FOR OFFICIAL USE ONLY:	
SSD 201__ - __	
Acceptance Date:	
Website Posting Date:	
Determination Date:	
Planning Commission Date:	
Expiration Date:	
Planner Assigned:	

- Topography (undulating, flat, slope, etc.) and ground elevation of subject parcel (Lowest and Highest elevations)

Flat

- Shoreline type (e.g. beach, dune, rocky, sandy with rocky outcropping, etc.)

Sand beach. Waioli beach is accreting at an average rate of 2.2 ft/yr per hawaii.edu website.

- Artificially armored Shoreline

If checked, what type of armoring (e.g. seawall, revetment, bulkhead): _____

Is the armoring permitted/authorized? _____

Date of authorization (attach copy of authorization letter): _____

- Is property in coastal floodplain (if checked, what zone)? _____

- Has this property been subject to coastal hazards in the past? (If checked, please describe)

If the proposed structure or subdivision is within the shoreline setback area then, please be aware that if the determination of a structure is approved, the Applicant shall agree in writing that the Applicant, its successors, and permitted assigns shall defend, indemnify, and hold the County of Kaua'i harmless from and against any and all loss, liability, claim or demand arising out of damages to said structures from any coastal natural hazards and coastal erosion, pursuant to §8-27.7(b)(2).

The requirements of the Subsection (b) shall run with the land and shall be set forth in a unilateral agreement recorded by the applicant with the Bureau of Conveyances or the Land Court, whichever is applicable, no later than thirty (30) days after the date of final shoreline approval of the structure under §8-27.8. A copy of the recorded unilateral agreement shall be filed with the Director and the County Engineer no later than forty-five (45) days after the date of the final shoreline determination and approval of the structure and the filing of such with the Director shall be a prerequisite to the issuance of any related building permit. §8-27.7(b)(6).

Applicant's Signature

Adam Proun

10.25.18

Signature

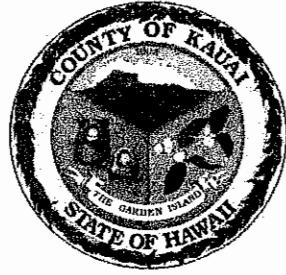
Date

Applicability (to be completed by Planning Department)

- Setback Determination necessary.** Requirements of Ordinance No. 979 apply, submit full application.

[Signature]
Planning Director or designee

11.5.18
Date



**PLANNING DEPARTMENT
SHORELINE SETBACK APPLICATION**

If **Part A** has been deemed that a Determination will be necessary, the additional information will be required for submission of this application.

Part B

Exemption Determination

A non-refundable processing fee of **one hundred dollars (\$100.00)** shall accompany a request for determination. (§8-27.8(e))

Exemption 1

In cases where the proposed structure or subdivision satisfies the following four criteria:

(A) In cases where the proposed structure or subdivision is located outside of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) 'V' or 'VE' flood zones;

(B) The proposed structure or subdivision is located at an elevation which is thirty (30) feet above sea level or greater;

(C) The applicant can demonstrate to the satisfaction of the Planning Director that the property is clearly adjacent to a rocky shoreline and that it will not affect or be affected by coastal erosion or hazards; and

(D) The shoreline setback shall be sixty (60) feet from the certified shoreline which has been established not more than twelve (12) months from the date of the application for the exception under this section.

Exemption 2

In cases where the applicant can demonstrate to the satisfaction of the Planning Director that the applicant's proposed structure or subdivision will not affect beach processes, impact public beach access, or be affected by or contribute to coastal erosion or hazards, excluding natural disasters. Factors to be considered shall include, but not be limited to, proximity to the shoreline, topography, properties between shoreline and applicant's property, elevation, and the history of coastal hazards in the area.

Exemption 3

Those structures and uses found exempt in Table 3 (§8-27.7) (see pg. 5-6)

Letter from the Department of Public Works stating that the proposed project does not constitute "Substantial Improvement," pursuant to §8-27.2

Exemption Determination (to be completed by Planning Department)

Pursuant to §8-27.3 the Kaua'i County Code, 1987 as amended, the Planning Department hereby certifies the proposed structure(s) or subdivision(s) as exempt from those shoreline setback determination required established under §8-27.8.

