

Plantation Camp Form-Based Code

Prepared For
The County of Kaua'i

Prepared by the County of Kaua'i in
Partnership with Opticos Design

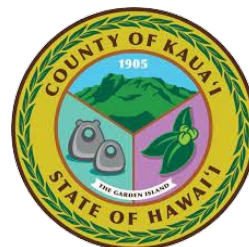


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Sub-Article 1.1 Purpose

1.1.010 Purpose and Intent

The West Kauaʻi Plantation Camp Form-Based Code (FBC) guides development in a manner consistent with the goals of the West Kauaʻi Community Plan and County of Kauaʻi General Plan. This Form-Based Code provides a regulatory framework to maintain the region’s existing plantation camps— Kamaukani Avenue and Kamaukani Village.

The code is guided by policy which supports preservation of the historic camps while also allowing limited infill development and housing expansion. The intent is that Plantation Camps should remain compact and walkable with well-defined borders and small cottages, surrounded by working agricultural fields and activity. The code:

- A. Promotes, preserves, and enhances existing community design and development patterns that reflect the distinct character of West Kauaʻi’s historic plantation camps;
- B. Promotes and maintains affordable housing stock, especially for agricultural workers or those with familial connections to the agriculture industry;
- C. Encourages appropriately scaled infill development that is located within or near the historic confines of the camps.

1.1.020 Using Zoning to Reinforce West Kauaʻi’s Places

The Plantation Camp Form-Based Code is a tool that implements County policy to enhance and revitalize plantation camps. The 2018 General Plan identifies place types to describe where certain types and intensities of development are appropriate on Kauaʻi. Place types also support the “pedestrian shed” or neighborhood, which is the fundamental building block of communities. Pedestrian sheds include spaces for living, working, and recreation that are typically within a 5-to-10 minute walk of each other.

In addition to supporting and strengthening the pedestrian shed, the West Kauaʻi Plantation Camp Form-Based Code emphasizes the physical form and character over the separation of use. This provides an alternative approach to Euclidean zoning, which is the type of zoning in the CZO (Kauaʻi County Code 1987, as amended, Chapter 8). Kauaʻi has five distinct place types based on historic settlement patterns. They include the following:

- A. Rural crossroads;
- B. Plantation camps;
- C. Small village;
- D. Large village;
- E. Town.

1.1.030 Plantation Camp Place Type

During the Plantation era, workers lived in plantation camps located near or adjacent to the sugar mills and cane fields. These camps were built to a pedestrian-oriented scale that made it possible to traverse by foot to work and services. The fields that surrounded the towns provided a *de facto* greenbelt. The relationship between the plantation camps and agricultural lands reinforced the region's rural identity. Even with the rise of the automobile and the trend of suburban development patterns, the legacy of these camps remains in West Kaua'i.

The 2018 General Plan identifies existing plantation camps in the Future Land Use Map. The Plantation Camp is defined as a historic remnant of former plantation housing that is not connected to an existing town and is surrounded by the agricultural district. It should be noted that some plantation camps were demolished and have since reverted to agricultural uses. Today's remaining plantation camps are clusters of houses with little or no retail or public facilities. Five plantation camps are designated in the General Plan and include Numila, Kaumakani Village, Kaumakani Avenue, Ka'awanui Camp, and Pakala Camp. Plantation camps are important vestiges of Kaua'i's sugar plantation history. Each camp maintains a unique sense of identity and has features and qualities that its residents would like to see preserved.

Until recently, the County zoning for these areas was "Agriculture". The 2021 West Kaua'i Community Plan (WKCP) updated the County zoning for those plantation camps within the SLUD-Urban District, which include Kaumakani Village, Kaumakani Avenue, and Pakala Camp. Two new zoning districts were created in the WKCP: Plantation Camp District and Special Treatment – Coastal Edge District. The West Kaua'i Plantation Camp Form-Based Code is a zoning overlay on the Plantation Camp District in Kaumakani Village and Kaumakani Avenue.

Kaumakani Village:

Kaumakani Village was developed in 1946 by the Olokele Sugar Company to house agricultural workers. The village included small-footprint single family residences, community garages, a church, stores, civic spaces, and a power station. The camp is laid out in a grid pattern with regular-sized blocks. The village replaced a nearby plantation camp that was subsequently demolished. The existing homes remain good examples of plantation architecture from the 20th century.

Kaumakani Avenue:

Kaumakani Avenue was developed in the late 19th century. A social hall, hospital, store, and post office lined the street, along with housing for administrative staff. The Olokele Mill is located at the bottom of the Avenue. Historically, Kaumakani Avenue was the center of the region's plantation activity.

The community today, apart from the main office, is predominantly residential. It is one of few tree-lined avenues on Kaua'i and is shaded by mature royal poinciana and monkey pod trees. Homes along the avenue are set back from the street by open lawns. On a parallel side street to the east sit thirteen houses. Historically, a similar number of homes (now demolished) also lined a parallel street to the west.

1.1.040 **The West Kauai Plantation Camp Transect**

The Rural-to-Urban Transect is the organizing principle used in form-based code that establishes a hierarchy from rural to urban. This hierarchy of places is the framework for the County's form-based codes, replacing use as the organizing principle. The traditional Hawaiian ahupua'a has parallels with the Rural-to-Urban Transect, as land use intensity was historically related to the location of the land within the watershed (i.e., mauka areas were typically forested and sparsely populated, while lowland makai areas were used for cultivation and habitation).

Typically, the model transect is divided into six transect zones or T-zones: Natural (T1), Rural (T2), Sub-Urban (T3), General Urban (T4), Urban Center (T5), and Urban Core (T6). Kaua'i only has four transects (T1 to T4). However, the West Kaua'i Plantation Camp Transect is considered a special district due to its unique pattern.

The West Kaua'i Plantation Camp Form-Based Code uses transect zones to reinforce existing character and to create new, compatible neighborhoods. The designation of each zone within a transect is determined by the character and form, development intensity, and place type. Transect zone standards provide a method for differentiating the character of various areas within each community. The zones are primarily classified by the community's grid pattern, the physical intensity of the built form, and the historic nature of the buildings in each area.

Each zone designates a unique area within one of the two distinct communities. They are Kaumakani Village and Kaumakani Avenue.

The West Kauai Plantation Camp Transect Zones:

- A. T3 Kaumakani Village – Plantation Camp (T3KV-PC). This Zone reinforces and maintains the pattern of the established neighborhood with tight massing (building separation), small setbacks and historic buildings. The Kaumakani cottage building type is defined by its height, small Lānai /carport, small footprint, and roof pitch and style.
- B. T3 Kaumakani Village Flex – Plantation Camp (T3KVF-PC). This Zone supports a limited amount of new development that is compatible with the historic neighborhood. New development will provide a transition between the existing rows of Kaumakani cottages and new multifamily, two-story buildings. This will integrate compatible, medium-density residential building types such as a multiplex.
- C. T4 Kaumakani Village Commercial – Plantation Camp (T4KVC-PC). This Zone integrates appropriate commercial, retail, and service uses with civic space.
- D. T3 Kaumakani Avenue – Plantation Camp (T3KA-PC). This Zone preserves the existing and historic residential single-family building types (Avenue Cottage) and the distinct character of the tree-lined avenue with spacious setbacks. Minor infill development is anticipated on previously occupied but vacant areas. The Avenue cottage building type is defined by its height, roof pitch and style.

1.1.040 The West Kauai Plantation Camp Transect

- E. T3 Kaumakani Avenue Flex – Plantation Camp (T3KAF-PC). This Zone supports development at the same intensity of the surrounding neighborhood, which also includes vacant areas that were previously developed.
- F. T3 Kaumakani Avenue Administration – Plantation Camp (T3KAA-PC). This Zone maintains the historical pattern and intensity of the Kaumakani Avenue Administrative Office area while allowing new construction to occur on the site that was previously demolished.

1.1.050 Lack of Lot Lines

Design standards for form-based codes generally promote and facilitate orientation of structures to public roads and civic spaces that facilitate an interface between the private and the public realm. In particular, form-based codes rely on setbacks and build-to-lines in relation to lot lines to orient proposed structures with public areas. Unique to the subject Plantation Camp Form Based Code Transects is that they overlay one large single lot of record. The subject Plantation Camp Transects and their corresponding dwellings and structures are not separated by individual lot lines. Without individual lot lines, the subject Code utilizes building-to-building and building-to-thoroughfare standards to establish the interface between the private and public realm. This approach is unique but necessary to achieve a high-quality public realm inherent within the existing plantation camp environment.

Sub-Article 1.2 Transect Maps

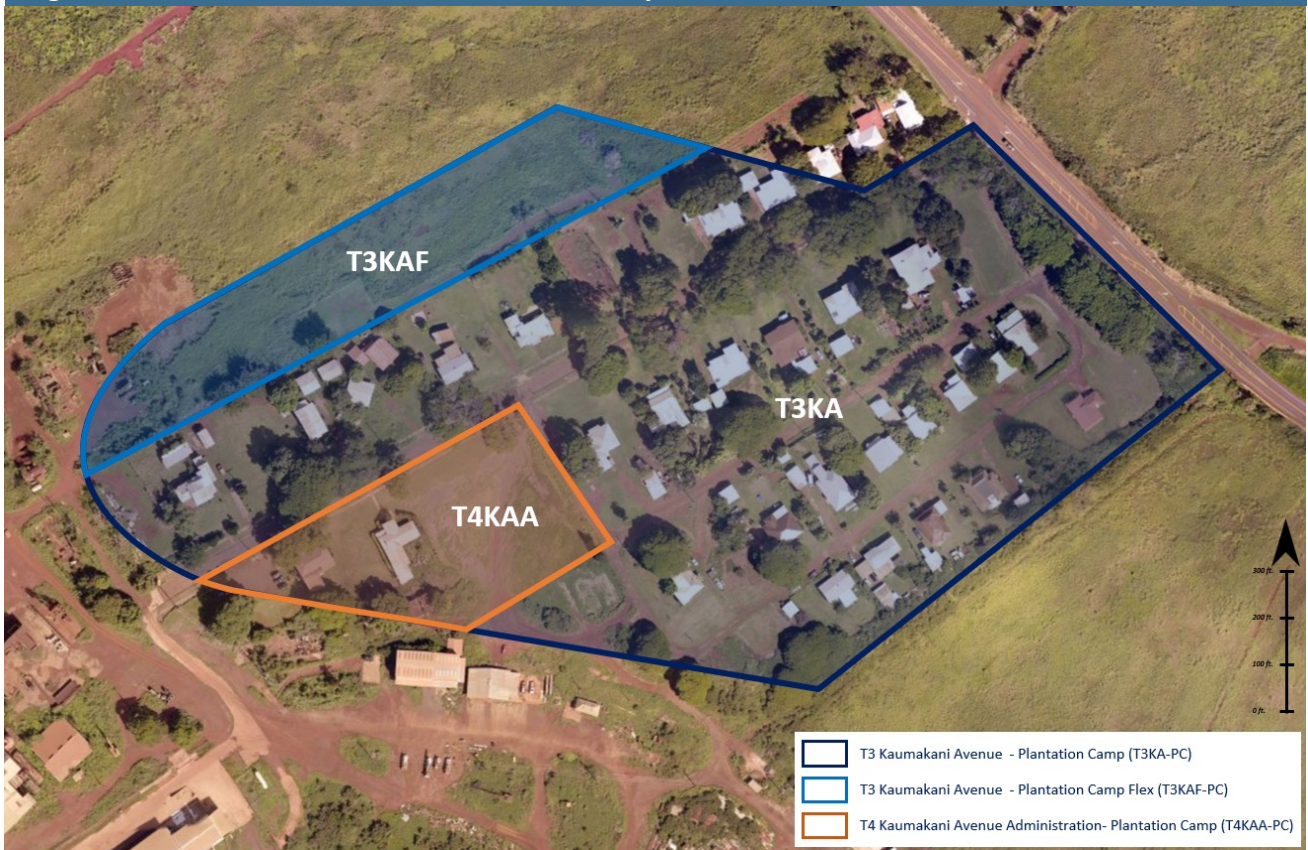
1.2.010 Transect Maps

The transect zones established in this Article are mapped on the Transect Maps on the following pages:

Figure 1.2.010 Kaumakani Village Transect Map



Figure 1.2.020 Kaumakani Avenue Transect Map



Article 2: Transect Descriptions and Building Types

Sub-Article 2.1: Plantation Camp Transect Zone Descriptions 12-26

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2.1.060	T3 Kaumakani Avenue Administration – Plantation Camp (T3KAA-PC)	25-26

2.1.010 T3 Kaumakani Village - Plantation Camp (T3KV-PC)



General note: the illustration above is intended to provide a brief overview of the transect zone and is descriptive in nature.

A. Transect Zone Intent and Description

This transect zone maintains the historical pattern and intensity of the Kaumakani Village while allowing new construction to occur on sites that were previously demolished.

B. Building Types

1. Permissible Building Types Standards

- | | |
|-----------------------------------|---------|
| i. Kaumakani Cottage, Vertical | 2.2.010 |
| ii. Kaumakani Cottage, Horizontal | 2.2.010 |

- With the exception of accessory structures, all other building types are prohibited.

