



# South Kaua'i Form-Based Code

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July 2015

Prepared For  
Kaua'i County, Hawai'i  
Prepared By:



Opticos Design, Inc.

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# Article 1: Introduction

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## Quick Code Guide: Building-Scaled Projects

Step	Instructions	Code	Title
1	Find the zone for your parcel		Zoning Map
2	Comply with the standards specific to your zone	Article 2	Specific to Zones
3	Comply with all relevant Supplemental Standards for Transect Zones	Sub-Art. 3.1 Sub-Art. 3.2 Sub-Art. 3.3	General Standards Building Types Private Frontage Types
4	If the selected use has additional regulations (noted in the Allowable Uses Table), comply with the standards for that use	Article 4	Specific to Use
			To be determined

## Quick Code Guide: Community-Scaled Projects

Step	Instructions	Code	Title	
1	Find the zone for your parcel		Zoning Map	
2	Comply with standards for Neighborhood and Walkable Communities	Article 5	Neighborhood and Walkable Communities	
	Comply with standards for Neighborhood and Walkable Community Design, Thoroughfares and Civic Spaces	Sub-Art. 5.1 Sub-Art. 5.2 Sub-Art. 5.3	Neighborhood and Walkable Community Design Thoroughfares Civic Spaces	
3	If you want to subdivide your property, follow the procedures and comply with the requirements in Subdivision	Chapter 9	Subdivision Ordinance	
4	Follow the procedures for Project Developments for Neighborhoods and Walkable Communities	Article 6	Procedures	To be determined
5	Proceed to standards for Building-Scaled Projects		Quick Code Guide: Building-Scaled Projects	

## Sub-Article 1.1 Purpose

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### Sections:

1.1.010	Purpose and Intent
1.1.020	Places on Kauaʻi
1.1.030	Using Zoning to Reinforce Place
1.1.040	The Rural-to-Urban Transect
1.1.050	Applicability
1.1.060	Relationship to County Policy

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### 1.1.010 Purpose and Intent

The South Kauaʻi Form-Based Code (FBC) provides a regulatory framework that preserves and enhances the unique rural character of Kauaʻi by focusing future growth and infill into compact and connected walkable places that are supportive of pedestrians, bicycles and transit.

The Form-Based Code additionally provides a streamlined set of regulations that will help to remove barriers to development by making code compliance clear and straightforward.

The South Kauaʻi Form-Based Code will serve as a framework to guide growth on Kauaʻi in a manner that will improve the quality of life and the environment. The code will:

- A. Promote, preserve, and enhance community design that reflects the distinct character of Kauaʻi and supports a range of vibrant human habitats;
- B. Promote development patterns that support safe, walkable, pedestrian-oriented mixed-use places;
- C. Promote development patterns that support safe, effective, and multimodal transportation options, including auto, pedestrian, and bicycle, minimizing vehicle traffic by providing a mix of land uses, walkability, and compact community form;
- D. Promote the health benefits of pedestrian-oriented places, including safe routes for walking, bicycling, and other exercise;
- E. Preserve, protect, and enhance the character of established communities;
- F. Support existing walkable neighborhoods through networks of well-designed streets that are safe and secure for pedestrians and bicycles;
- G. Encourage appropriately-scaled infill and development that places services within safe, comfortable walking distance of homes;
- H. Encourage and incubate local business activity through community design;
- I. Promote neighborhoods with quality housing that encourage a diversity of housing choices;
- J. Ensure that each building plays a role in creating a better whole, not just a good building;
- K. Ensure buildings and environments that can adapt to changing economics and demographics;
- L. Encourage architecture that grows from local climate, history, and building practice; and

M. Preserve and protect historic and cultural resources.

Common to all of these ideas is the notion of “walkable urbanism”—the idea that places of human habitat on Kaua‘i should be of a scale that is primarily pedestrian-oriented in nature. Past regulations have promoted drivable suburban habitats and development patterns that over time have compromised Kaua‘i’s unique character. This Form-Based Code instead provides a regulatory framework that preserves, enhances, and creates “walkable urbanism” while continuing to preserve Kaua‘i’s natural resources and rural character, protect sensitive environmental habitats, and encourage economic growth.

## 1.1.020 Places on Kaua‘i

During the plantation era, places on Kaua‘i were centered on sugar cane mills and plantation camps. These places were built to a pedestrian-oriented scale that made it possible to get around on foot. The sugar cane fields that surrounded these places provided a de-facto greenbelt that differentiated places of more intense human habitation from agricultural and natural areas<sup>1</sup>. This relationship between built areas and natural or agricultural lands helped to reinforce Kaua‘i’s primarily-rural identity.

As development has become more auto-oriented and less walkable over the past several decades the distinction between these places has been eroded. Auto-oriented, suburban growth consumes rural and agricultural land without contributing to any meaningful sense of place on the island.

Four distinct place types, based on traditional settlement patterns and existing places on Kaua‘i, provide a framework to establish a more intentional relationship between open spaces



and developed areas on the island. These places correspond to traditional settlement patterns on Kauaʻi, as well as existing places on the island.

Place types help to determine where certain types and intensities of development are appropriate on Kauaʻi. All place types support safe, walkable, pedestrian-oriented, mixed-use development.

#### Rural Crossroads

Located at the intersection of two or more roads, a crossroad provides a small amount of locally-serving retail and other services in a rural or less urban context; crossroads transition quickly into rural or less-urban intensities and activities, and/or into the natural environment. Historic examples of rural crossroads include Kapaia.

#### Small Village

Located in less urbanized areas, small villages exist at the edge of the rural and urban condition. A village has a main street with surrounding residential areas; this transitions quickly into agricultural uses and/or into the natural environment. Historic examples of small villages include ʻŌmaʻo and Lāwaʻi.

#### Large Village

Located in urbanized areas, large villages are made up of clusters of neighborhoods that can support a larger mixed-use environment. The mixed-use environment can be located at the intersection of multiple neighborhoods or along a corridor between multiple neighborhoods. Historic examples of large villages include Kōloa and Kalāheo.

#### Town

Located in urbanized areas, towns are made up of clusters of neighborhoods or villages that support a larger, more complex mixed-use environment. Buildings within towns are often attached and may be up to four stories tall. Large towns are important centers. Līhuʻe is an example of a town place type and is the only one on the island.

The fundamental building block of places on Kauaʻi is the pedestrian shed, where spaces for living, working, shopping, learning, and recreation are typically located within a five-minute walk of one another. While places on Kauaʻi such as rural crossroads may exist within a single pedestrian shed, larger, more complex places such as towns may incorporate multiple pedestrian sheds.

<sup>1</sup>Source: Kauaʻi Smart Growth Salon: Issues & Questions Memo, June 2012.

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**1.1.030 Using Zoning to Reinforce Place**

Form-Based Codes and overview of the South Kauaʻi Form-Based Code:

FBCs provide an alternative approach to Euclidean zoning that emphasizes physical form, rather than separation of uses. They have been utilized to reinforce walkable, sustainable, mixed-use environments that build upon the existing character of places. The nonprofit Form-Based Codes Institute defines FBCs as follows:

*“Form-Based Codes foster predictable built results and a high-quality public realm by using physical form (rather than separation of use) as the organizing principle for the code. These codes are adopted into city or county law as regulations, not mere guidelines. Form-Based Codes are an alternative to conventional zoning.”*

Modern Form-Based Codes were initially utilized in the 1980s and 1990s as a means to implement innovative development patterns that would otherwise not have been feasible under conventional zoning. Since then interest and knowledge of form-based coding has increased rapidly, with the advent of the SmartCode, an open-source coding template that was made available by Duany, Plater Zyberk & Company in 2003, growth and development of professional FBC practitioners, the founding of the Form-Based Codes Institute in 2004, and several major publications supporting their development. As of November 2012, there were more than 250 adopted FBCs of different variety and scope across the country (Borys and Talen), including applications in Hawaiʻi. These include FBCs to implement infill and redevelopment (e.g., Mauka Area Rules for Kakaako in Honolulu, Oahu, 2011) as well as FBCs regulating greenfield development (e.g., Honokohau Village in Kona, Hawaiʻi, 2008).