Planning Director or designee

Date

11.9.18

Bernard P. Carvalho Jr.
Mayor



Lyle Tabata
Acting County Engineer

Wallace G. Rezendes Jr.
Managing Director

DEPARTMENT OF PUBLIC WORKS
County of Kaua'i, State of Hawai'i
4444 Rice Street, Suite 275, Lihue, Hawai'i 96766
TEL (808) 241-4992 FAX (808) 241-6604

October 7, 2018

Adam Brown, Architect
5784 Ahakea Sreet
Kapa'a, HI 96746

Subject: SHORELINE SETBACK APPLICATION
SUBSTANTIAL IMPROVEMENT DETERMINATION
FERGUSON 4421 ANAE ROAD
TMK: (4) 5-5-004: 040

PW NO. 09.18.091

The Kaua'i County Shoreline Setback and Coastal Protection Ordinance (Ordinance No. 979) Section 8-27.2 defines substantial improvement as "any cumulative series of repairs, reconstruction, improvements, or additions to a structure over a ten (10) year period, where the cumulative cost equals or exceeds fifty percent (50%) of the market value of the structure before the start of construction of the first improvement during that ten (10) year period. For the purposes of this definition, substantial improvement is considered to occur when the first alteration of any wall, ceiling, floor, or other structural part of the building commences, whether or not that alteration affects the external dimensions of the structure."

The Department of Public Works (DPW) Engineering Division has reviewed information you provided in our letter dated September 4, 2018 and determined that the work to reconstruct garage/shed does constitute a substantial improvement. A summary of the calculation follows.

Market Value

The market value used in the calculations was provided by the County's Real Property Office and is \$15,900.

Cost of Improvements

The cost to reconstruct the existing structure was estimated by your office to be \$48,480.

Substantial Improvement Determinations

The cost of improvements is greater than the value of the structure, therefore, the proposed work is considered to be substantial.

If you have any questions or need additional information, contact Stanford Iwamoto at (808) 241-4896 or siwamoto@kauai.gov.

TREEFISH LLC

ADAM BROWN ARCHITECT

5784 Ahakea St., Kapa'a, Kaua'i, Hawai'i 96746
Phone: (808) 652-9440 • Email: Bwaybrown@gmail.com

Bobby Ferguson
318 Meadow Rd.
Snowmass Village, Colorado
81615

March 2, 2018

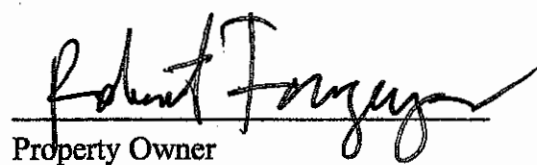
Department of Planning & Building Division
County of Kauai
4444 Rice Street
Lihue, Hi 96766

SUBJECT: Agent Authorization
TMK (4) 5-5-004:04
4421 Anae Rd.
Hanalei, Hi. 96714

To whom it may concern:

Authorized representative pertaining to the property at the above TMK is:

Adam Brown
Licensed Architect
TreeFish llc
5784 Ahakea St.
Kapaa, HI 96746
voice: 652-9440
email: bwaybrown@gmail.com


Property Owner

TREEFISH LLC

ADAM BROWN ARCHITECT

5784 Ahakea St. Kapaa, Hi. 96746

Phone: (808) 652-9440 • Email: Bwaybrown@gmail.com

October 25, 2018

Subject parcel TMK: (4) 5-5-004:040

Ferguson Residence

4421 Anae road

Hanalei, Hawaii 96714

Residence/property sits on the mauka side of Weke rd. at the intersection of Anae and Weke.

There are two parcels and Weke road between the shoreline and subject parcel. Waioli Beach park parking lot fronts the shoreline (TMK 5-5-04:002) and is an extremely large parcel. The line of vegetation at beach front to rear of parking lot is approximately 200' and is an active county beach parking lot (see exhibit 1). Behind the parking lot (mauka) is a 16,408 sf parcel (TMK 5-5-04-003) with large existing residence that sits about 227' from the shoreline (see exhibit 2) and average lot depth is 196'.

Mauka of this lot is Weke road which is approximately 40' wide.