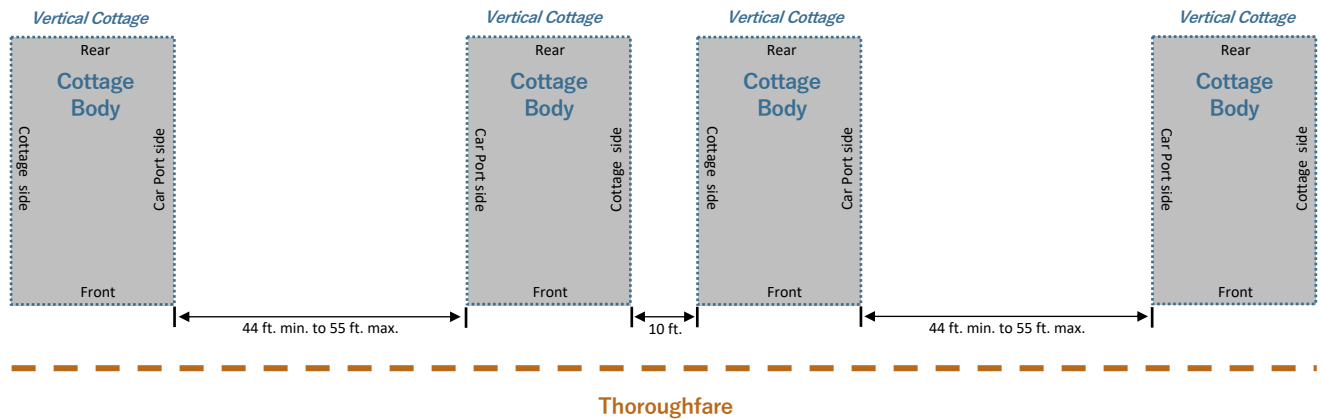
C. Use Table

- | | |
|---------------------|---------------|
| i. Residential Uses | Permitted Use |
| ii. Home Businesses | Permitted Use |

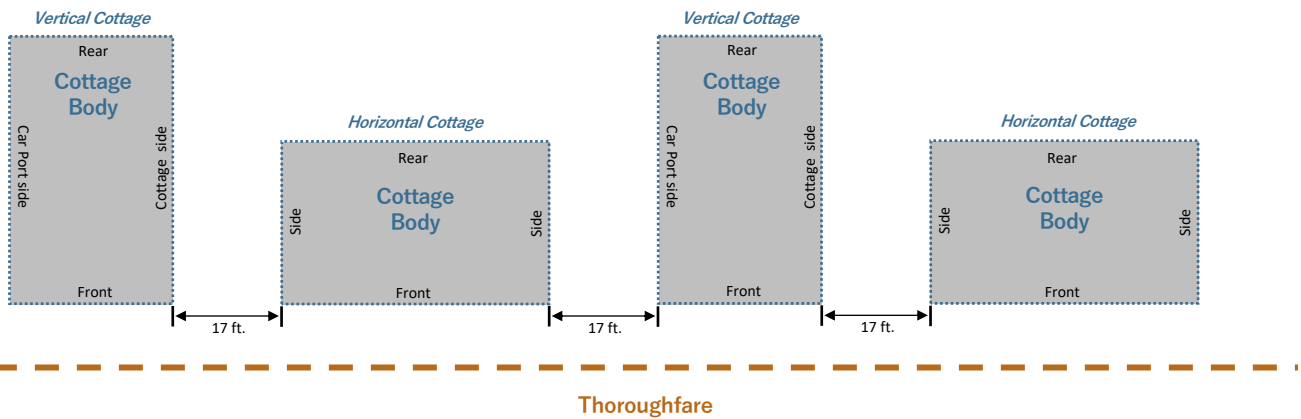
- Residential use within the Kaumakani Cottage building type is the only permissible use within this transect. Home businesses are a permissible residential use within a Kaumakani Cottage. All other uses are prohibited.

T3 Kaumakani Village - Plantation Camp (T3KV-PC)

Kaumakani Village Cottage: Vertical Orientation



Kaumakani Village Cottage: Horizontal Orientation



D. Building Placement

1. Front Thoroughfare Setbacks

- i. The Kaumakani Cottage front shall be set to align with the facade of the body of the front most immediately adjacent cottage’s front.
- ii. Frontages on a Kaumakani Cottage, Horizontal may encroach up to the front thoroughfare.
- iii. When a Cottage is proposed adjacent to more than one thoroughfare the Director shall determine the respective front and side thoroughfares.

D. Building Placement (continued)

2. Side Thoroughfare Setbacks

- i. A Kaumakani Cottage’s side abutting a side thoroughfare shall be set to align with the most immediately adjacent cottage’s side that also abuts the side thoroughfare.
- ii. When a Cottage is proposed adjacent to more than one thoroughfare the Director shall determine the respective front and side thoroughfares.

3. Building-to-Building Setbacks

- a. Horizontal-to-Horizontal Cottage Orientation**
 - i. A Horizontal Cottage’s side walls shall be setback 17 feet minimum from an adjacent Horizontal Cottage’s side walls.

T3 Kaumakani Village - Plantation Camp (T3KV-PC)

D. Building Placement (continued)**3. Building-to-Building Setbacks****b. Vertical-to-Horizontal Cottage Orientation**

- i. A Vertical Cottage's non-carport side wall shall be setback 17 feet minimum from the adjacent Horizontal Cottage's side wall.
- ii. A Vertical Cottage's Carport side wall shall be setback 17 feet minimum from the adjacent Horizontal Cottage's side wall.
- iii. A Horizontal Cottage's side wall shall be setback 17 feet minimum from the adjacent Vertical Cottage's non-carport side wall.
- iv. A Horizontal Cottage's side wall shall be setback 17 feet minimum from the adjacent Vertical Cottage's carport side wall.

c. Vertical-to-Vertical Cottage Orientation

- i. A Vertical Cottage's non-carport side shall be setback 10 feet from an adjacent Vertical Cottage's non-carport side.
- ii. A Vertical Cottage's Carport side shall have a minimum setback of 45 feet or a maximum of 55 feet from an adjacent Vertical Cottage's Carport Side.
- iii. Carports shall encroach into the Cottage's Carport Side to Cottage's Carport Side setback.

4. Additional Building Placement Standards

- i. 10 feet minimum setback from all structures (i.e., from Cottages or other accessory structures).

E. Accessory Structures

- i. Non-habitable accessory structures do not require a building type and shall be located behind the rear of the Kaumakani Cottage body or Lānai Carport.
- ii. Accessory structures are allowed throughout this transect.
- iii. Accessory structures shall not exceed 200 square feet in size.
- iv. Accessory structures shall be limited to no more than two per cottage.

F. Building Form**1. Height**

- i. All structures shall have a maximum height limit of nine feet from the finished floor to the top of wall plate. Up to four additional feet is provided to elevate the structure on post-on-pier.
- ii. Finished grade at main entry shall not be greater than four feet above existing grade.

2. Roof Pitch**a. Cottage**

- i. Roof pitch lines shall be set at a 5:12 ratio.
- ii. Gable roofs are the only permissible roof type.

b. Accessory Structure

- i. Gable, Hip, hip gablet, flat, and single-sloping shed roofs are permissible roof types.

G. Parking**1. Required Spaces**

- i. One off-thoroughfare parking stall is required per Cottage.

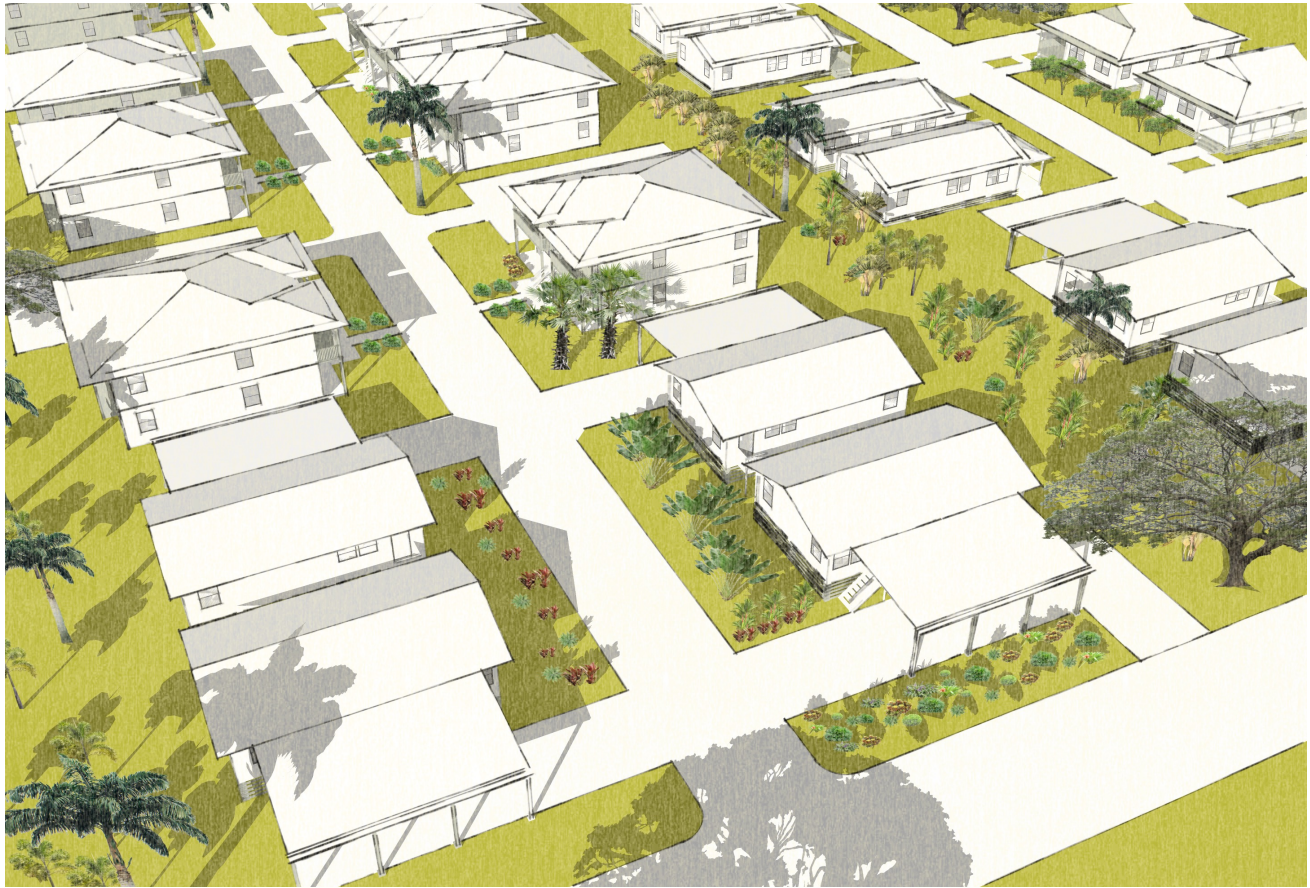
2. Parking Setback

- i. All off-thoroughfare parking areas shall be setback a minimum of 10 feet to the rear of the respective Cottage's building front.

3. Miscellaneous

- i. Garages and detached carports are prohibited.

2.1.020 T3 Kaumakani Village Flex - Plantation Camp (T3KVF-PC)



General note: the illustration above is intended to provide a brief overview of the transect zone and is descriptive in nature.

A. Transect Zone Intent and Description

This transect zone continues the historical pattern and intensity of the West Kauai communities to allow new construction to occur in the southeast quadrant of Kaumakani Village.

B. Building Types

1. Permissible Building Types	Standards
i. Kaumakani Cottage, Vertical	2.2.010
ii. Kaumakani Cottage, Horizontal	2.2.010
iii. House Village	2.2.020
iv. House Cottage	2.2.030
v. Duplex	2.2.040
vi. Multiplex: Small	2.2.050
vii. Dormitory	2.2.090

- With the exception of accessory structures, all other building types are prohibited.

C. Use Table

i. Residential Uses	Permitted Use
ii. Home Businesses	Permitted Use

- Residential use within the above building types is the only permissible use within this transect. Home businesses are a permissible residential use within the above building types. All other uses are prohibited.

T3 Kaumakani Village Flex - Plantation Camp T3KVF-PC)

D. Accessory Structures

- i. Non-habitable accessory structures do not require a building type and shall be located behind the rear of the Building, Wings or Lānai Carport.
- ii. Accessory structures are allowed throughout this transect.
- iii. Accessory structures shall not exceed 200 square feet in size.
- iv. Accessory structures shall be limited to no more than two per building.
- v. There shall be a 10 foot minimum setback from all structures (ie from buildings or other accessory structures).

E. Building Form

1. Height

- i. No building shall be greater than two stories in height maximum.
- ii. All buildings shall be 30 feet maximum in height from the finished grade to the top of the peak of the roof. Up to four additional feet is provided to elevate the structure on post-on-pier.
- iii. Finished grade at main entry shall not be greater than four feet above existing grade.

2. Roof Pitch

All Building Types

- i. Roof pitch lines shall be set at a 5:12 ratio.
- ii. Hip, Hip Gable, or Gable roofs are permissible roof types. Flat or Single-Sloping shed roofs are prohibited on Cottages.

Accessory Structure

- i. Gable, Hip, Hip Gable, Flat, and Single-Sloping shed roofs are permissible roof types.

2.1.040 T4 Kaumakani Village Commercial - Plantation Camp (T4KVC-PC)



General note: the illustration above is intended to provide a brief overview of the transect zone and is descriptive in nature.

A. Transect Zone Intent and Description

This transect zone integrates appropriate commercial, retail, and service uses with civic space.

B. Building Types (Choose one.)

1. Permissible Building Types	Standards
i. Multiplex Small	2.2.050
ii. Multiplex Large	2.2.060
iii. Main Street Mixed Use	2.2.070

- With the exception of accessory structures, all other building types are prohibited.

T4 Kaumakani Village Commercial-Plantation Camp (T4KVC-PC)

C. Use Table		C. Use Table (continued)	
1. Residential		5. Transportation & Infrastructure	
i. Multiple Family Dwelling Units	P	Private and Public Utilities and Facilities	U
ii. Accessory Structures	P	Transportation Terminals and Docks	P
iii. Adult Family Boarding and Family Care Homes	P	6. Telecommunications Facilities	
iv. Home Businesses	P	Communication Facilities	U
v. Dormitories and Boarding Houses	P	7. Key	
vi. Residential Care Homes	P	P	Permitted Use
vii. Adult Family Group Living Home	P	U	Use Permit Required
2. Recreation, Education, & Public Assembly		8. Notes	
i. Public and Private Parks	P	• Any other unlisted use that the Planning Director finds to be similar in nature to those listed in this Section as requiring a Use Permit may also be allowed with a Use Permit in this Transect Zone.	
ii. Mortuaries and Crematoriums	U		
iii. Churches, Temples, and Monasteries Clubs, Lodges, and Community Centers	P		
iv. ≤3,000 square feet	P		
v. >3,000 square feet	U		
vi. Museums, Libraries, and Public Service and Facilities	P		
vii. School	U		
viii. Day-Care Center	P		
ix. Studio: Dance or Exercise	P		
x. Theater	P		
3. Retail			
Bar	U		
Nightclub	U		
Retail Shops and Stores, except with the following features:	P		
Alcoholic beverage sales	P		
On-site Production of Items Sold >5,000 square feet	U		
Floor Area >10,000 square feet	U		
Restaurants and Food Services	P		
4. Services			
Medical and Nursing Facilities	P		
Household Services	P		
Personal Services	P		
Professional Offices	P		
Animal Hospital	U		

T4 Kaumakani Village Commercial- Plantation Camp (T4KVC-PC)

D. Building Placement**1. Front Setback from Civic Space**

- i. There is a 25 foot minimum setback for all structures from the closest civic space.