It is also important to note that while FBCs primarily regulate an intended physical form, they also regulate use secondarily. FBCs often allow a range of uses that are carefully chosen to maximize compatibility between uses and the intended physical form of the zone. The use tables are simplified and categorized by use type, and clearly defined, to allow a greater degree of administrative decision-making related to particular uses.

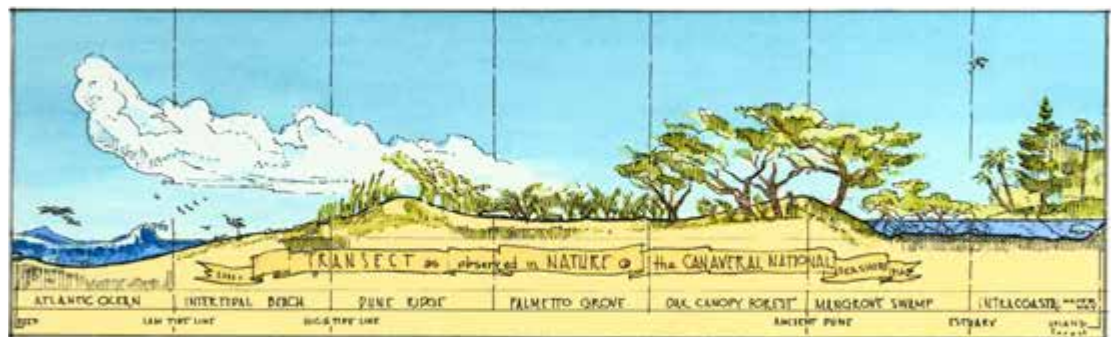
## 1.1.040 The Rural-to-Urban Transect

The Framework for the Form-Based Code:

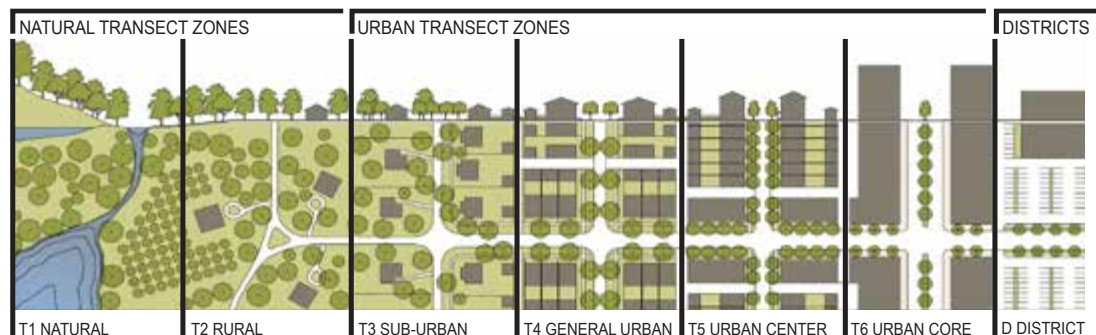
The Rural-to-Urban Transect is an organizing principle used in Form-Based Coding (FBC) that establishes a hierarchy of places/contexts from the most rural to the most urban. The designation of each zone along this hierarchy is determined first by the character and form, intensity of development, and type of place and secondly by the mix of uses within the area. This hierarchy of places becomes the framework/organizing principle for the entire FBC, replacing use as the organizing principle as is used in conventional or Euclidean zoning. Transect zones are used to reinforce existing or to create new walkable mixed-use urban environments.

*The Rural-to-Urban Transect is a means for considering and organizing the human habitat in a continuum of intensity that ranges from the most rural condition to the most urban. It provides a standardized method for differentiating between the intentions for urban form in various areas using gradual transitions rather than harsh distinctions. The zones are primarily classified by the physical intensity of the built form, the relationship between nature and the built environment, and the complexity of uses within the zone.*

~ Form-Based Codes Institute



RURAL ||||| TRANSECT ||||| URBAN



*A natural transect diagram on top with the rural-to-urban transect below. This urban-to-rural transect diagram illustrates a continuum of places from the most rural to the most urban from left to right. Images courtesy of DPZ.*

The model transect is divided into six transect zones or T-zones: Natural (T1), Rural (T2), Sub-Urban (T3), General Urban (T4), Urban Center (T5), and Urban Core (T6), together with a District (D), often referred to as a Special District, designation for areas with specialized purposes (e.g., heavy industrial, transportation, entertainment, or university districts, among other possibilities). Each T-zone is given a number: higher numbers designate progressively more urban zones, and lower numbers designate more rural zones.

The traditional Hawaiian ahupuaʻa has some parallels with the Rural-to-Urban Transect, as land use intensity was historically related to the location of the land within the watershed (i.e., mauka areas were typically forested and sparsely populated, while lowland makai areas were used for cultivation, habitation, and cultural activities). Transect-based zoning can be utilized so that modern communities will also retain a strong relationship to the land, encouraging them to be complete, compact, and connected.

#### The South Kauaʻi Transect

1. **T3 Village Edge.** This zone reinforces established neighborhoods to maintain neighborhood stability and provide a transition between higher intensity walkable neighborhoods and rural and agricultural areas.
2. **T3 Village Neighborhood 1.** This zone provides a walkable neighborhood that integrates compatible multifamily housing types such as duplexes and cottage courts within walking distance to transit and village center areas.
3. **T4 Village Neighborhood.** This zone integrates appropriate, medium-density residential building types such as duplexes, cottage courts, small courtyard housing, and mansion apartments with limited retail and service uses in an environment conducive to walking and bicycling.
4. **T4 Village Center.** This zone integrates main-street commercial and retail environments into neighborhoods, providing access to day-to-day amenities within walking distance, creating potential for a transit stop, and serving as a focal point for the neighborhood.

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#### 1.1.050 Applicability

The South Kauaʻi Form-Based Code is a pilot project that will allow the county to acquire firsthand experience with the application and administration of an FBC in a limited area before considering expansion to other parts of Kauaʻi.

In addition to all applicable federal, state, and county laws and regulations governing land use and development, this Form-Based Code applies to all land zoned with the SPA overlay as described in Chapter 8, Article 11 (Special Treatment Districts) in the Comprehensive Zoning Ordinance.

Whenever any provision of the South Kauaʻi Form-Based Code and any other county code, chapter, resolution, guideline, or regulation impose overlapping or contradictory regulations, this article shall apply.



## 1.1.060 Relationship to County Policy

### A. Land Use

The South Kauaʻi Community Plan establishes new place type and development type designations intended to implement this Form-Based Code to appropriate portions of the urban and rural areas of South Kauaʻi. Development Types have been incorporated into the South Kauaʻi Land use map to provide guidance for the application of Form-Based Code zones. Place types are incorporated to provide guidance for future communities in greenfield areas for walkable places.