Mauka of Weke road is the subject parcel / residence 4165 Anae road (TMK 5-5-04:040). The closest side of permitted residence to shoreline is approximately 450' from the shoreline and the rear of structure is approximately 485' from the shoreline (see exhibit 3).

Current shoreline rate of erosion is 0 as this portion of Hanalei Bay is accreting at a rate of 2.2'/year (per Hawaii.edu website). Regardless of the rate of accretion, average lot depth setback line of the County lot would be 60' from the shoreline per guidelines and average lot depth setback line of the second lot would be 138'. There is no concern of erosion impacting the subject parcel.

4421 Anae road residence lies in an XS (x shaded) zone (see FHAT report) which is a non-special flood hazard area. It has no flood restrictions on construction or permitting and there was no flooding to the residence during the massive flood event of April 15-17, 2018.

TREEFISH

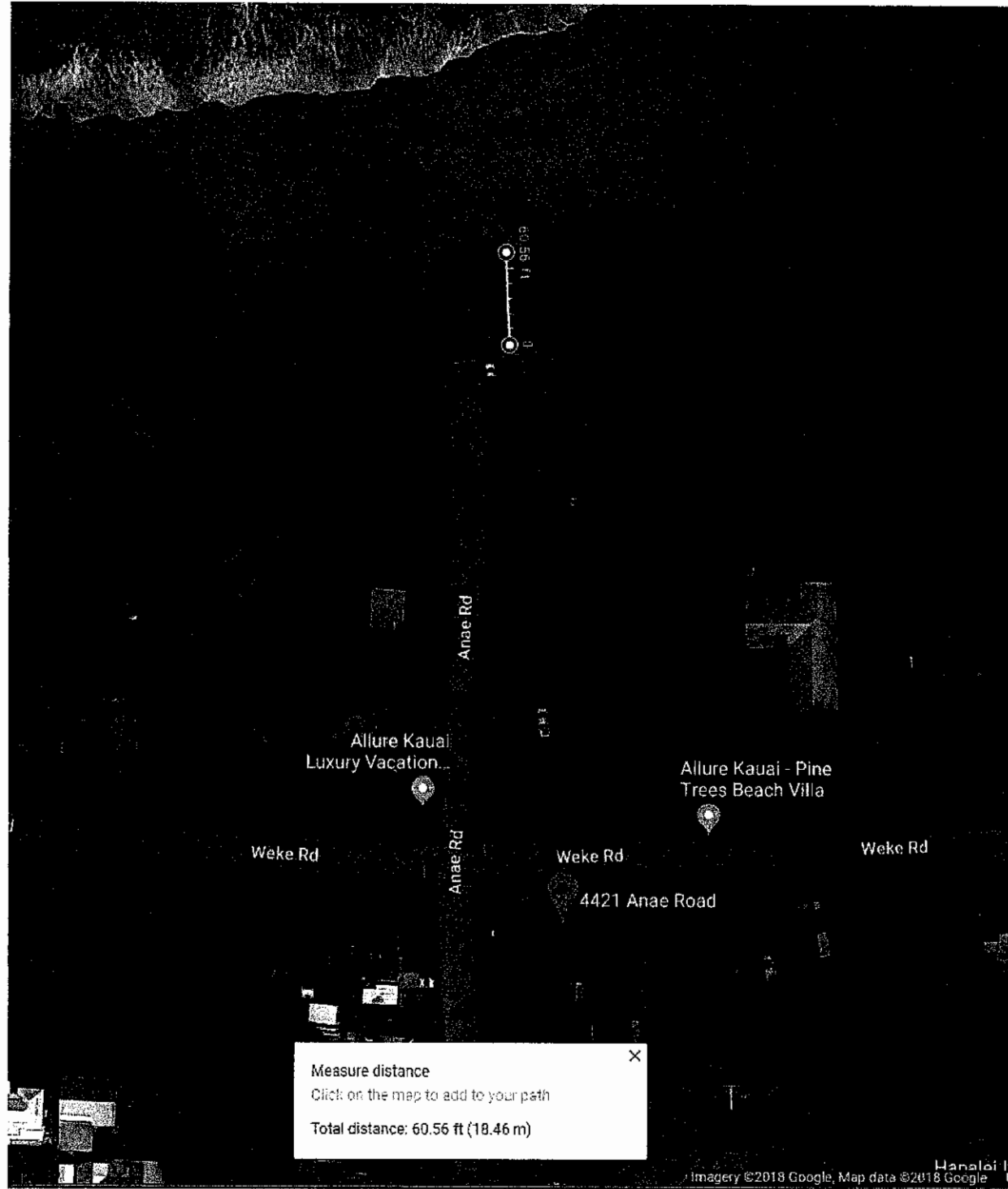
ADAM BROWN ARCHITECT

5784 Ahakea St. Kapaa, Hi. 96746

Phone: (808) 652-9440 • Email: Bwaybrown@gmail.com

August 21, 2018

Exhibit 1



TREEFISH

ADAM BROWN ARCHITECT

5784 Ahakea St. Kapaa, Hi. 96746

Phone: (808) 652-9440 • Email: Bwaybrown@gmail.com

August 21, 2018

Exhibit 2



Showing distance to shoreline from existing residence Makai of Weke road and in front of subject parcel (4421 Anae road).