2. Structure-to-Structure Setback

- i. There is a 10 foot minimum setback between structures.

E. Building Form**1. Height**

- i. No building shall be greater than two stories in height maximum.
- ii. All buildings shall be 35 feet maximum in height from the finished grade to the top of the peak of the roof. Up to four additional feet is provided to elevate the structure on post-on-pier.
- iii. Finished grade at main entry shall not be greater than four feet above existing grade.

2. Roof Pitch**All Building Types**

- i. Roof pitch lines shall be set at a 5:12 ratio.
- ii. Gable, Hip, Hip Gable, Flat, and Single-Sloping shed roofs are permissible roof types.

Accessory Structure

- i. Gable, Hip, Hip Gable, Flat, and Single-Sloping shed roofs are permissible roof types.

F. Accessory Structures

- i. Non-habitable accessory structures do not require a building type and shall be located behind the rear of the respective building.
- ii. Accessory structures are allowed throughout this transect.
- iii. Accessory structures shall not exceed 200 square feet in size.
- iv. Accessory structures shall be limited to no more than five per building.
- v. There shall be a 10 foot minimum setback from all structures (ie from buildings or other accessory structures).

G. Parking**Required Spaces**

- i. For residential use, one parking space for each 1,500 square feet of gross floor space.
- ii. For all other allowed uses, two parking spaces for each 1,000 square feet of gross floor space.

2.1.040 T3 Kaumakani Avenue - Plantation Camp (T3KA-PC)



General note: the illustration above is intended to provide a brief overview of the transect zone and is descriptive in nature.

A. Transect Zone Intent and Description

- This transect zone maintains the historical pattern and intensity of the Kaumakani Avenue while allowing new construction to occur on sites that were previously demolished or do not contribute to the historical integrity of the Avenue area.

B. Building Types (Choose one.)

1. Permissible Building Types Standards

- i. Avenue Cottage 2.2.080

- With the exception of accessory structures, all other building types are prohibited.

C. Use Table

i. Residential Uses	Permitted Use
ii. Home Businesses	Permitted Use

- Residential use within the Avenue Cottage building type is the only permissible use within this transect. Home businesses are a permissible residential use within an Avenue Cottage. All other uses are prohibited.

T3 Kaumakani Avenue - Plantation Camp (T3KA-PC)

D. Building Placement**1. Front Thoroughfare Setbacks**

- i. The Cottage front shall be set to align with the façade of the body of the front most immediately adjacent Cottage's front.
- ii. Any new Cottage is prohibited from not aligning its front with the façade of the front most immediately adjacent Cottage's front.

2. Side Thoroughfare Setbacks

- i. The Cottage's side shall be set to align with the most immediately adjacent Cottage's side street side.

3. Building-to-Building Setbacks

- i. There is a 40 foot minimum setback between Cottages.

4. Additional Building Placement Standards

- i. Fences and encroachments are prohibited in the front setback area.

E. Building Form**1. Height**

- i. All structures shall have a maximum height limit of nine feet from the finished floor to the top of wall plate. Up to four additional feet provided to elevate the structure on post-on-pier.
- ii. Finished grade at main entry shall not be greater than four feet above existing grade.

2. Roof Pitch**a. All Building Types**

- i. Hip, Hip Gable, or Gable roofs are permissible roof types. Flat or Single-Sloping shed roofs are prohibited on Cottages.

b. Accessory Structure

- i. Gable, Hip, Hip Gable, Flat, and Single-Sloping shed roofs are permissible roof types.

F. Accessory Structures

- i. Non-habitable accessory structures do not require a building type and shall be located behind the rear of the Kaumakani Avenue Cottage body or Lānai Carport.
- ii. Accessory structures are allowed throughout this zone.
- iii. Accessory structures shall not exceed 250 square feet in size.
- iv. Accessory structures shall be limited to no more than three per Cottage.
- v. There is a 10 foot minimum setback for accessory structures (ie from Cottages or other accessory structures).

G. Parking**1. Required Spaces**

- i. Two off-thoroughfare parking stalls are required per Cottage.

2. Parking Setback

- i. All off-thoroughfare parking areas shall be setback a minimum of 10 feet to the rear of the respective Cottage's building front.

2.1.050 T3 Kaumakani Avenue Flex - Plantation Camp (T3KAF-PC)



General note: the illustration above is intended to provide a brief overview of the transect zone and is descriptive in nature.

A. Transect Zone Intent and Description

This transect zone continues the historical pattern and intensity of the Kaumakani Avenue to allow new construction to occur in a previously occupied but currently vacant land west of the existing Avenue area.

B. Building Types (Choose one.)

1. Permissible Building Types Standards

- i. Avenue Cottage 2.2.080
- With the exception of accessory structures, all other building types are prohibited.

C. Use Table

i. Residential Uses	Permitted Use
ii. Home Businesses	Permitted Use
<ul style="list-style-type: none"> • Residential use within the Avenue Cottage building type is the only permissible use within this transect. Home businesses are a permissible residential use within an Avenue Cottage. All other uses are prohibited. 	

T3 Kaumakani Avenue Flex - Plantation Camp (T3KAF-PC)

D. Building Placement**1. Front Thoroughfare Setbacks**

- i. There is a 30 foot minimum setback from the front thoroughfare.

2. Side Thoroughfare Setbacks

- i. There is a 30 foot minimum setback from the side thoroughfare.

3. Building-to-Building Setbacks

- i. There is a 40 foot minimum setback between cottages.

4. Additional Building Placement Standards

- i. Fences and encroachments are prohibited in the front setback area.

E. Building Form**1. Height**

- i. All structures shall have a maximum height limit of nine feet from the finished floor to the top of wall plate. Up to four additional feet provided to elevate the structure on post-on-pier.
- ii. Finished grade at main entry shall not be greater than four feet above existing grade.

2. Roof Pitch**a. All Building Types**

- i. Hip, Hip Gable, or Gable roofs are permissible roof types. Flat or Single-Sloping shed roofs are prohibited on Cottages.

b. Accessory Structure

- i. Gable, Hip, Hip Gable, Flat, and Single-Sloping shed roofs are permissible roof types.

F. Accessory Structures

- i. Non-habitable accessory structures do not require a building type and shall be located behind the rear of the Kaumakani Avenue Cottage body or Lānai Carport.
- ii. Accessory structures are allowed throughout this zone.
- iii. Accessory structures shall not exceed 250 square feet in size.
- iv. Accessory structures shall be limited to no more than three per cottage.
- v. There is a 10 foot minimum setback for accessory structures (i.e.,e from Cottages or other accessory structures).

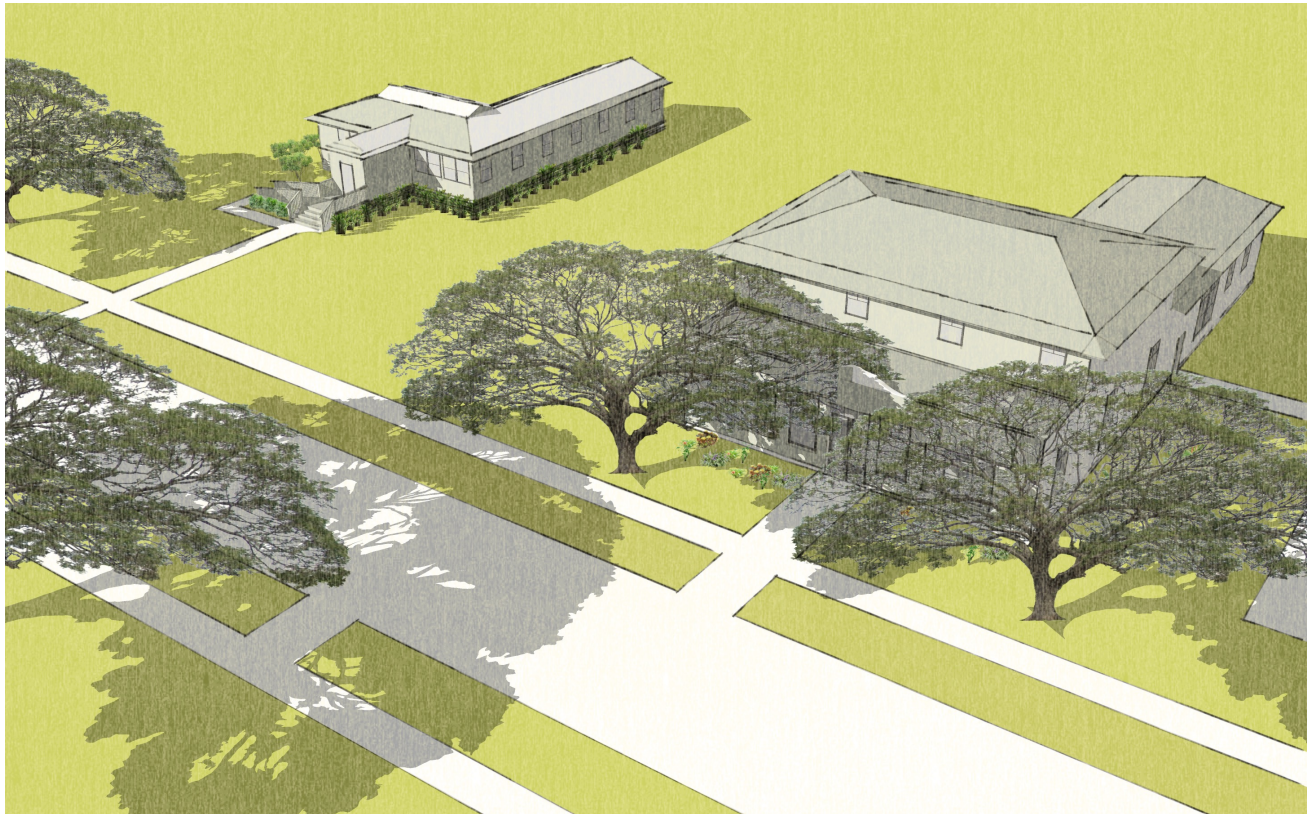
G. Parking**1. Required Spaces**

- i. Two off-thoroughfare parking stalls are required per Cottage.

2. Parking Setback

- i. All off-thoroughfare parking areas shall be setback a minimum of 10 feet to the rear of the respective Cottage's building front.

2.1.060 T3 Kaumakani Avenue Administration - Plantation Camp (T3KAA-PC)



General note: the illustration above is intended to provide a brief overview of the transect zone and is descriptive in nature.

A. Transect Zone Intent and Description

- This transect zone maintains the historical pattern and intensity of the Kaumakani Avenue Administrative Office area while allowing new construction to occur on previously demolished sites.

B. Building Types (Choose one.)

1. Permissible Building Types Standards

i. Avenue Cottage	2.2.080
ii. Administrative Building	2.2.090
iii. Dormitory	2.2.100

- With the exception of accessory structures, all other building types are prohibited.

C. Use Table

i. Administrative Office	Permitted Use
ii. Dormitory	Permitted Use
iii. Residential Uses	Permitted Use
iv. Medical & Nursing Facilities	Permitted Use
v. Professional Offices	Permitted Use
vi. Day-Care Center	Permitted Use
vii. Museums, Libraries, and Public Service and Facilities	Permitted Use

- With the exception of the permitted uses listed above, all other uses are prohibited.

T3 Kaumakani Avenue Administration - Plantation Camp (T3KAA-PC)

D. Building Placement**1. Front Thoroughfare Setbacks**

- i. The building's front shall be set to align with the façade of the body of the front most immediately adjacent building's front.
- ii. Any new building is prohibited from not aligning its front with the façade of the front most immediately adjacent building's front.

2. Side Thoroughfare Setbacks

- i. The building's side shall be set to align with the most immediately adjacent building's side street side.

3. Building-to-Building Setbacks

- i. There is a 20 foot minimum setback between building's.

E. Building Form**1. Height**

- i. No building shall be greater than two stories in height maximum.
- ii. All buildings shall be 30 feet maximum in height from the finished grade to the top of the peak of the roof. Up to four additional feet provided to elevate the structure on post-on-pier.
- iii. Finished grade at main entry shall not be greater than four feet above existing grade.

F. Accessory Structures

- i. Non-habitable accessory structures do not require a building type and shall be located behind the rear of the respective building type.
- ii. Accessory structures are allowed throughout this zone.
- iii. Accessory structures shall not exceed 250 square feet in size.
- iv. Accessory structures shall be limited to no more than two for each respective building.
- v. There is a 10 foot minimum setback for accessory structures (ie from Cottages or other accessory structures).

G. Parking**1. Required Spaces**

- i. Dormitories shall provide a minimum of one stall per 1,500 square feet of gross floor space.
- ii. All other allowed uses shall provide a minimum of one stall per 1,000 square feet of gross floor space.

2. Parking Setback

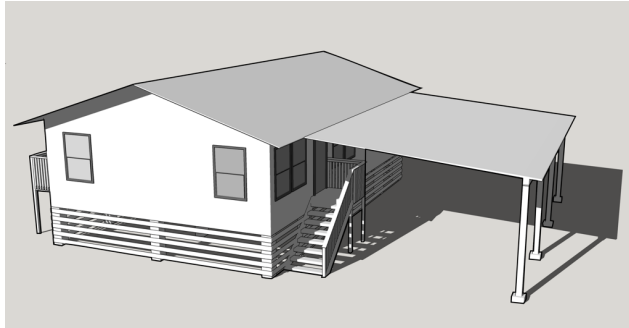
- i. All off-thoroughfare parking areas shall be setback a minimum of 10 feet from the rear of the respective building's front.