**Table 1.1.060.A South Kauaʻi Community Plan Land Use Implementation**

<b>South Kauaʻi Community Plan Land Use Designation</b>	<b>Zones Implementing Land Use</b>
Neighborhood Center	T4 Village Center T4 Neighborhood
Neighborhood General	T4 Neighborhood
Neighborhood Edge	T3 Village Neighborhood 1 T3 Village Edge
*Place Type: Small Village	See Section 5.1.050 for Applicable Zones

### B. Transportation

This FBC establishes standards for thoroughfares appropriate for new development and the retrofit and improvement of existing streets intended to implement the County's Living Streets Manual.

**Table 1.1.060.B Livable Streets Manual Transportation Implementation**

<b>Livable Streets Manual Designation</b>	<b>Code Implementing Thoroughfare Types</b>
Minor Arterial	See Living Streets Manual for Guidance
Major Collector	Assembly: CS-82-50-BL
Minor Collector	Assembly: CS-60-36 Assembly: CS-82-54 Assembly: CS-98-62-BL Assembly: ST-72-48-BL
Other (Local Streets)	Assembly: CA-24-20 Assembly: ST-46-30 Assembly: ST-60-34 Assembly: RL-20-14 Assembly: RD-36-20

### C. Parks and Open Space

This Form-Based Code establishes standards for Civic and Open Spaces. TableC (General Plan Parks and Open Space Implementation) correlates Comprehensive Plan Parks & Open Space with the Civic Space Standards found in Sub-Article 5.2 (Civic Space Standards) of this Development Code.

**Table 1.1.060.C General Plan Parks and Open Space Implementation**

<b>General Plan Open Space Designation</b>	<b>Code Implementing Civic Space Types</b>
Neighborhood Parks	Overlook Park Greenway Green Square Plaza Pocket Plaza Pocket Park Playground
District Parks	Community Park/District Park
Regional Parks	Regional Park
Beach Parks	Beach Park
Linear Parks	Greenway, other trails
Special Use Areas	Special Use Park

# Article 2: Specific to Zones

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<b>Sub-Article 2.1: Establishment and Designation of Zones</b>	<b>2.1-1</b>
2.1.010 Zones Established	2.1-1
2.1.020 Zoning Maps	2.1-1
<b>Sub-Article 2.2: Transect Zones</b>	<b>2.2-1</b>
2.2.010 Purpose	2.2-1
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2.2.060 T4 Village Center (T4VC) and Village Center—Flex (T4VC–F)	2.2-21



## **Sub-Article 2.1: Establishment and Designation of Zones**

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### **Sections:**

- 2.1.010      Zones Established
- 2.1.020      Zoning Map

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### **2.1.010      Zones Established**

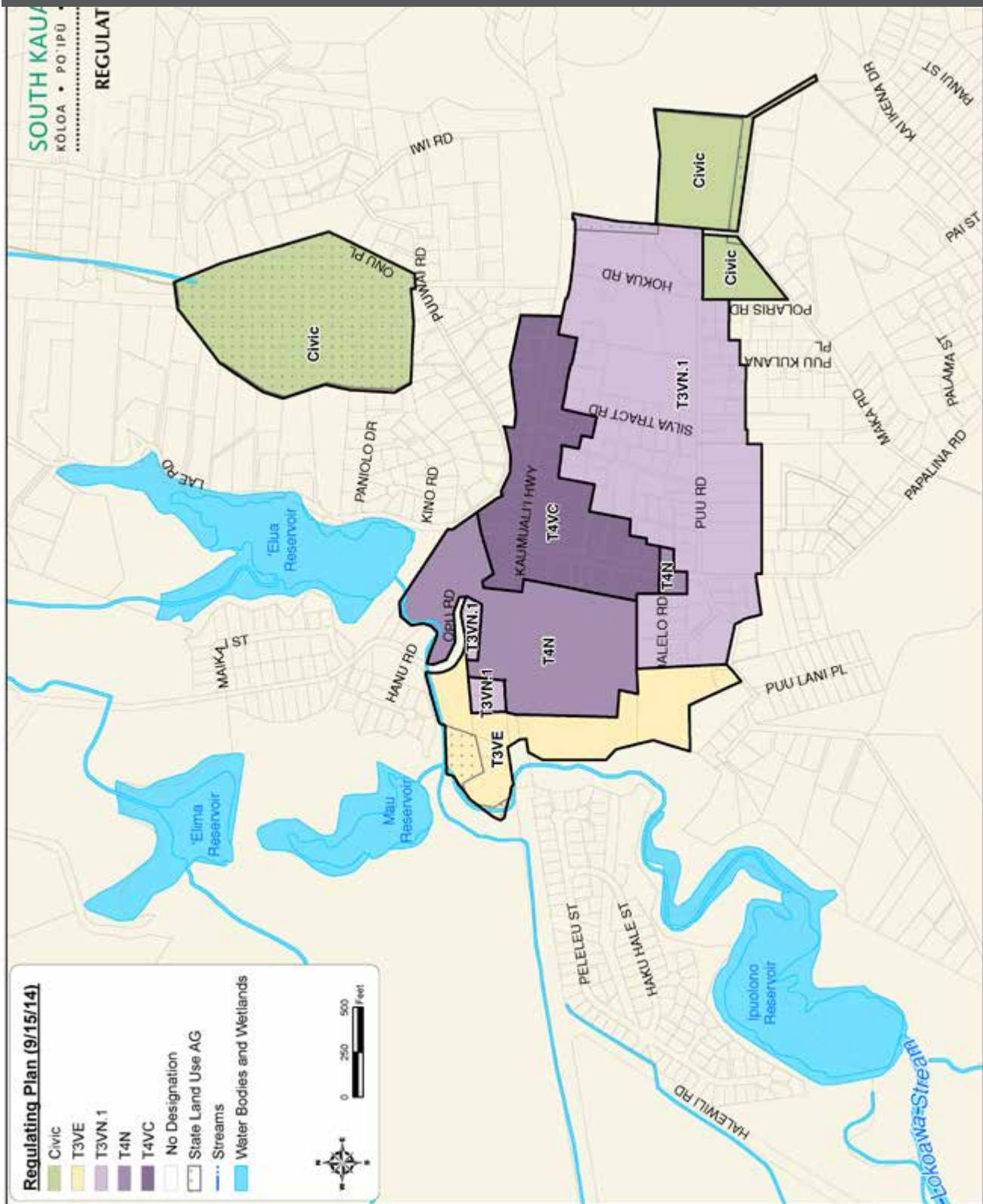
As of the adoption date (xx/xx/xxxx), the following transect zones are hereby established to provide a mix of intensity of development and a mix of uses that are compatible with the character of South Kauaʻi.