TREEFISH LLC

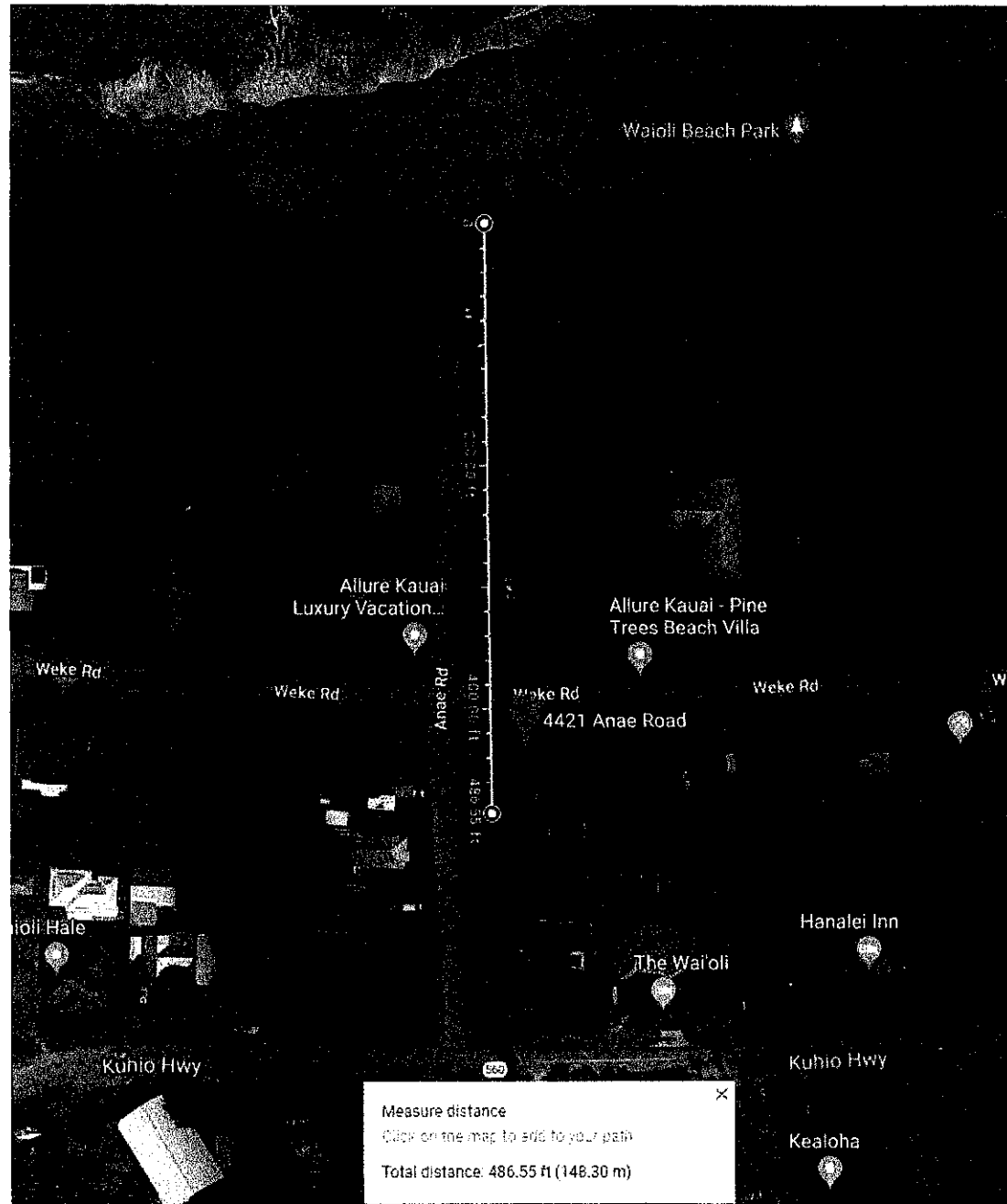
ADAM BROWN ARCHITECT

5784 Ahakea St. Kapaa, Hi. 96746