Article 2: Transect Descriptions and Building Types

Sub-Article 2.2: Plantation Camp Building Types 27-37

2.2.010	Kaumakani Village Cottage	28
2.2.020	House Village	29
2.2.030	House Cottage	30
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2.2.100	Dormitory	37

2.2.010 Kaumakani Village Cottage



General note: the illustration above is intended to provide a brief overview of the building type and is descriptive in nature.

A. Description

Kaumakani Cottage: This building type is a small detached residential structure. There are two types of Kaumakani Cottages: Kaumakani Cottage, Vertical and Kaumakani Cottage, Horizontal.

B. Building Size and Massing

1. Massing

- i. The Kaumakani Cottage shall have one main body section.
- ii. No more than one main body is permissible for each Kaumakani Cottage.
- iii. Except for Lānai Carports, up to two stoops, and one mechanical equipment storage area is allowed.

2. Main Body

- i. The width of the main body shall be 25 feet.
- ii. The depth of the main body shall be 41 feet.

C. Siding

- i. Except for foundations and posts, all siding material shall be wood-based material.
- ii. All siding shall be vertically aligned.

D. Height

- i. The Kaumakani Cottage shall have a nine feet maximum height limitation from finished floor to top of wall plate.
- ii. Up to four additional feet is permissible to elevate the Cottage on post-on-pier.

E. Lanai Carports

1. Kaumakani Cottage, Vertical

For Kaumakani Cottages that are vertically aligned perpendicular to the thoroughfare, the following rules apply:

- i. One attached Lānai carport is required. Additional attached Lānai carports are prohibited.
- ii. The Lānai carport shall be located on the Carport Side of the Kaumakani Cottage. The Lānai carport shall not be located in the front or rear of the Cottage.
- iii. The Lānai carport shall be located in line with or to the rear of the exterior body's front wall.
- iv. The Lānai carport shall be located in line with or in front of the exterior body's rear wall.
- v. The Lānai carport shall have a minimum width of 10 ft.

2. Kaumakani Cottage, Horizontal

For Kaumakani Cottages that are horizontally aligned with the thoroughfare, the following rules apply:

- i. One attached lanai carport is required. Up to two Lānai carports are permissible.
- ii. The Lānai carport shall be located on either the front or rear of the Cottage.
- iii. The Lānai carport shall not extend beyond each of the Cottage's respective side walls.
- iv. The Lānai carport shall have a minimum depth of 10 ft.

F. Building Frontages

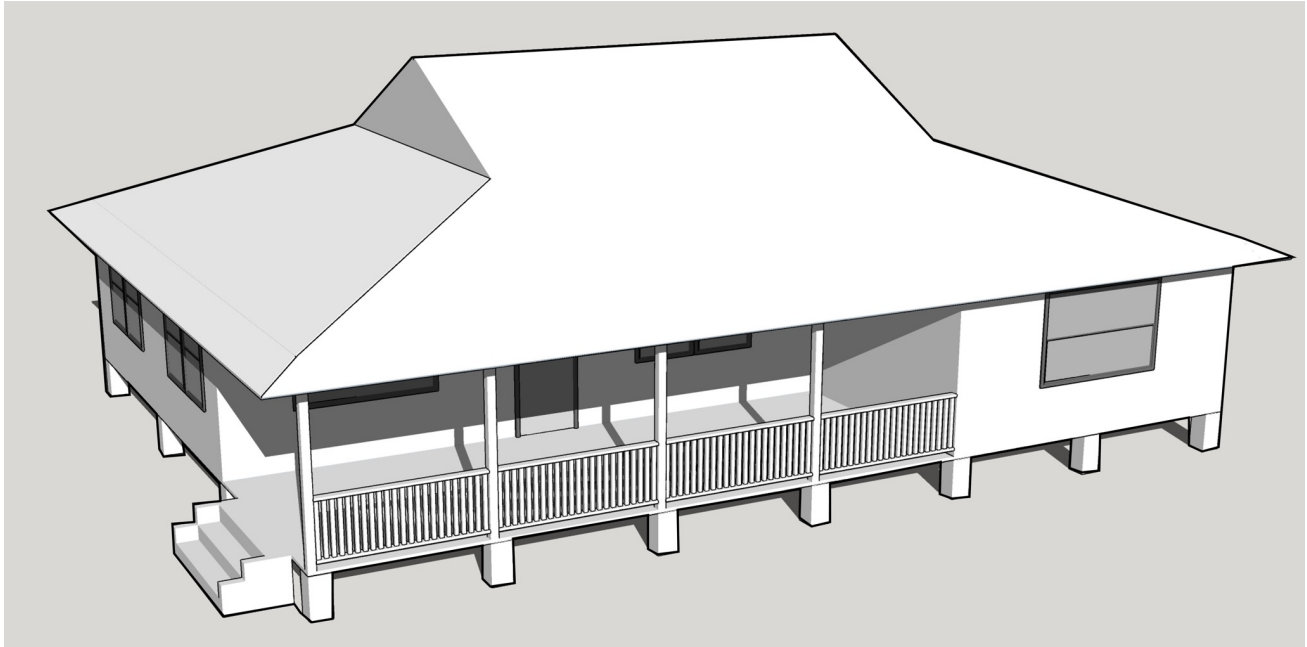
1. Vertical Cottage

- i. A Vertical Cottage shall have a Front Yard. All other frontage types are prohibited.

2. Horizontal Cottage

- i. A Horizontal Cottage that does not have a Lānai carport located at the front of the body shall have one frontage type. The permissible frontage types are: Lānai, Projecting; Lānai, Engaged; and Stoop. All other frontage types are prohibited.

2.2.020 House Village



General note: the illustration above is intended to provide a brief overview of the building type and is descriptive in nature.

A. Description

House Village: This Building Type is a medium sized detached structure. It is typically located within a primarily single-family residential neighborhood in a walkable urban setting potentially near a neighborhood main street.

B. Building Size and Massing

1. Massing

- i. A House Village shall have one main body.
- ii. No more than one main body is permissible for each House Village.
- iii. A House Village may have a maximum of two wings attached to the main body.
- iv. Wings shall not be attached to each other.

2. Main Body

- i. The width of the main body shall be no more than 50 feet maximum.
- ii. The depth of the main body shall be no more than 40 feet maximum.

3. Wing(s)

- i. The width of the wing shall be no more than 30 feet maximum.
- ii. The depth of the wing shall be no more than 30 feet maximum.
- iii. Where multiple wings are proposed, each wing shall have at least 10 feet of separation from each other respective wing.

C. Building Frontages

- i. A House Village shall have at least one frontage type. The permissible frontage types are: Lānai, Projecting; Lānai, Engaged; and Stoop. All other frontage types are prohibited.

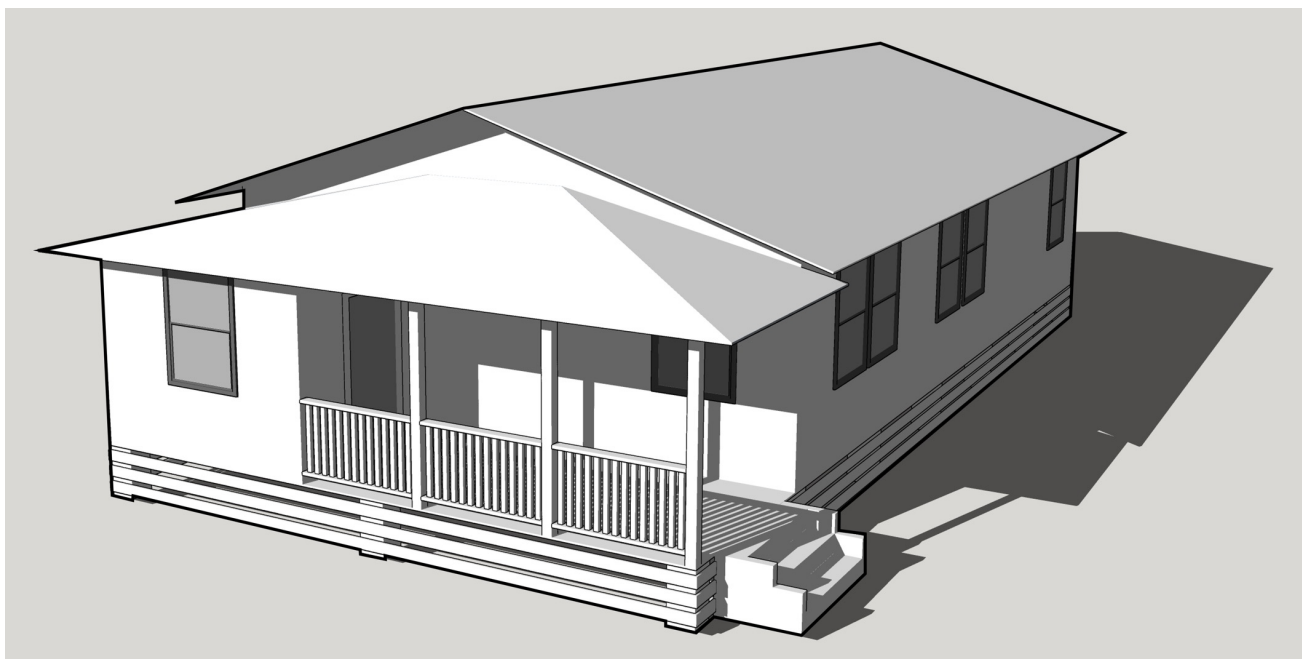
D. Pedestrian Access

- i. Main entrance location shall be located in the front of the House Village.

E. Vehicle Access and Parking

- i. Parking may be accessed from the front only when there is no adjacent alley or side street.

2.2.030 House Cottage



General note: the illustration above is intended to provide a brief overview of the building type and is descriptive in nature.

A. Description

House Cottage: This Building Type is a small detached structure. It is typically located within a primarily single-family neighborhood in a walkable urban setting, potentially near a neighborhood main street. This Type enables appropriately well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

B. Building Size and Massing

1. Massing

- i. A House Cottage shall have one main body.
- ii. No more than one main body is permissible for each House Cottage.
- iii. A House Cottage may have a maximum of two wings attached to the main body.
- iv. Wings shall not be attached to each other.

2. Main Body

- i. The width of the main body shall be no more than 36 feet maximum.
- ii. The depth of the main body shall be no more than 36 feet maximum.

B. Building Size and Massing (continued)

3. Wing(s)

- i. The width of the wing shall be no more than 20 feet maximum.
- ii. The depth of the wing shall be no more than 20 feet maximum.
- iii. Where multiple wings are proposed, each wing shall have at least 10 feet of separation from each other respective wing.

C. Building Frontages

- i. A House Cottage shall have at least one frontage type. The permissible frontage types are: Lānai, Projecting; Lānai, Engaged; and Stoop. All other frontage types are prohibited.

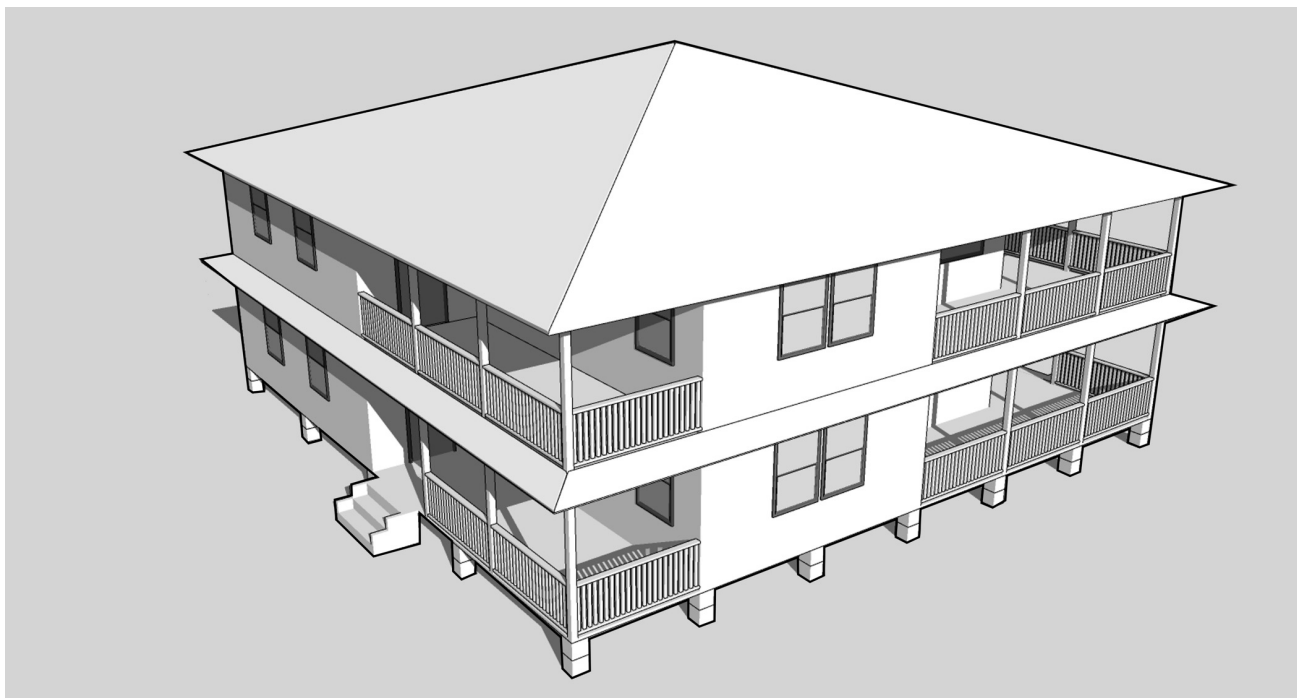
D. Pedestrian Access

- i. Main entrance location shall be located in the front of the House Cottage.