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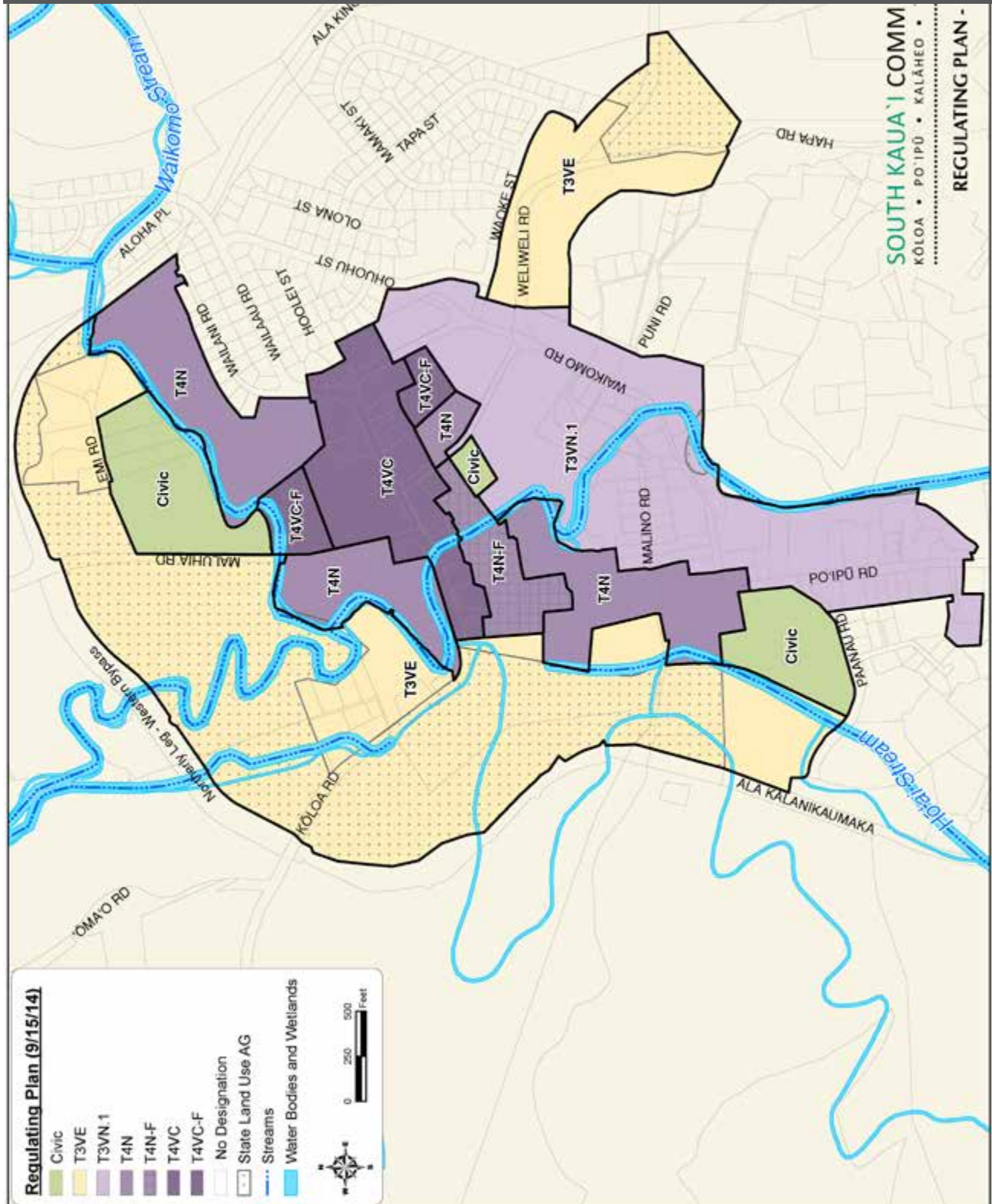
### **2.1.020      Zoning Maps**

The transect zones established in this Article are mapped on the Regulating Plans on the following pages.

## A. Kalāheo Regulating Plan

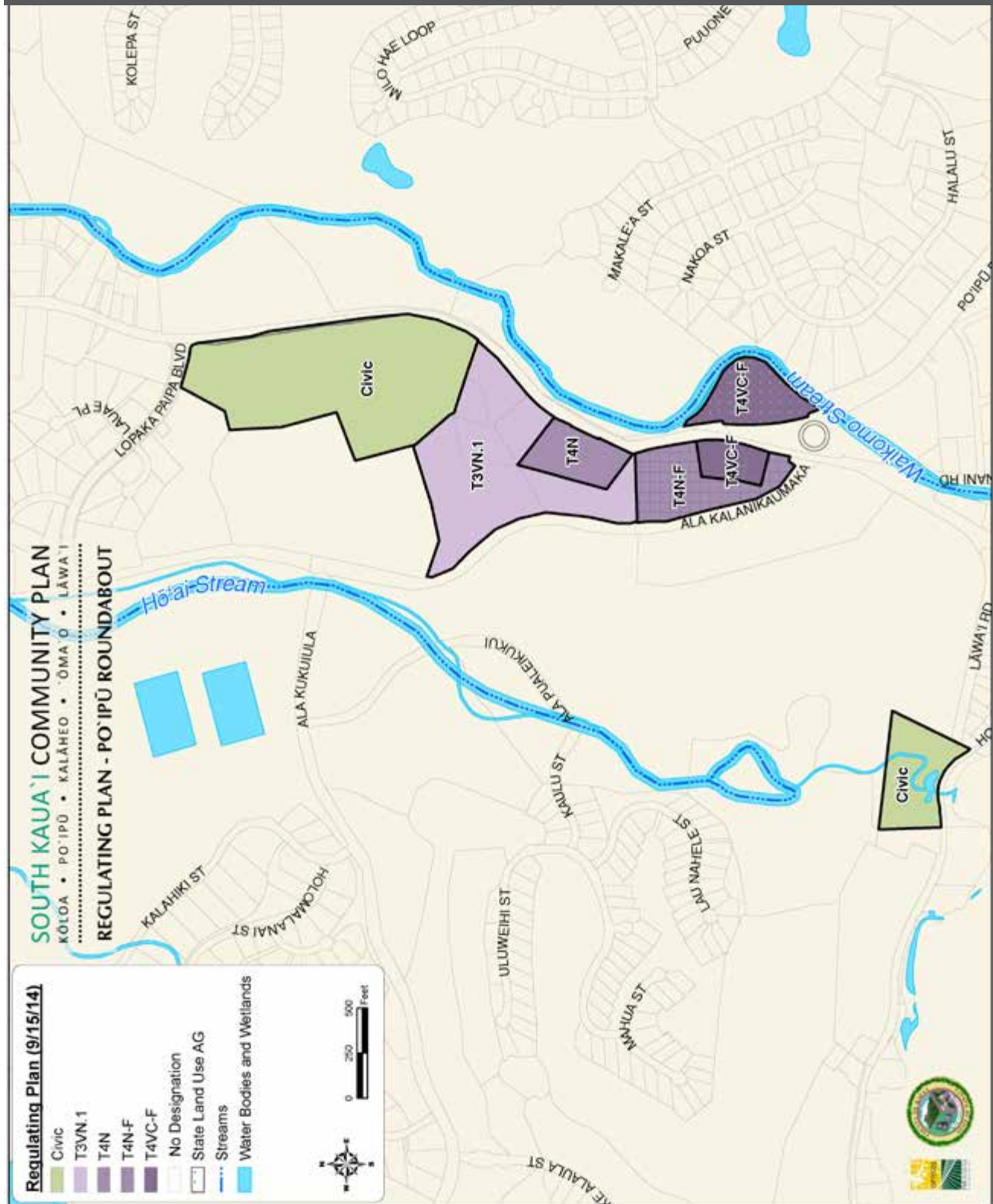


## B. Kōloa Regulating Plan





## C. Po'ipū Roundabout Regulating Plan





## Sub-Article 2.2: Transect Zones

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### Sections:

2.2.010	Purpose
2.2.020	Applicability
2.2.030	T3 Village Edge (T3VE)
2.2.040	T3 Village Neighborhood 1 (T3VN.1)
2.2.050	T4 Neighborhood (T4N) & T4 Neighborhood–Flex (T4N–F)
2.2.060	T4 Village Center (T4VC) & T4 Village Center–Flex (T4VC–F)

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### 2.2.010 Purpose

This sub-article provides regulatory standards governing land use and building form within the transect-based zoning areas. The Form-Based Code is a reflection of the community vision for implementing the intent of the General Plan and South Kaua'i Community Plan to create places of walkable urbanism. These standards are intended to ensure that proposed development is compatible with existing and future development on neighboring properties, and produces an environment of desirable character.