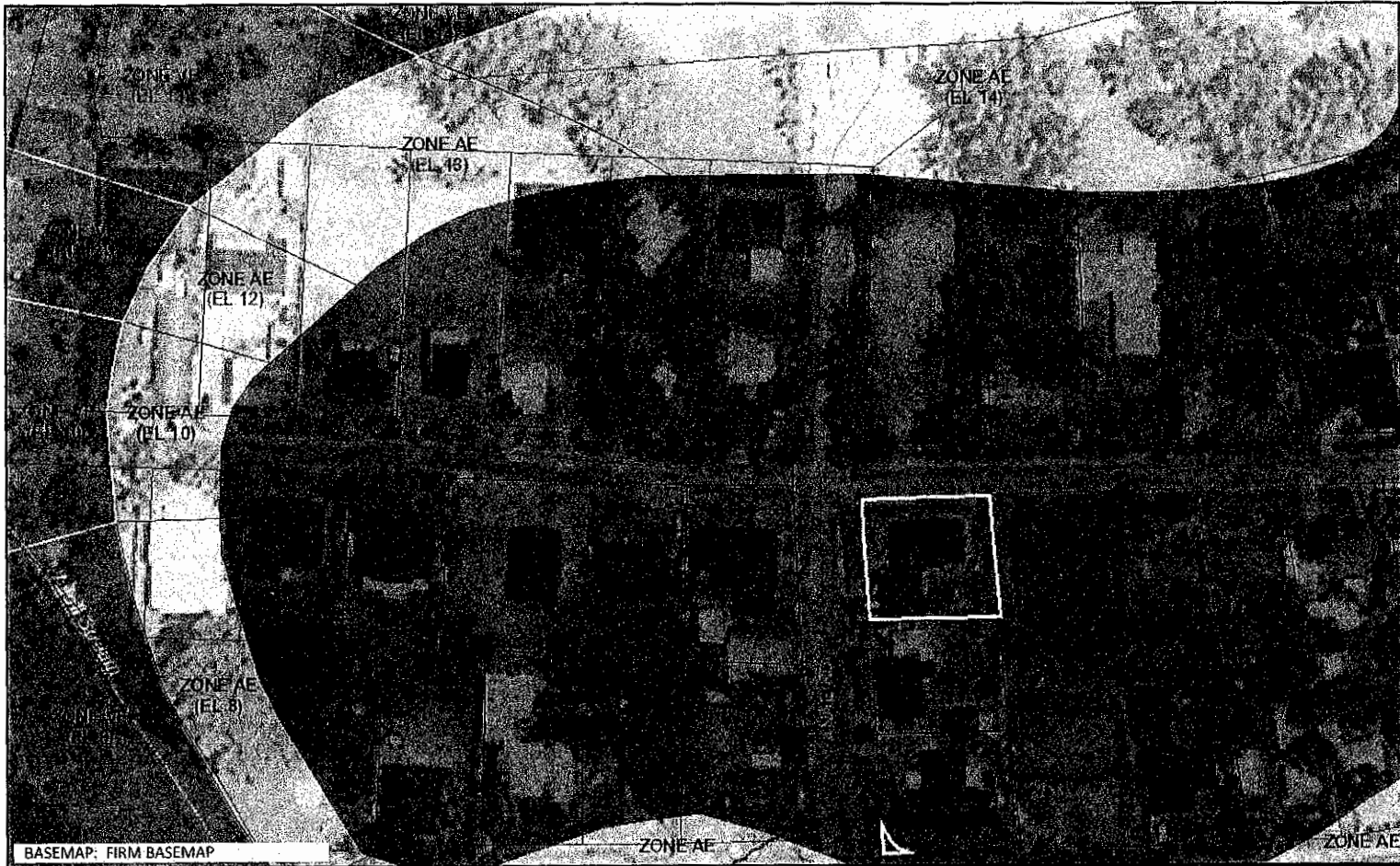
Phone: (808) 652-9440 • Email: Bwaybrown@gmail.com