E. Vehicle Access and Parking

- i. Parking may be accessed from the front only when there is no adjacent alley or side street.

2.2.040 Duplex



General note: the illustration above is intended to provide a brief overview of the building type and is descriptive in nature.

A. Description

Duplex: This Building type is a small-to-medium sized structure that consist of two side-by-side or stacked dwelling units, both facing the street and sharing one common party wall. This type has the appearance of a medium to large single-family home and is appropriately scaled to fit within primarily single-family neighborhoods or medium density neighborhoods. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

B. Building Size and Massing

1. Massing

- i. A Duplex shall have one main body.
- ii. No more than one main body is permissible for each Duplex.
- iii. A Duplex may have a maximum of two wings attached to the main body.
- iv. Wings shall not be attached to each other.

2. Main Body

- i. The width of the main body shall be no more than 48 feet maximum.
- ii. The depth of the main body shall be no more than 40 feet maximum.

B. Building Size and Massing (continued)

3. Wing(s)

- i. The width of the wing shall be no more than 15 feet maximum.
- ii. The depth of the wing shall be no more than 20 feet maximum.
- iii. Where multiple wings are proposed, each wing shall have at least 10 feet of separation from each other respective wing.

C. Building Frontages

- i. A Duplex shall have at least one frontage type per unit. The permissible frontage types are: Lānai, Projecting; Lānai, Engaged; and Stoop. All other frontage types are prohibited.

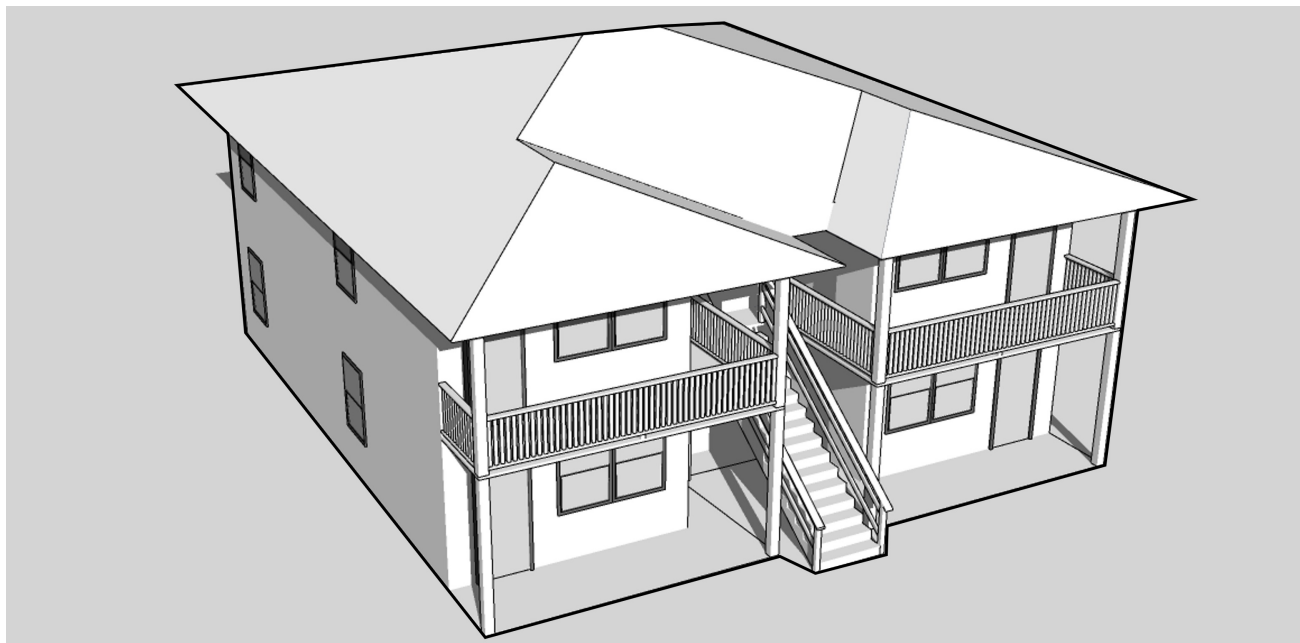
D. Pedestrian Access

- i. Main entrances' locations shall be located in the front of the Duplex.
- ii. Each unit shall have an individual street-facing entry on the front façade.

E. Vehicle Access and Parking

- i. Parking may be accessed from the front only when there is no adjacent alley or side street

2.2.050 Multiplex Small



General note: the illustration above is intended to provide a brief overview of the building type and is descriptive in nature.

A. Description

Multiplex Small: This Building type is a medium structure that consists of three to six side-by-side and/or stacked dwelling units, typically with one shared entry or individual entries along the front. This type has the appearance of a medium-sized family home and is appropriately scaled to fit in sparingly within primarily single-family neighborhoods or into medium-density neighborhoods. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

B. Number of Units

- i. The minimum number of units in a Multiplex Small building is three.
- ii. The maximum number of units in a Multiplex Small building is six.

B. Building Size and Massing

1. Massing

- i. A Multiplex Small building shall have one main body.
- ii. No more than one main body is permissible for each Multiplex Small building.
- iii. Wings shall not be attached to each other.

B. Building Size and Massing (continued)

2. Main Body

- i. The width of the main body shall be no more than 48 feet maximum.
- ii. The depth of the main body shall be no more than 36 feet maximum.

3. Wing(s)

- i. The width of the wing shall be no more than 24 feet maximum.
- ii. The depth of the wing shall be no more than 24 feet maximum.
- iii. Where multiple wings are proposed, each wing shall have at least 10 feet of separation from each other respective wing.

C. Building Frontages

- i. A Multiplex Small building shall have at least one frontage type. The permissible frontage types are: Lānai, Projecting; Lānai, Engaged; and Stoop. All other frontage types are prohibited.

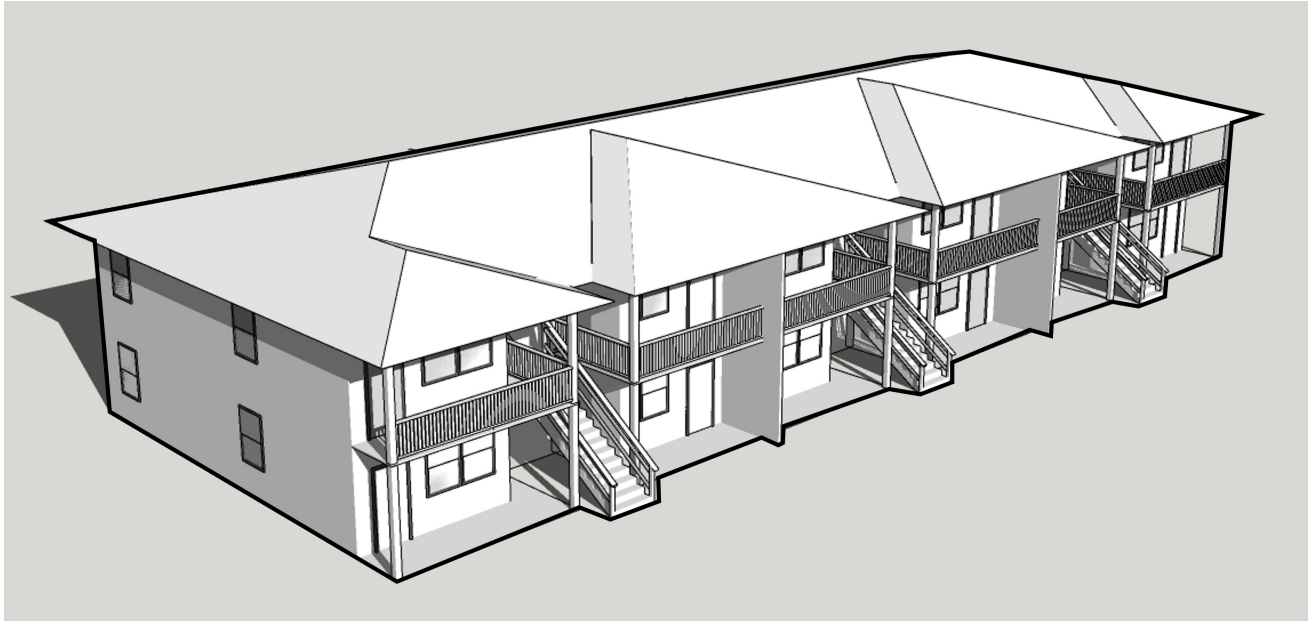
D. Pedestrian Access

- i. Main entrances' locations shall be located in the front of the Multiplex Small building.

E. Vehicle Access and Parking

- i. Parking may be accessed from the front only when there is no adjacent alley or side street.

2.2.060 Multiplex Large



General note: the illustration above is intended to provide a brief overview of the building type and is descriptive in nature.

A. Description

Multiplex Large: This Building type is a medium-to-large sized structure that consists of multiple side-by-side and/or stacked dwelling units accessed from a courtyard or series of courtyards. Each unit may have its own individual entry, or up to three units may share a common entry. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

B. Number of Units

- i. The minimum number of units in a Multiplex Large building is seven.
- ii. The maximum number of units in a Multiplex Large building is 18.

C. Building Size and Massing

1. Massing

- i. A Multiplex Small building shall have one main body.
- ii. No more than one main body is permissible for each Multiplex Small building.
- iii. Wings shall not be attached to each other.

B. Building Size and Massing (continued)

2. Main Body

- i. The width of the main body shall be no more than 150 feet maximum.
- ii. The depth of the main body shall be no more than 65 feet maximum.

3. Wing(s)

- i. The width of the wing shall be no more than 150 feet maximum.
- ii. The depth of the wing shall be no more than 65 feet maximum.
- iii. Where multiple wings are proposed, each wing shall have at least 10 feet of separation from each other respective wing.

D. Building Frontages

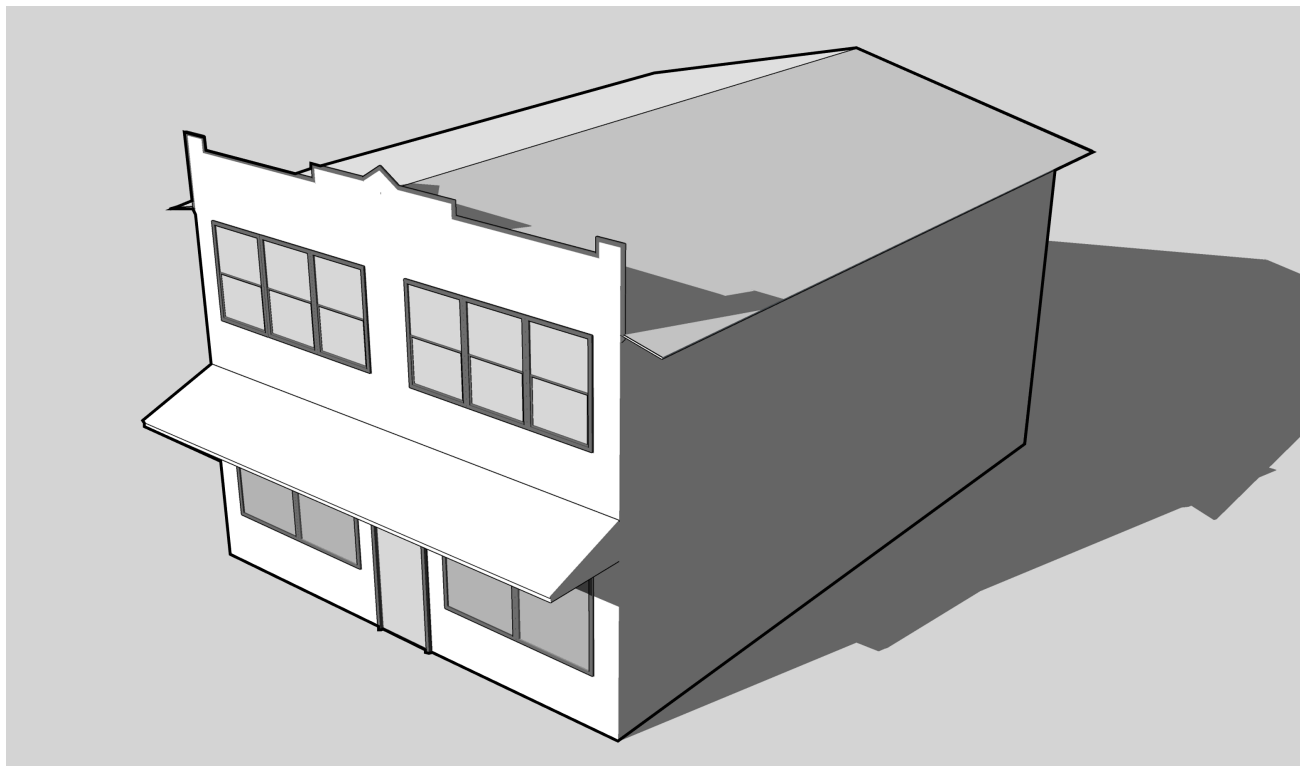
- i. A Multiplex Large building shall have at least one frontage type. The permissible frontage types are: Lānai, Projecting; Lānai, Engaged; Stoop; and Shopfront. All other frontage types are prohibited.

E. Pedestrian Access

- i. Main entrances' locations shall be located in the front of the Multiplex Large.

F. Vehicle Access and Parking

- i. Parking may be accessed from the front only when there is no adjacent alley or side street.



General note: the illustration above is intended to provide a brief overview of the building type and is descriptive in nature.

A. Description

Main Street Mixed-Use: This Building type is a small-to-medium-sized structure, typically attached, intended to provide a vertical mix of uses with ground-floor, commercial, services, or residential uses. On Kaua'i this type typically includes balconies that shade the sidewalk. Smaller versions of the type include live/work units. This type makes up the primary component of a neighborhood main street and portions of a downtown main street, therefore being a key component to providing walkability.

B. Building Size and Massing

1. Massing

- i. A Main Street Mixed Use building shall have one main body.
- ii. No more than one main body is permissible for each Main Street Mixed Use building.
- iii. Wings shall not be attached to each other.