The transect zones focus primarily on mixed-use, walkable areas of the county and range in function and density from primarily residential areas with a mix of building types (e.g., T3 Village Neighborhood 1), to medium-density neighborhoods and other commercial and retail areas (e.g., T4 Village Center).

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### 2.2.020 Applicability

The requirements of this sub-article shall apply to all proposed development within transect-based zones, and shall be considered in combination with the standards in Article 4 (Specific to Use), if applicable, and development standards in Article 3 (Supplemental Standards). If there is a conflict between any standards, the provisions of Article 4 (Specific to Uses) control over Article 2 (Specific to Zones) and Article 3 (Supplemental Standards) .

Since the transect zones described in this section are meant primarily for those areas where mixed-use, walkable environments are desired, both T1 Natural and T2 Rural Transect Zones have not been included. The T5 Town Center is reserved for more intense mixed-use environments than are found or desired in South Kaua'i. Additionally, because very high densities are not currently compatible with the character of Kaua'i, the T6 Urban transect zone has also been omitted.

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## 2.2.030 T3 Village Edge (T3VE)



*General note: the illustrations above are intended to provide a brief overview of the transect zone and are descriptive in nature.*

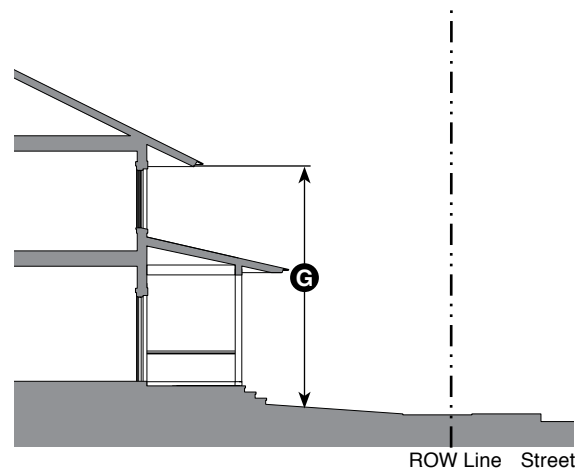
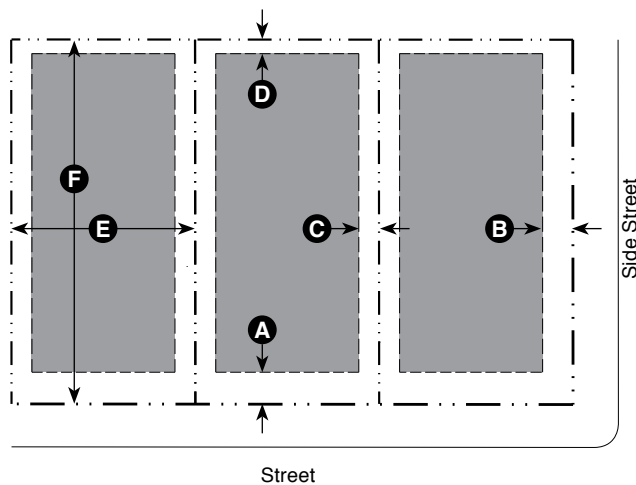
### A. Zone Intent and Description

T3 Village Edge Zone reinforces established neighborhoods, to maintain neighborhood stability and provide a transition between higher intensity walkable neighborhoods and rural and agricultural areas.

### B. Allowed Building Types

Building Type	Standards
Carriage House	3.2.040
Single-Unit House, Village	3.2.050
Duplex	3.2.080

## T3 Village Edge (T3VE)

**Key**

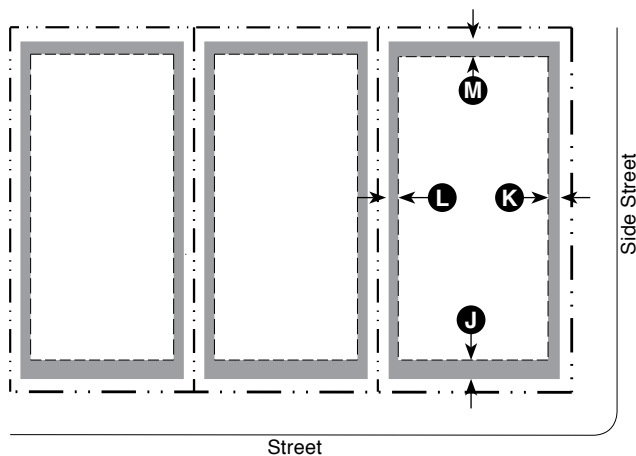
- ROW / Property Line    ■ Building Area  
 --- Setback Line

C. Building Placement		
Setback (Distance from ROW / Property Line)		
Front	25' min.	<b>A</b>
Side Street	25' min.	<b>B</b>
Side		<b>C</b>
Main Building	20' min.	
Accessory Building	10' min.	
Rear	20' min.	<b>D</b>
Lot Size		
Width	75' min.	<b>E</b>
Depth	110' min.	<b>F</b>
Miscellaneous		

Side setbacks not required for attached units.

Where existing adjacent buildings are in front of the regulated BTL or front setback, the building may be set to align with the facade of the front most immediately adjacent property.

D. Building Form		
Building Height		
Main Building	2 stories max.	<b>G</b>
Accessory Building	2 stories max.	
Additional building height standards found in Section 3.1.020 (Additional Height Regulations).		
Footprint		
Lot Coverage	50% max.	

**Key**

- ROW / Property Line    ■ Encroachment Area  
 --- Setback Line

**E. Encroachments and Frontage Types****Encroachments**

Front	10' max.	<b>J</b>
Side Street	5' max.	<b>K</b>
Side	3' max.	<b>L</b>
Rear	5' max.	<b>M</b>

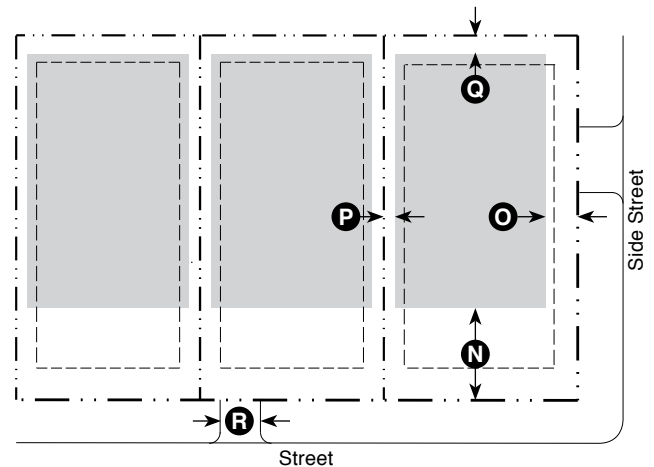
**Notes:**

Encroachments are not allowed within a Street ROW/Alley ROW or across a property line.

**Allowed Frontage Types**

Common Yard	Lānai — Projecting
Lānai — Engaged	

See Section 3.3.030 (Private Frontages Overview) for description of frontage types and additional standards.

**Key**

- ROW / Property Line    ■ Allowed Parking Area  
 --- Setback Line

**F. Parking****Required Spaces****Residential Uses**

All Allowed Lodging Uses	1 per 2 rooms min.
All Other Allowed Uses	1 sp/1500 sf min.

Service or Retail Uses	2 sp/1000 sf min.
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**Required Bicycle Parking Spaces****All Non Single-Family Uses**

The greater of two spaces or five percent of required off-street vehicular parking spaces.

For parking requirement for use not listed above see Table 3.1.010.A (Number of Motor Vehicle Parking Spaces Required).