August 20, 2018

Exhibit 3



4421 Anae road residence and accessory structure lie in Zone X shaded. Approximately 485' from shoreline to the rear of existing structure.



BASEMAP: FIRM BASEMAP



Flood Hazard Assessment Report

www.hawaiiinfip.org

Property Information

COUNTY: KAUAI
 TMK NO: (4) 5-5-004:040
 WATERSHED: WAIOLI
 PARCEL ADDRESS: 4421 ANAE RD
 HANAIEI, HI 96714

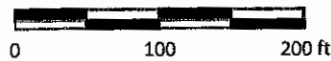
Notes:

Flood Hazard Information

FIRM INDEX DATE: NOVEMBER 26, 2010
 LETTER OF MAP CHANGE(S): NONE
 FEMA FIRM PANEL: 1500020035E
 PANEL EFFECTIVE DATE: SEPTEMBER 16, 2005

THIS PROPERTY IS WITHIN A TSUNAMI EVACUATION ZONE: YES
 FOR MORE INFO, VISIT: <http://www.scd.hawaii.gov/>

THIS PROPERTY IS WITHIN A DAM EVACUATION ZONE: NO
 FOR MORE INFO, VISIT: <http://dlnreng.hawaii.gov/dam/>



Disclaimer: The Hawaii Department of Land and Natural Resources (DLNR) assumes no responsibility arising from the use, accuracy, completeness, and timeliness of any information contained in this report. Viewers/Users are responsible for verifying the accuracy of the information and agree to indemnify the DLNR, its officers, and employees from any liability which may arise from its use of its data or information.

If this map has been identified as 'PRELIMINARY', please note that it is being provided for informational purposes and is not to be used for flood insurance rating. Contact your county floodplain manager for flood zone determinations to be used for compliance with local floodplain management regulations.

FLOOD HAZARD ASSESSMENT TOOL LAYER LEGEND (Note: legend does not correspond with NFHL)

SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD - The 1% annual chance flood (100-year), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. SFHAs include Zone A, AE, AH, AO, V, and VE. The Base Flood Elevation (BFE) is the water surface elevation of the 1% annual chance flood. Mandatory flood insurance purchase applies in these zones:

	Zone A: No BFE determined.
	Zone AE: BFE determined.
	Zone AH: Flood depths of 1 to 3 feet (usually areas of ponding); BFE determined.
	Zone AO: Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined.
	Zone V: Coastal flood zone with velocity hazard (wave action); no BFE determined.
	Zone VE: Coastal flood zone with velocity hazard (wave action); BFE determined.
	Zone AEF: Floodway areas in Zone AE. The floodway is the channel of stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without increasing the BFE.

NON-SPECIAL FLOOD HAZARD AREA - An area in a low-to-moderate risk flood zone. No mandatory flood insurance purchase requirements apply, but coverage is available in participating communities.

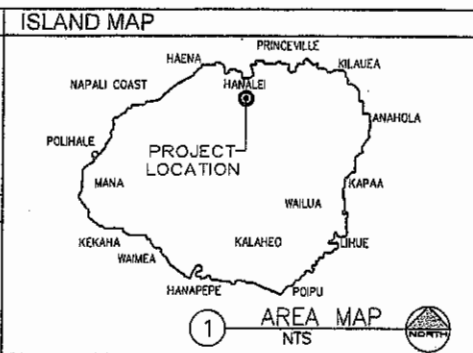
	Zone XS (X shaded): Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
	Zone X: Areas determined to be outside the 0.2% annual chance floodplain.