2. Main Body

- i. The width of the main body shall be no more than 150 feet maximum.
- ii. The depth of the main body shall be no more than 40 feet maximum.

B. Building Size and Massing (continued)

3. Wing(s)

- i. The width of the wing shall be no more than 150 feet maximum.
- ii. The depth of the wing shall be no more than 40 feet maximum.
- iii. Where multiple wings are proposed, each wing shall have at least 10 feet of separation from each other respective wing.

C. Building Frontages

- i. A Main Street Mixed Use building shall have a Shopfront frontage. All other frontage types are prohibited.

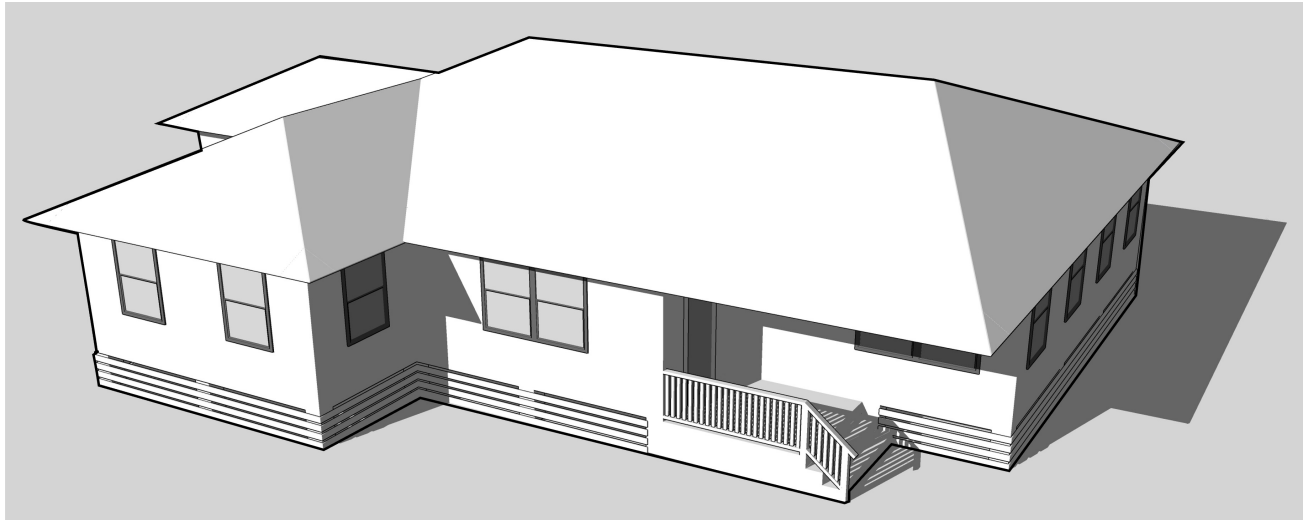
D. Pedestrian Access

- i. Main entrances' locations shall be located in the front of the Main Street Mixed Use building.

E. Vehicle Access and Parking

- i. Parking may be accessed from the front only when there is no adjacent alley or side street.

2.2.080 Kaumakani Avenue Cottage



General note: the illustration above is intended to provide a brief overview of the building type and is descriptive in nature.

A. Description

Avenue Cottage: This building type is a medium-sized detached residential structure.

B. Building Size and Massing

1. Massing

- i. Avenue Cottage shall have one main body section.
- ii. No more than one main body is permissible for each Avenue Cottage.
- iii. An Avenue Cottage may have multiple wings attached to the main body.
- iv. Wings shall not be attached to each other.

2. Main Body

- i. The width of the main body shall not be greater than 40 feet.
- ii. The depth of the main body shall not be greater than 40 feet.

3. Wing(s)

- i. The width of the wing shall not be greater than 20 feet.
- ii. The depth of the wing shall not be greater than 20 feet.
- iii. Where multiple wings are proposed, each wing shall have at least 10 feet of separation from each other respective wing.

C. Building Frontages

- i. A Kaumakani Avenue Cottage shall have at least one frontage type. The permissible frontage types are: Lānai, Projecting; Lānai, Engaged; and Stoop. All other frontage types are prohibited.

D. Pedestrian Access

- i. Main entrances' locations shall be located in the front of the Kaumakani Avenue Cottage.

E. Foundations

- i. At least 50 percent of the cottage shall be post-on-pier.

F. Fenestration

- i. All windows shall be double hung.

G. Siding

- i. Except for foundations and posts, all siding material shall be wood-based material.
- ii. All siding shall be vertically aligned.

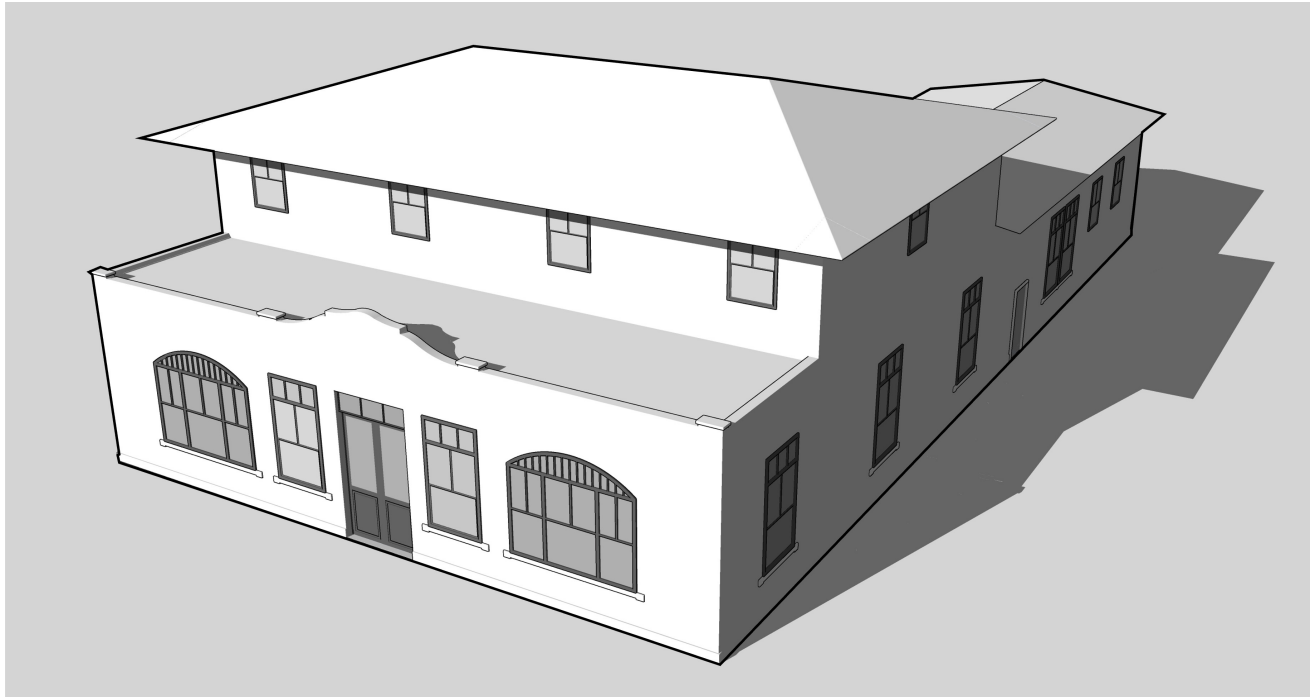
H. Height

- i. The Kaumakani Avenue Cottage shall have a nine feet maximum height limitation from finished floor to top of wall plate.
- ii. Up to four additional feet is permissible to elevate the Cottage on post-on-pier.

I. Roof Pitch

- i. Hip, hip-gablet, and gable roofs are permissible roof types.
- ii. Flat or single-sloping shed roofs are prohibited on cottages.

2.2.090 Kaumakani Avenue Administrative Building



General note: the illustration above is intended to provide a brief overview of the building type and is descriptive in nature.

A. Description

Administration Building: This building type is a large-sized detached structure used for offices.

B. Building Size and Massing

1. Massing

- i. A Administration Building shall have one main body.
- ii. No more than one main body is permissible for each Administration Building.
- iii. An Administration Building shall have no more than one wing.

2. Main Body

- i. The width of the main body shall not be greater than 56 feet.
- ii. The depth of the main body shall not be greater than 45 feet.

3. Wing(s)

- i. The width of the wing shall not be greater than 21 feet.
- ii. The depth of the wing shall not be greater than 51 feet.

C. Building Frontages

- i. The Administration Building shall have at least one frontage type. The permissible frontage type is Shopfront. All other frontage types are prohibited.

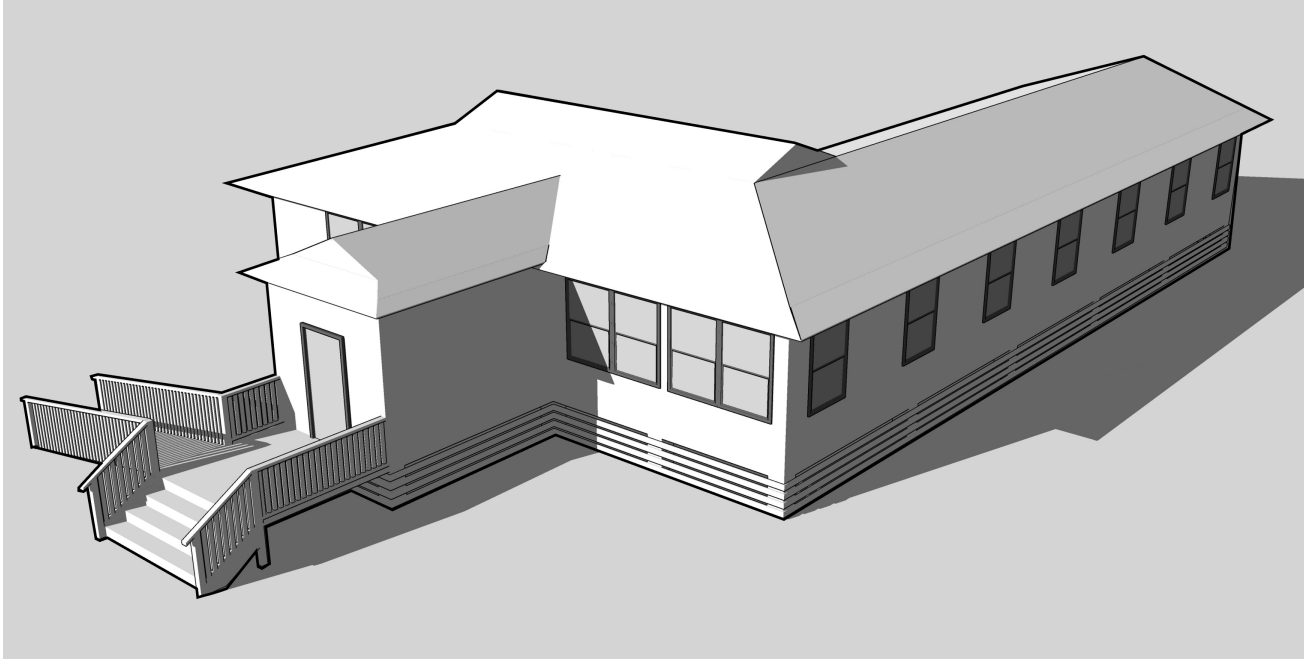
D. Pedestrian Access

- i. Main entrances' locations shall be located in the front of the Kaumakani Avenue Administrative Building.

E. Fenestration

- i. All windows shall be double hung.

2.2.100 Dormitory



General note: the illustration above is intended to provide a brief overview of the building type and is descriptive in nature.

A. Description

Dormitory: This building type is a medium-sized detached residential structure for Boarding or Administrative purposes.

B. Building Size and Massing

1. Massing

- i. A Dormitory shall have one main body.
- ii. No more than one main body is permissible for each Dormitory building type.
- iii. A Dormitory may have a maximum of two wings attached to the main body.
- iv. Wings shall not be attached to each other.

2. Main Body

- i. The width of the main body shall not be greater than 62 feet.
- ii. The depth of the main body shall not be greater than 89 feet.

3. Wing(s)

- i. The width of the wing shall not be greater than 26 feet.
- ii. The depth of the wing shall not be greater than 52 feet.

C. Building Frontages

- i. The Dormitory shall have a Lānai, Projecting. All other frontage types are prohibited.

D. Pedestrian Access

- i. Main entrances' locations shall be located in the front of the Kaumakani Avenue Administrative Building.

E. Foundations

- i. At least 50 percent of the cottage shall be post-on-pier.

F. Fenestration

- i. All windows shall be double hung.

G. Siding

- i. Except for foundations and posts, all siding material shall be wood-based material.
- ii. All siding shall be vertically aligned.

H. Height

- i. The Dormitory shall have a nine feet maximum height limitation from finished floor to top of wall plate.
- ii. Up to four additional feet is permissible to elevate the Dormitory on post-on-pier.

I. Roof Pitch

- i. Hip, hip-gablet, and gable roofs are permissible roof types.
- ii. Flat or single-sloping shed roofs are prohibited on cottages.

Article 2: Transect Descriptions and Building Types

Sub-Article 2.3: Kaumakani Village Building Type Frontages		38-41
2.3.010	Front Yard	39
2.3.020	Lānai, Projecting	39
2.3.030	Lānai, Engaged	40
2.3.040	Stoop	40
2.3.050	Shopfront	41

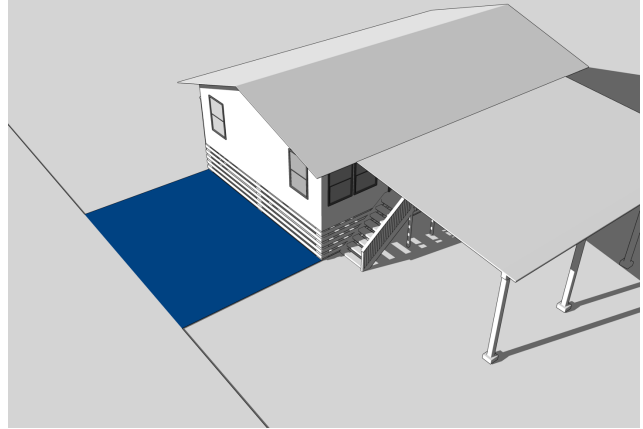
2.3.010 Front Yard

A. Description

The main façade of the building has a large planted setback providing a buffer from the street. The yard may be fenced or unfenced.