See Section 3.1.010.E.5 (Parking Adjustments) for parking adjustments.

**Location (Setback from Property Line)**

Front Setback	50'	<b>N</b>
Side Street Setback	25' min.	<b>O</b>
Side Setback	10' min.	<b>P</b>
Rear Setback	10' min.	<b>Q</b>

**Miscellaneous**

Parking Driveway Width	14' max.	<b>R</b>
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## T3 Village Edge (T3VE)

**G. T3VE Use Table**

Land Use Type <sup>1</sup>	Specific Use Regulations	T3VE	Land Use Type <sup>1</sup>	Specific Use Regulations	T3VE
<b>Residential</b>			<b>Recreation, Education &amp; Public Assembly</b>		
Single-Family Dwelling Units			Public and Private Parks		P
Detached		P	Botanical and Zoological Gardens		U
Two Attached		P <sup>3</sup>	Cemeteries, Mortuaries and Crematoriums		U
More than Two Attached		U <sup>2,3</sup>	Churches, Temples, and Monasteries		U
Multiple Family Dwelling Units			Clubs, Lodges and Community Centers		U
Up to Two		U <sup>2,3</sup>	Golf Courses		U
More than Two		U <sup>2,3</sup>	Museums, Libraries and Public Services and Facilities		U
Accessory Structures and Uses, except with the following features:		P	School and Day-care Centers		U
Two or More Guest Houses		—			
Adult Family Boarding and Family Care Homes		P			
Home Businesses		P			
Dormitories, Guest and Boarding Houses		U			
Hotels and Motels		—			
Transient Vacation Rentals		—			
Residential Care Homes		U			
Adult Family Group Living Home		U			

**Key**

P Permitted Use

U Use Permit Required

— Use Not Allowed

**End Notes**

<sup>1</sup> A definition of each listed use type is in Article 7 (Definitions). Any other use or structure which the Planning Director finds to be similar in nature to those listed in this Section and appropriate to the District is allowed.

<sup>2</sup> Use Permit required for a parcel of record as of June 30, 1980. Not permitted on other parcels.

<sup>3</sup> Permitted when developed pursuant to a federal, state or county housing program.

<sup>4</sup> Use not allowed on the ground floor, except when located behind an allowed ground floor use.

**G. T3VE Use Table (continued)**

Land Use Type <sup>1</sup>	Specific Use Regulations	T3VE
<b>Retail</b>		
Retail Shops and Stores, except with the following features:		U
Alcoholic beverage sales	—	
On-site Production of Items Sold >5,000 sf	—	
Floor Area >10,000 sf	—	
Restaurants and Food Services	—	
<b>Agricultural</b>		
Diversified and Specialized Agriculture and Nurseries		U
<b>Services</b>		
Medical and Nursing Facilities		U
Household Services	—	
Personal Services	—	
Professional Offices	—	
Animal Hospital	—	
<b>Vehicle Sales and Services</b>		
Automobile Sales	—	
Automobile Services	—	
Automobile Repair	—	
Automobile Storage	—	

Land Use Type <sup>1</sup>	Specific Use Regulations	T3VE
<b>Transportation &amp; Infrastructure</b>		
Private and Public Utilities and Facilities		U
Transportation Terminals and Docks		U
<b>Telecommunication Facilities</b>		
Communication Facilities	—	
<b>Industrial, Manufacturing &amp; Processing</b>		
Construction Material Storage	—	
Food Processing and Packaging		—
Light Manufacturing		—
Warehouse		—

**Key**

P	Permitted Use
U	Use Permit Required
—	Use Not Allowed

**End Notes**

<sup>1</sup> A definition of each listed use type is in Article 7 (Definitions). Any other use or structure which the Planning Director finds to be similar in nature to those listed in this Section and appropriate to the District is allowed.

<sup>2</sup> Use Permit required for a parcel of record as of June 30, 1980. Not permitted on other parcels.

<sup>3</sup> Permitted when developed pursuant to a Federal, State or County housing program.

<sup>4</sup> Use not allowed on the ground floor, except when located behind an allowed ground floor use.

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## 2.2.040 T3 Village Neighborhood 1 (T3VN.1)



*General note: the illustrations above are intended to provide a brief overview of the transect zone and are descriptive in nature.*

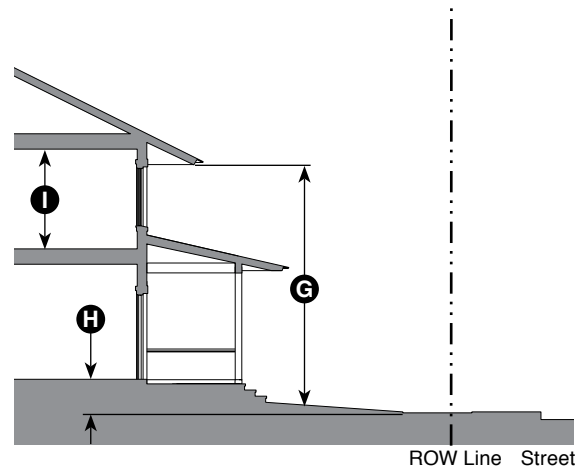
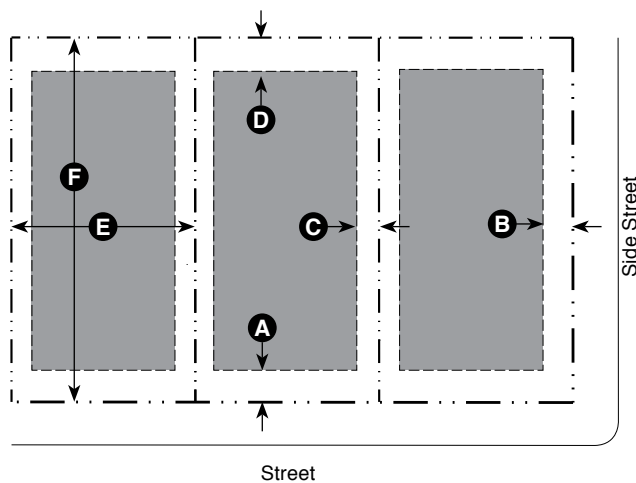
### A. Zone Intent and Description

T3 Village Neighborhood 1 Zone provide a walkable neighborhood that integrates compatible multifamily housing types such as duplexes and cottage courts within walking distance to transit and village center areas.

### B. Allowed Building Types

Building Type	Standards
Carriage House	3.2.040
Single-Unit House, Village	3.2.050
Single-Unit House, Cottage	3.2.060
Cottage Court	3.2.070
Duplex	3.2.080

## T3 Village Neighborhood 1 (T3VN.1)

**Key**

- ROW / Property Line    ■ Building Area  
 --- Setback Line

<b>C. Building Placement</b>		
<b>Setback (Distance from ROW / Property Line)</b>		
Front	20' min./40' max.	<b>A</b>
Side Street	15' min.	<b>B</b>
Side		<b>C</b>
Main Building	10' min.	
Accessory Building	10' min.	
Rear	15' min.	<b>D</b>
<b>Lot Size</b>		
Width	50' min.	<b>E</b>
Depth	110' min.	<b>F</b>
<b>Miscellaneous</b>		

Side setbacks not required for attached units.