OTHER FLOOD AREAS

	Zone D: Unstudied areas where flood hazards are undetermined, but flooding is possible. No mandatory flood insurance purchase apply, but coverage is available in participating communities.
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ZONING CODE INFORMATION	
MAP KEY:	(4) 5-5-004:040
Y ZONING DESIGNATION:	HANAIEI, KAUAI, HI. 96714
ZONE:	R-4 RESIDENTIAL
LINE REVIEW REQUIRED:	YES LESS THAN 550' FROM SHORELINE
	YES (MINOR)
LOT AREA:	0.191 ACRES (8,320 SF)
ED LOT COVERAGE:	RESIDENTIAL 50% OF 8,320 = 4,160 SF
IG LOT COVERAGE:	
IG RESIDENCE AND GARAGE:	2,051 SF
3RDY STRUCTURE:	460 SF
RY (266 SF GRAVEL 50%):	183 SF
	226 SF
IG LOT COVERAGE:	2,939 SF
SD NEW COVERAGE:	
AVERS ON GRADE:	250 SF
PROPOSED LOT COVERAGE:	3,189 SF (38%)

PROJECT INFORMATION	
OWNER:	BOBBY AND ANDI FERGUSON
SITE ADDRESS:	4421 ANAE ROAD HANAIEI, HI. 96714 TMK: (4) 5-5-004:040
ARCHITECT:	ADAM BROWN TREEFISH LLC 5784 AHAKEA ST KAPAA, HI. 96748
CONTRACTOR:	DEAN SILLIMAN
DRAWING INDEX	
A1.0	PROJECT AND SITE DATA
A2.0	FNDTN, FLOOR, ROOF, FRAMING PLANS
A3.0	EXT ELEVATIONS, BUILDING SECTIONS
A4.0	WALL SECTIONS, DETAILS