B. Size

- i. The depth of the front yard shall be a minimum of 10 feet.



2.3.020 Lānai, Projecting

A. Description

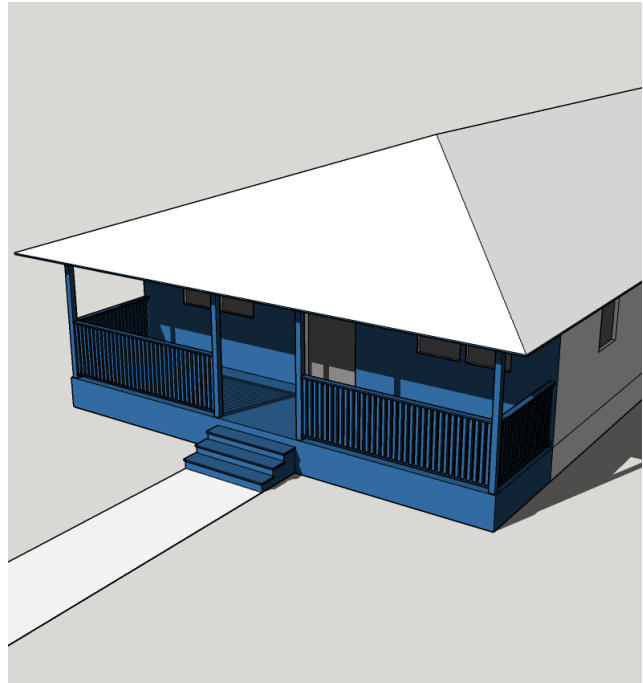
Lānai, Projecting: The main façade of the building has a small to medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The Lānai, Projecting is open on three sides.

B. Size

- i. The width of the Lānai shall be a minimum of 10 feet.
- ii. The depth of the Lānai shall be a minimum of eight feet.
- iii. The height of the Lānai shall be a minimum of eight feet.

C. Miscellaneous

- i. Any Lānai, Projecting must have a roof.



2.3.030 Lānai, Engaged

A. Description

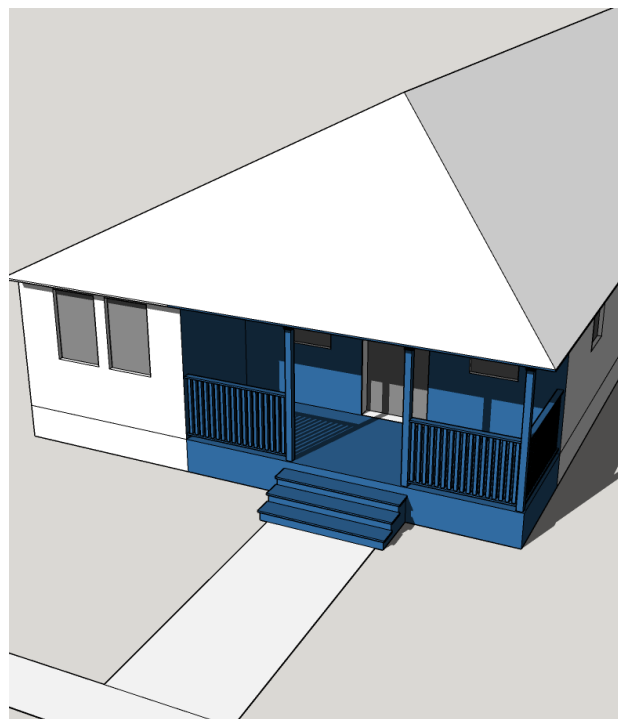
Lānai, Engaged: The main façade of the building has a small to medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The Lānai, Engaged has two adjacent sides of the Lānai that are engaged to the building while the other two sides are open.

B. Size

- i. The width of the Lānai shall be a minimum of 10 feet.
- ii. The depth of the Lānai shall be a minimum of eight feet.
- iii. The height of the Lānai shall be a minimum of eight feet.

C. Miscellaneous

- i. Any Lānai, Engaged must have a roof.



2.3.040 Stoop

A. Description

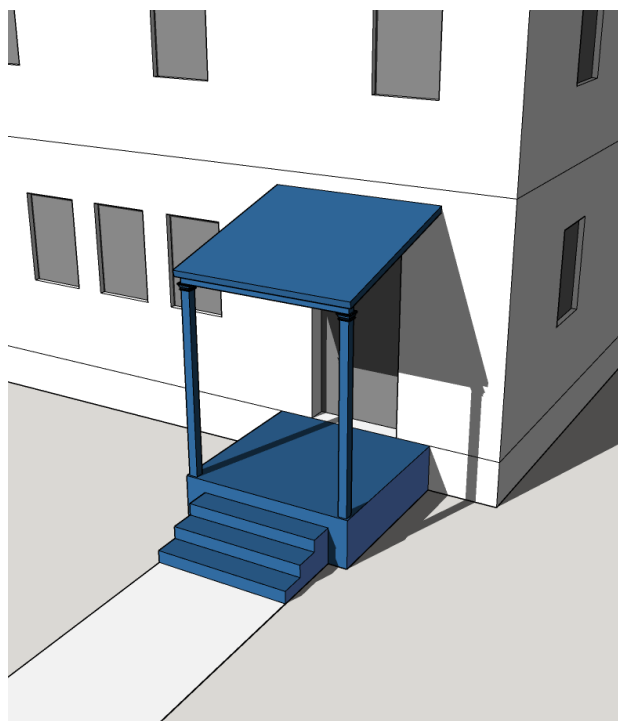
Stoop: The main façade of the building is near the frontage line. This type is appropriate for residential uses with small setbacks.

B. Size

- i. The width of the stoop shall be a minimum of five feet and maximum of eight feet.
- ii. The depth of the stoop shall be a minimum of five feet and maximum of eight feet.
- iii. The height of the stoop shall be a minimum of eight feet.

C. Miscellaneous

- i. The entry door shall be covered or recessed to provide shelter from the elements.



2.3.050 Shopfront

A. Description

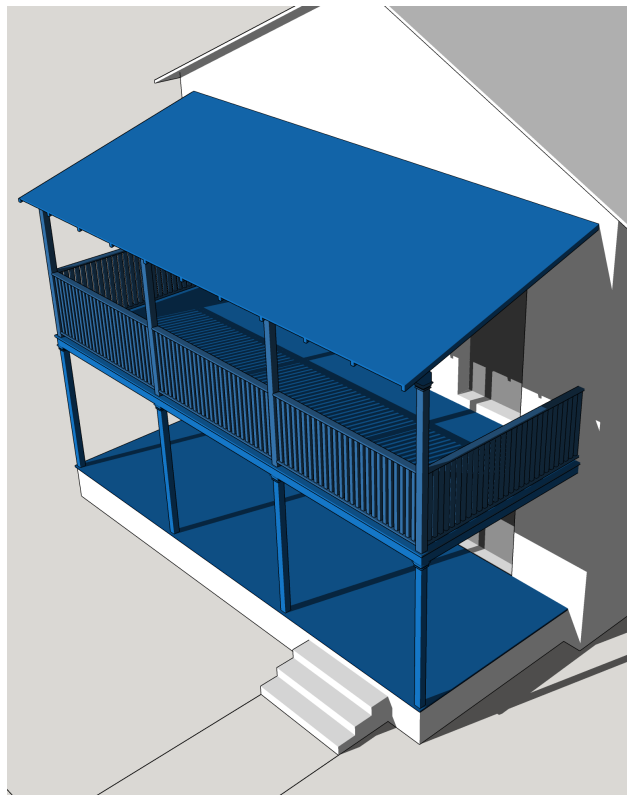
Shopfront: The main façade of the building is at or near the frontage line with an at-grade entrance along the public way. This type is intended for retail use. It has substantial glazing at the sidewalk level and may include an awning.

B. Size

- i. The distance between glazing shall be a maximum of two feet.
- ii. The ground floor front wall shall be comprised of no less than 75% transparent surfaces (ie windows/fenestration).
- iii. The depth of recessed entries shall be a maximum of five feet.

C. Awning

- i. The depth of the awning shall be a minimum of four feet.
- ii. The setback from the curb shall have a minimum of two feet.
- iii. The height of the awning shall be a minimum of eight feet.



Article 3: Neighborhood Standards

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Sub-Article 3.1: Thoroughfare Standards

- 3.1.010 **Purpose:** The purpose of this article is to provide optional standards for proposed thoroughfares within the plantation camp zones.
- 3.1.020 **Applicability:** Any proposed thoroughfares within the plantation camp zones.
- 3.1.030 **Standards:**
- A. All proposed roads and thoroughfares shall meet the County of Kauai Street Design Manual requirements as determined by the County Engineer.
 - B. The County Engineer may approve a thoroughfare that does not meet the Street Design Manual standards within the Plantation Camp Zones if the following criteria are met:
 - 1. The thoroughfare is 18 to 20 ft. in width;
 - 2. The thoroughfare is paved or comprised of a compacted surface approved by the Fire Department for emergency vehicle access;
 - 3. On street parking is prohibited;
 - 4. The thoroughfare’s associated residences have access to a shared parking facility within a standard pedestrian shed.
 - 5. The shared parking facility has at least one parking stall for each of the associated residences it services.
 - 6. All of the residential units proposed on the thoroughfare are setback from the thoroughfare no more than 20 ft.

Sub-Article 3.2: Civic Space Standards

- 3.2.010 **Purpose:** The purpose of this article is to establish civic space standards for plantation camp civic space. Civic buildings and civic spaces provide important gathering places for communities and access to outdoor activities. The civic buildings and civic spaces should be carefully located and accessible to all. The following standards shall be met by providing and locating civic buildings and civic spaces.
- 3.2.020 **Standards:** The design of civic spaces shall meet the standards set forth in Sub-Article 3.2.
- 3.2.030 **Civic Spaces:** The standards established in the Sub-Article provide the transect zones with a diverse palette of parks and other publicly accessible civic spaces that are essential components of walkable urban environments.

The service area, size frontage and disposition of elements of standards of each civic space types are regulatory. The illustration and description of each civic space type are illustrative in nature and not regulatory.

- A. Service Area. Describes how the civic space relates to the County as a whole and the area that will be served by the civic space.
- B. Size. The overall range of allowed sizes of the civic space.
- C. Frontage. The relationship along property lines of a civic space to adjacent building or lots.
 - 1. Building. Civic spaces that are listed as having a “Building” Frontage shall have the fronts of buildings, either attached to the park or across a thoroughfare, facing onto the civic space for a minimum of three-quarters of the perimeter.
 - 2. Independent. Civic spaces that are listed as having an “Independent” frontage shall have the fronts of buildings, either attached to the park or across a thoroughfare, facing on to the civic space to the maximum extent possible, but may have the side or rear of a building or lot front on to the civic space.
- D. Disposition of Elements. The placement of objects within the civic space.
 - 1. Natural. Civic spaces with natural character are designed in a natural manner with no formal arrangement of elements.
 - 2. Formal. Civic spaces with a formal character have a more rigid layout that follows geometric forms and has trees and other elements arranged in formal patterns.
 - 3. Informal. Civic spaces with an informal character have a mix of formal and natural characteristics.

Typical Facilities. Provides a list of the typical facilities found within the civic space. This list is not intended to be a complete list of facilities allowed nor is it intended that every civic space could contain each of the facilitates listed.

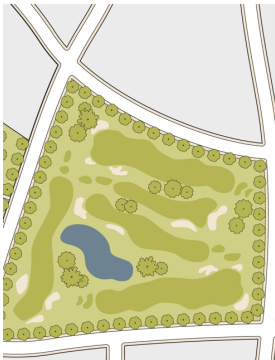
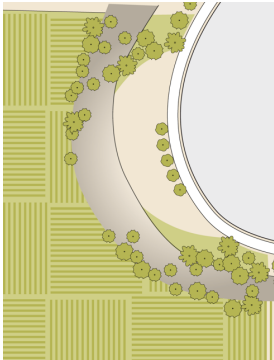
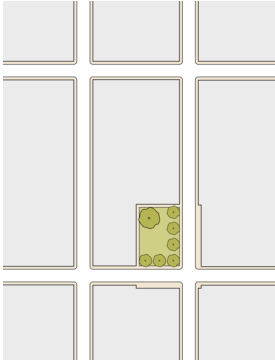
Ownership and Maintenance of Required Open Space, and Civic Space. Open space areas shall be maintained as permanent open space and/or civic space through one or more of the following options:

- A. Establishment of an entity to manage and maintain the open space by the property owner, in a form that ensures long-term maintenance and management;
- B. Conveyance of the land to a property owners' or homeowners' association that holds the land in common ownership and will be responsible for managing and maintain it for its intended purposes;
- C. Conveyance of the land to a third-party beneficiary, such as a nonprofit environmental or civic organization, that is organized for , capable of, and willing to accept responsibility for managing and maintaining the land for its intended purposes; or
- D. Dedication of the land to the County or other appropriate public agency that is organized for, capable of, and willing to accept responsibility for managing and maintaining the land for its intended purposes.

The civic spaces specified in Table 3.2.030 (Civic Space Type Standards) are allowed by right or with the specified approvals in the designated transect zones.

Sub-Article 3.2: Civic Space Standards

3.2.040 Civic Space Type Standards

Civic Space Type	Special Use Park	Overlook Park	Pocket Park
Illustration			
Description	A space that is civic in nature but that does not fit into any pre-established civic space type category.	An open space that provides space for viewing scenic or historically significant vistas, usually from a height.	An open space available for informal activities in close proximity to neighborhood residences.
Location & Size			
Location			
Service Area	Regional	Regional	Neighborhood
Size			
Minimum	No Minimum	No Minimum	4,000 square feet
Maximum	No Maximum	No Maximum	1 acre
Character			
Frontage	Building or Independent	Independent	Building
Disposition of Elements	Natural, Formal, or Informal	Natural or Informal	Formal or Informal
Typical Facilities	Passive and Active Recreation, Accessory Structure, Drinking Fountains, Community Facility < 5,000 gross square feet, Paths and Trails.	Passive Recreation, Accessory Structure, Drinking Fountains, Paths and Trails.	Passive Recreation, Accessory Structure, Drinking Fountains, Paths and Trails.