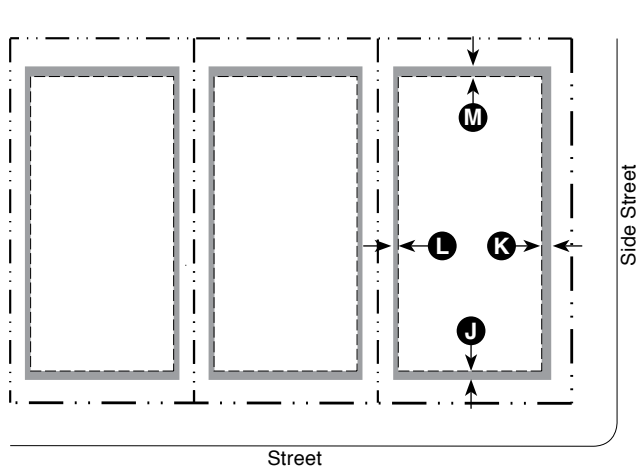
Where existing adjacent buildings are in front of the regulated BTL or front setback, the building may be set to align with the facade of the front most immediately adjacent property.

Minimum lot width and depth may be reduced up to 20% if access via alley is provided.

<b>D. Building Form</b>		
<b>Building Height</b>		
Main Building	2 stories max.	<b>G</b>
Accessory Building	2 stories max.	
Ground Floor Finish Level	18" min. <sup>1</sup>	<b>H</b>
Upper Floor(s) Ceiling	8'	<b>I</b>
Additional Building Height Standards found in Section 3.1.020 Additional Height Regulations.		
<b>Footprint</b>		
Lot Coverage	50% max.	
<b>Miscellaneous</b>		

Loading docks and other service entries may not be located on street-facing facades.

<sup>1</sup> Finished grade at main entry must not be greater than 4' from existing grade per Section 8-4.5 of the Comprehensive Zoning Ordinance.

**Key**

- ROW / Property Line    ■ Encroachment Area  
 --- Setback Line

**E. Encroachments and Frontage Types****Encroachments**

Front	5' max.	ⓐ
Side Street	5' max.	ⓑ
Side	3' max.	ⓒ
Rear	5' max.	ⓓ

**Notes:**

Encroachments are not allowed within a street ROW/ alley ROW or across a property line.

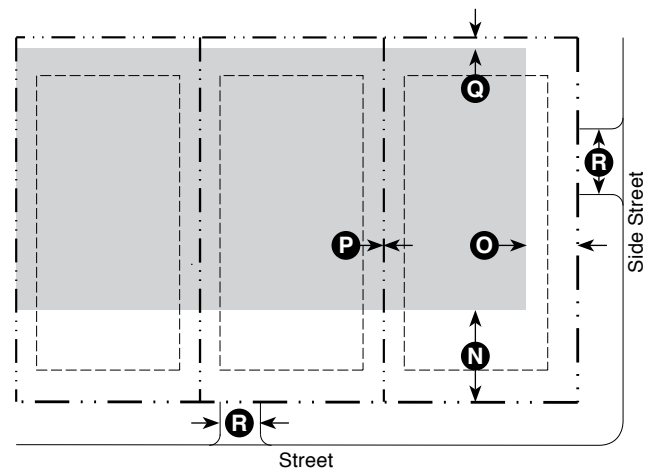
**Allowed Frontage Types**

Common Yard	Lānai — Projecting
Lānai — Engaged	Stoop

See Section 3.3.030 (Private Frontages Overview) for description of frontage types and additional standards.

**F. Parking****Required Vehicle Parking Spaces****Residential Uses**

All Allowed Lodging Uses	1 per 2 rooms min.
All Other Allowed Uses	1 sp/1500 sf min.
Service or Retail Uses	2 sp/1000 sf min.

**Key**

- ROW / Property Line    ■ Allowed Parking Area  
 --- Setback Line

**F. Parking (continued)****Required Bicycle Parking Spaces****All Non Single Family Uses**

The greater of two spaces or five percent of required off-street vehicular parking spaces.

For parking requirement for use not listed above see Table 3.1.010.A (Number of Motor Vehicle Parking Spaces Required).

See Section 3.1.010.E.5 (Parking Adjustments) for parking adjustments.

**Location (Setback from Property Line)**

Front Setback	45'	ⓓ
Side Street Setback	25'	ⓑ
Side Setback	0'	ⓒ
Rear Setback	5'	ⓓ

**Miscellaneous**

Parking Driveway Width	14' max.	ⓓ
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### G. T3VN.1 Use Table

Key	
P	Permitted Use
U	Use Permit Required
—	Use Not Allowed

## End Notes

<sup>1</sup> A definition of each listed use type is in Article 7 (Definitions). Any other use or structure which the Planning Director finds to be similar in nature to those listed in this Section and appropriate to the District is allowed.

<sup>2</sup> Use Permit required for a parcel of record as of June 30, 1980. Not permitted on other parcels.

<sup>3</sup> Permitted when developed pursuant to a Federal, State or County housing program.

<sup>4</sup> Use not allowed on the ground floor, except when located behind an allowed ground floor use.

**G. T3VN.1 Use Table (continued)**

Land Use Type <sup>1</sup>	Specific Use Regulations	T3VN.1
<b>Retail</b>		
Retail Shops and Stores, except with the following features:		U
Alcoholic beverage sales	—	
On-site Production of Items Sold >5,000 sf	—	
Floor Area >10,000 sf	—	
Restaurants and Food Services	—	
<b>Agricultural</b>		
Diversified and Specialized Agriculture and Nurseries		U
<b>Services</b>		
Medical and Nursing Facilities		U
Household Services	—	
Personal Services	—	
Professional Offices	—	
Animal Hospital	—	
<b>Vehicle Sales and Services</b>		
Automobile Sales	—	
Automobile Services	—	
Automobile Repair	—	
Automobile Storage	—	

Land Use Type <sup>1</sup>	Specific Use Regulations	T3VN.1
<b>Transportation &amp; Infrastructure</b>		
Private and Public Utilities and Facilities		U
Transportation Terminals and Docks		U
<b>Telecommunication Facilities</b>		
Communication Facilities		—
<b>Industrial, Manufacturing &amp; Processing</b>		
Construction Material Storage		—
Food Processing and Packaging		—
Light Manufacturing		—
Warehouse		—

**Key**

P	Permitted Use
U	Use Permit Required
—	Use Not Allowed

**End Notes**

<sup>1</sup> A definition of each listed use type is in Article 7 (Definitions). Any other use or structure which the Planning Director finds to be similar in nature to those listed in this Section and appropriate to the District is allowed.

<sup>2</sup> Use Permit required for a parcel of record as of June 30, 1980. Not permitted on other parcels.

<sup>3</sup> Permitted when developed pursuant to a Federal, State or County housing program.

<sup>4</sup> Use not allowed on the ground floor, except when located behind an allowed ground floor use.