TreeFish
ADAM BROWN
ARCHITECT
888.653.8440
5784 AHAKEA ST
KAPAA, HI. 96748

ENERGY CODE CONFORMANCE

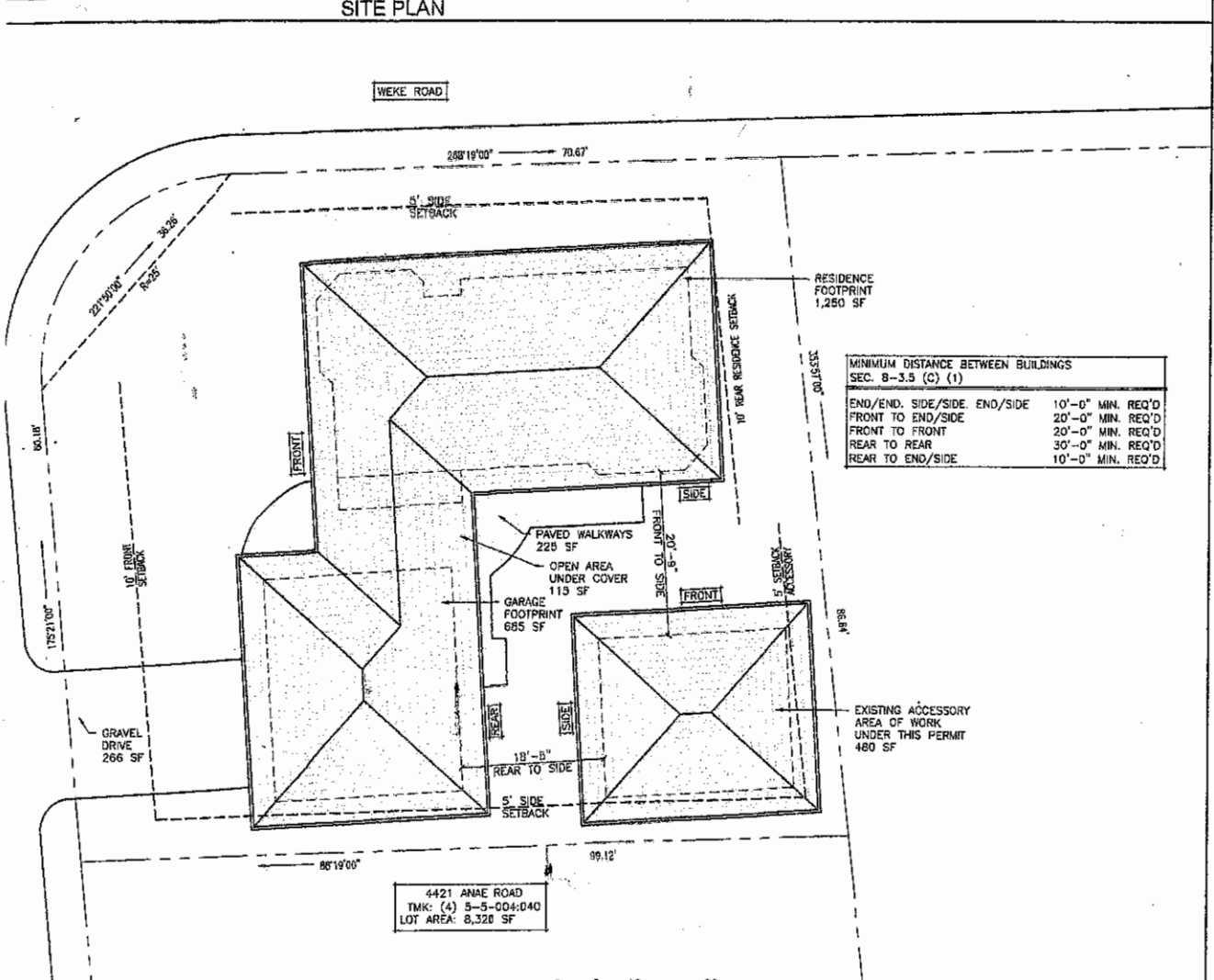
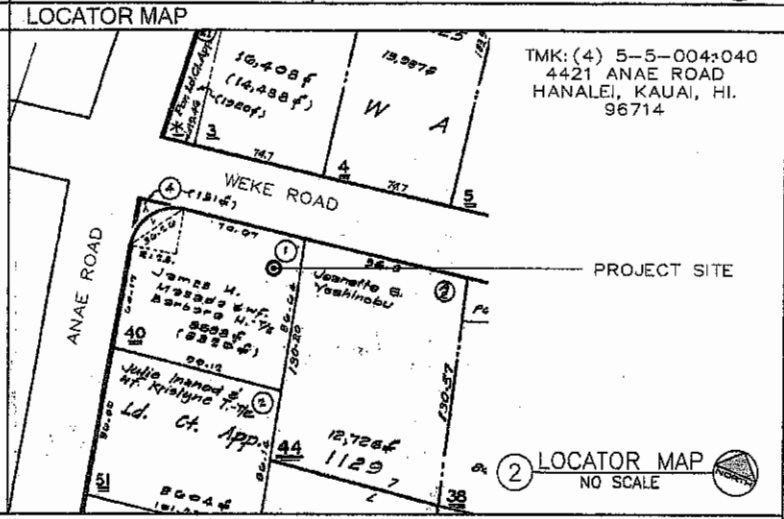
COUNTY OF KAUAI
CHAPTER 12, KAUAI COUNTY BUILDING CODE
KAUAI COUNTY CODE 1987, AS AMENDED
ARTICLE 6-ENERGY CODE

I CERTIFY THAT THE DESIGN IS IN COMPLIANCE WITH THE ENERGY CODE PERTAINING TO:

SECTION 12-6.3
ADOPTION OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
SECTION 12-6.4
LOCAL AMENDMENTS TO THE IECC

SIGNATURE: *Adam Brown*

DATE: JULY 15, 2018
NAME: ADAM BROWN
TITLE: ARCHITECT
LICENSE: 14135
EXPIRES: 04/2020



FERGUSON ACCESSORY STRUCTURE
4421 ANAE ROAD
HANAIEI, KAUAI, HAWAII 96714
TMK: (4) 5-5-004:040



Adam Brown

THIS WORK HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY SUPERVISION. LICENSE EXPIRES: 04/20

FOR PERMIT

REVISION

PROJECT AND SITE DATA

DATE: 7/15/18

SCALE: AS NOTED

SHEET