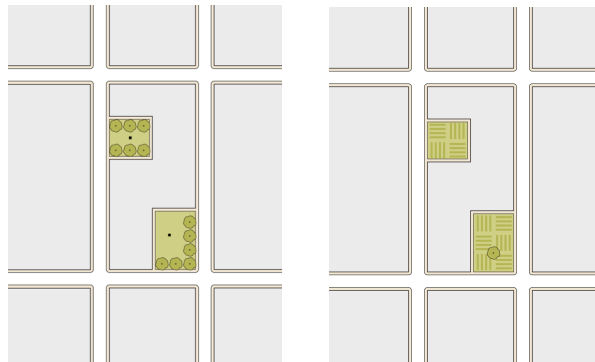
3.2.040 Civic Space Type Standards (continued)

Civic Space Type

Playground

Community Garden

Illustration



Description

An open space designed and equipped for the recreation of children. A Playground should be fenced and may include an open shelter. Playgrounds may be included within other civic spaces.

An open space designed as a grouping of garden plots that are available to nearby residents for small-scale cultivation. Community Gardens may be included within other civic spaces.

Location & Size

Location

Service Area

Neighborhood

Neighborhood

Size

Minimum

No Minimum

No Minimum

Maximum

No Maximum

No Maximum

Character

Frontage
Disposition of
Elements

Independent or Building
Formal or Informal

Independent or Building
Formal or Informal

Typical Facilities

Accessory Structure,
Drinking Fountains, Paths
and Trails.

Accessory Structure,
Drinking Fountains,
Paths and Trails.

Article 4: Administration and Procedures

Sub-Article 4.1: Purpose and Applicability 48-50

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Sub-Article 4.1: Purpose and Applicability

4.1.010 Purpose: This Article establishes procedures for the preparation, filing, and processing of applications for development permits and other entitlements required by this Code.

4.1.020 Applicability:

- A. This Form-Based Code applies to any construction, development, activity, or use within the land zoned with the SPA designation as shown in Figure(s) 1.2.010 (Kaumakani Village Transect Map) and 1.2.020 (Kaumakani Avenue Transect Map).
- B. The requirements of this Code are in addition to all applicable federal, state, and county laws and regulations governing land use and development, including Chapter 8 (Comprehensive Zoning Ordinance) and Chapter 9 (Subdivision), Kaua’i County Code 1987, as amended.
- C. In case of conflict between any provision of this Code, Kaua’i County Code Chapter 8 (Comprehensive Zoning Ordinance) (“CZO”), and any other Kaua’i County Code, rule, or regulation conflict, this Code shall apply.

4.1.030 Review Authority:

- A. Table 4.1.030.A (Review Authority) identifies the County official or body responsible for reviewing and making decisions on each type of application required by this Code.
- B. All applications for property located within the Plan Area are subject to the review and approval of the review authority(s) identified in Table 4.1.030.A Review Authority.

Table: 4.1.030.A: Review Authority

Approval	Reference	Planning Director	Planning Commission	County Council
Zoning Permits				
Class I	Subsec. 8-3.1(c) CZO	Decision	Appeal	
Class II	Subsec. 8-3.1(d) CZO	Decision	Appeal	
Class III	Subsec. 8-3.1(e) CZO	Decision	Appeal	
Class IV	Subsec. 8-3.1(f) CZO	Recommend	Appeal/Decision	
Use Permit	Sec. 8-3.2 CZO	Recommend	Appeal/Decision	
Variance	Sec. 8-3.2 CZO	Recommend	Appeal/Decision	
Amendment	Sec. 8-3.2 CZO	Recommend	Recommend	Decision
Minor Modification	4.2.040	Decision	Appeal/Decision	

4.1.040 **Concurrent Processing:** Multiple applications for the same project will be processed concurrently, reviewed, and approved or denied by the highest review authority designated by this Code for any of the permits or approvals (i.e., a project for which applications for a Class II Zoning Permit and a Use Permit are filed must have both applications decided by the Planning Commission, instead of the Director first deciding on the Zoning Permit as otherwise required by Table 4.1.030.A (Review Authority)).

4.1.050 **Rules of Interpretation:**

- A. Authority. The Director has the authority to interpret any provision of this Code. Whenever the Director determines that the meaning or applicability of any Code requirement is subject to interpretation, the Director may issue an official interpretation. The Director may also refer any issue of interpretation to the Planning Commission for their determination.
- B. Language.
 - 1. The words “shall,” “must,” “will,” “is to,” and “are to” are always mandatory;
 - 2. “Should is not mandatory but is strongly recommended; and “may” is permissive;
 - 3. The present tense includes the past and future tenses; and the future tense includes the present;
 - 4. The singular number includes the plural number, and the plural the singular, unless the natural construction of the word indicates otherwise; and
 - 5. The words “includes” and “including” shall mean “including but not limited to”.
 - 6. “Applicant” means an owner or any person who has full written authorization of the owner.
 - 7. “Owner” means the holders of equitable and legal title of land in fee simple.
 - 8. When used in this Code, the terms “Code,” “this Code,” or “Form-Based Code” means the West Kaua’i Form-Based Code
- C. Time Limits. Whenever a number of days is specified in this Code, the number of days shall be construed as consecutive calendar days. A time limit shall extend to 4:30 p.m. on the following working day where the last of the specified number of days falls on a weekend or holiday.
- D. Uses Not Listed. The Director has the authority to determine other unlisted uses as similar in nature to those listed in the respective Use Tables of Article 2 (Specific to Transect Zones) as requiring a use permit, and that those similar uses may also be permissible in that respective Transect Zone with a Use Permit

Sub-Article 4.2: Permits and Approvals

4.2.010 Zoning Permits:

- A. No person shall undertake any construction or development or carry on any activity, or use, for which a zoning permit is required by this Code, or obtain a building permit for construction, development, activity, or use regulated by this Code, without first obtaining the required permit.
- B. To obtain any permit, the applicant shall show compliance with the standards established in this Code and shall submit, where necessary, a plot plan as required by CZO Sec. 8-4.6(d).
- C. Applications for zoning permits as required in this Code shall be processed in accordance with CZO Sec. 8-3.1 (Zoning Permits).
- D. For any Zoning Permit, the designated Review Authority may approve, with or without conditions, or deny the permit. The following Zoning Permits are required for the following activities:
 - 1. Class I Permit. A Class I Permit must be obtained for construction or development not located in a Constraint District or a Special Treatment District where the construction or development does not require a Use Permit or a Variance Permit and:
 - a. For non-residential or mixed-use projects that are generally permitted; or
 - b. For residential projects, the project consists of no more than one (1) dwelling unit.
 - 2. Class II Permit. A Class II Permit must be obtained for construction or development of a residential project consisting of between two (2) to ten (10) dwelling units that are not located in a Constraint District or a Special Treatment District where the construction or development does not require a Use Permit or a Variance Permit.
 - 3. Class III Permit. A Class III Permit must be obtained for construction or development where the construction or development does not require a Variance Permit or a Use Permit and:
 - a. For any project where a Class I or Class II Zoning Permit would otherwise be required, except that the development is located in a Constraint District or a Special Treatment District; or
 - b. For residential projects, the project consists of between eleven (11) and fifty (50) units; or

4. Class IV Permit. A Class IV Permit must be obtained for construction or development, whether or not the development is located in a Constraint District or Special Treatment District where:

- a. For non-residential or mixed-use projects that require a use permit; or
- b. For residential projects, the project consists of fifty-one (51) or more dwelling units; or
- c. For any project, a Class I, II, or III Permit would otherwise be required, except that a Use Permit or a Variance Permit is required.

E. After-the-Fact Permits. In addition to the Zoning Permit filing and processing fee(s), an application for a Zoning Permit for a structure partially or fully constructed without the required approvals and/or a use that has commenced prior to the required approvals shall have an additional filing, inspection, and processing fee(s) which is double that of the original filing and processing fee(s) or five hundred dollars (\$500.00), whichever is greater.

4.2.020 **Use Permits:**

No person shall undertake any construction or development, or carry on any activity or use for which a Use Permit is required by this Code, or obtain a building permit for construction, development, activity or use for which a Use Permit is required by this Code, without first obtaining a Use Permit in accordance with CZO Sec. 8-3.2 (Use Permits).

4.2.030 **Variance:**

Request for a variance from the provisions of this Code must comply with the requirements in CZO Sec. 8-3.3 (Variance).

Sub-Article 4.3: Administration and Enforcement

4.3.010 **Amendments:**

This Code may be amended in compliance with the requirements in CZO Sec. 8-3.4.

4.3.020 **Non-Conforming Provisions:**

Nothing in the Plantation Camp Form-Based Code shall restrict or prevent an applicant from re-constructing or repairing a structure in a respective Plantation Camp transect pursuant to Section 8-8A2, subsections (a) and (b), of the Kauai County Code, 1987, as amended.

Any new densities, structures, and uses, proposed in a respective Plantation Camp transect beyond those permissible within Section 8-8A of the Kauai County Code, 1987, as amended, shall be in conformance with the rules, regulations, and standards of the subject Plantation Camp Form-Based Code.

4.3.030 **Appeals:**

- A. An applicant who seeks to appeal from an adverse decision of the Director or designee shall file a notice of appeal with the Director and the Planning Commission within thirty (30) days after the adverse decision.
- B. If the appeal is from the denial of a Class III Zoning Permit, the Director shall make the notice public and shall notify any persons who have duly requested notice of appeals.
- C. The Planning Commission shall consider the appeal at a public session within sixty (60) days of the filing of the notice of appeal and shall render its decision within that period.

4.3.040 **Fee Exemptions:**

- A. A Zoning Permit application for a housing project or portions of housing projects that are developed to be affordable to low-income households as determined by the Housing Director or authorized representative of the County Housing Agency shall be exempt from the filing and processing fee required in CZO Subsection 8-3.1(b)(1), provided such projects conform to applicable provisions of the County's affordable housing program.
- B. A Zoning Permit application for a housing project or portions of housing projects that are developed to be affordable as determined by the Housing Director or authorized representative of the County Housing Agency shall be exempt from one-half (1/2) of the filing and processing fee required in CZO Subsection 8-3.1(b)(1), provided such projects conform to applicable provisions of the County's affordable housing program.
- C. No exemptions shall be afforded for such housing projects from any fees or costs arising from compliance with CZO Subsection 8-3.1(f)(4) or (h).

4.3.050 **Enforcement:**

- A. Enforcement, legal procedures, and penalties for violations of any of the regulations and standards within the Plantation Camp Form-Based Code are established pursuant to section 10-7.2 of the Kauai County Code, 1987, as amended.

Article 5: Definitions

Sub-Article 5.1: Definitions of Terms and Phrases **54-56**

5.1.010 Definitions **55-56**

Sub-Article 5.1: Definitions of Terms and Phrases

5.1.010 Definitions

This Section provides definitions for specialized terms and phrases used in this Article. All other applicable definitions in Chapter 8 of the Kauai County Code or CZO apply.

Civic Space – An outdoor area dedicated for civic activities. See Sub-Article 35.2 (Civic Space Standards).

Civic Building – A structure operated by governmental or not-for-profit organizations and limited to civic and related uses.

County Engineer – The County Engineer of the Department of Public Works of the County of Kauai.

Cottage Carport Side – The portion of a vertically aligned Kaumakani Cottage that is designated for the attached lanai carport.

Cottage Non-Carport Side – The portion of a vertically aligned Kaumakani Cottage that is on the opposite side of the Cottage Carport.

Director – Planning Director of the County of Kauai.

Foundation – The lowest load-bearing part of a building, typically including structural placement below ground level

Front – The front section of the building facing the thoroughfare or a civic space. If two or more portions of a building face a thoroughfare or a civic space, the Director shall determine which portion of the building is the front.

Frontage – The main entrance of a building located between the front of a building and a thoroughfare or civic space.

Glazing – The glass component of a building's façade.

Gable Roof – A roof with two sloping side and a gable, or wall, at each end.

Hip Gable/Dutch Gable Roof – Is a roof with a small gable at the top of a hip roof.

Hip Roof – A roof that slopes upward from all sides of the structure, having no vertical ends.

Kaumakani Cottage, Horizontal – A cottage that meets the standards established under section 2.2.010 that is oriented with its longer sides parallel with the thoroughfare.

Kaumakani Cottage, Vertical – A cottage that meets the standards established under section 2.2.010 that is oriented with its longer sides perpendicular to the thoroughfare.

Lānai Carport – A covered structure that provides protection for vehicles and that can also be used as a Lānai for outdoor activities or living space.

Main Body – The main body constitutes the primary structure.

Mechanical Equipment Storage – small roofed accessory structure, attached or detached, that is no larger than 40 square feet in size.

Post-on-Pier – Type of development where the weight of the structure is distributed across a series of posts installed under the home and mounted to piers, which are typically masonry blocks arranged to distribute the weight evenly.

Rear – Section of the building the opposite front of the building.

Residential Use – The use of a structure or site for human habitation that may include a home, abode, or place where an individual is actually living at a specific point in time. Residences do not include transient accommodations such as transient hotels, motels, tourist cabins, or trailer courts, and dormitories, fraternity or sorority houses.

Setback – A designated minimal amount of space required between a structure and the thoroughfare.

Shed Roof – A flat roof that slopes in one direction and may lean against another wall or building.

Side – Section of the building running perpendicular to the front and rear of the building.

Thoroughfare – A road or path designed for multiple users, including pedestrians, bicyclists, and vehicles.

Transect Zone – A defined area that meets the organization of the human habitat with a development intensity that meets natural and/or build form characteristics.

Wing – A wing is part of a building that is subordinate to the main body.