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## 2.2.050 T4 Neighborhood (T4N) and Neighborhood—Flex (T4N–F)



*General note: the illustrations above are intended to provide a brief overview of the transect zone and are descriptive in nature.*

### A. Zone Intent and Description

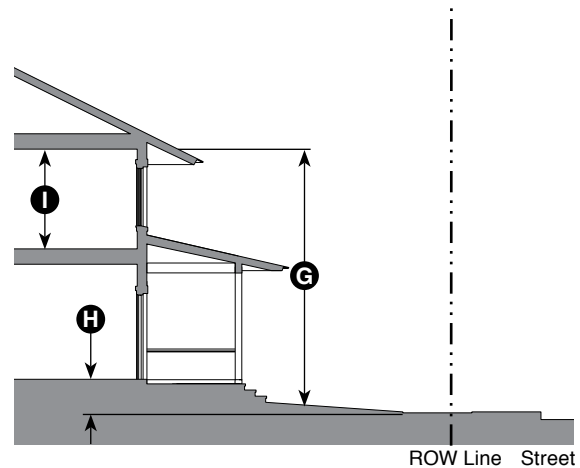
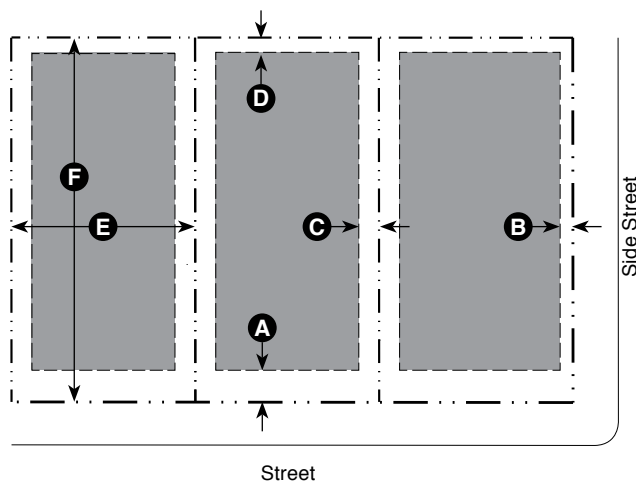
T4 Neighborhood Zone integrates appropriate, medium-density residential building types such as duplexes, cottage courts, small courtyard housing, and mansion apartments with limited retail and service uses in an environment conducive to walking and bicycling.

The flex sub-zone provides the same building forms but allows for a more diverse mix of uses.

### B. Allowed Building Types

Building Type	Standards
Carriage House	3.2.040
Single-Unit House, Cottage	3.2.060
Cottage Court	3.2.070
Duplex	3.2.080
Townhouse	3.2.090
Mansion Apartment	3.2.100
Apartment House (T4N–F Only)	3.2.110

## T4 Neighborhood (T4N) and Neighborhood—Flex (T4N–F)

**Key**

- ROW / Property Line    ■ Building Area  
 --- Setback Line

C. Building Placement		
Setback (Distance from ROW / Property Line)		
Front	15' min./30' max.	<b>A</b>
Side Street	8' max.	<b>B</b>
Side		
Main Building	10' max.	<b>C</b>
Accessory Building	10' min.	
Rear	10' min.	<b>D</b>
Lot Size		
Width	25' min./150' max.	<b>E</b>
Depth	80' min./250' max.	<b>F</b>
Miscellaneous		

Side setbacks not required for attached units.

Where existing adjacent buildings are in front of the regulated BTL or front setback, the building may be set to align with the facade of the front most immediately adjacent property.

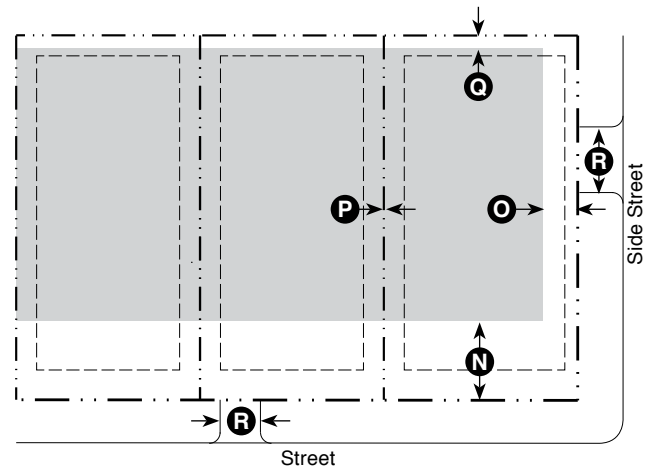
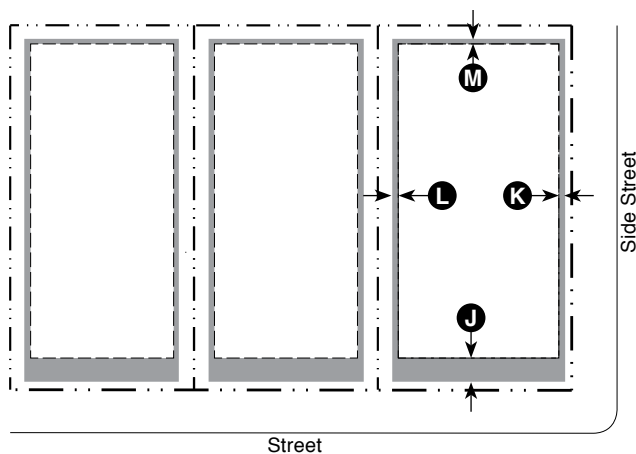
D. Building Form		
Building Height		
Main Building	2 stories max.	<b>G</b>
Accessory Building	2 stories max.	
Ground Floor Finish Level	18" min. <sup>1</sup>	<b>H</b>
Upper Floor(s) Ceiling	8' min.	<b>I</b>
Additional Building Height Standards found in Section 3.1.020 (Additional Height Regulations).		
Footprint		
Lot Coverage	60% max.	
Miscellaneous		

Loading docks and other service entries may not be located on street-facing facades.

<sup>1</sup> Finished grade at main entry must not be greater than 4' from existing grade per Section 8-4.5 of the Comprehensive Zoning Ordinance.



## T4 Neighborhood (T4N) and Neighborhood—Flex (T4N–F)

**Key**

--- ROW / Property Line    ■ Encroachment Area  
 --- Setback Line

**E. Encroachments and Frontage Types****Encroachments**

Front	12' max.	ⓐ
Side Street	3' max.	ⓑ
Side	3' max.	ⓒ
Rear	3' max.	ⓓ

Encroachments are not allowed within a street ROW/ alley ROW or across a property line.

**Allowed Frontage Types**

Common Yard	Lānai — Engaged
Lānai — Projecting	Stoop
Forecourt	Dooryard <sup>2</sup>

Terrace<sup>2</sup>

See Section 3.3.030 (Private Frontages Overview) for description of frontage types and additional standards.

**Notes:**

<sup>2</sup>T4N-F only

**F. Parking****Required Spaces****Residential Uses**

All Allowed Lodging Uses	1 per 2 rooms min.
All Other Allowed Uses	1 sp/1500 sf min.
Service or Retail Uses	2 sp/1000 sf min.

**Key**

--- ROW / Property Line    ■ Allowed Parking Area  
 --- Setback Line

**F. Parking (continued)****Required Bicycle Parking Spaces**

All Non Single Family Uses

The greater of two spaces or five percent of required off-street vehicular parking spaces.

For parking requirement for use not listed above see Table 3.1.010.A (Number of Motor Vehicle Parking Spaces Required).

See Section 3.1.010.E.5 (Parking Adjustments) for parking adjustments.

**Location (Setback from Property Line)**

Front Setback	35'	ⓓ
Side Street Setback	15'	ⓐ
Side Setback	0'	ⓒ
Rear Setback	5'	ⓓ

**Miscellaneous**

Parking Driveway Width ⓓ

Front, ≤ 40 spaces	14' max.
Front, > 40 spaces	18' max.

## T4 Neighborhood (T4N) and Neighborhood—Flex (T4N–F)

**G. T4N & T4N–F Use Table**

Land Use Type <sup>1</sup>	Specific Use Regulations	T4N	T4N-F
<b>Residential</b>			
Single Family Dwelling Units			
Detached		P	P
Two Attached		P	P
More than Two Attached		P	P
Multiple Family Dwelling Units			
Up to Two		P	P
More than Two		P	P
Accessory Structures and Uses, except with the following features:		P	P
Two or More Guest Houses		—	—
Adult Family Boarding and Family Care Homes		P	P
Home Businesses		P	P
Dormitories, Guest and Boarding Houses		U	U
Hotels and Motels		—	—
Transient Vacation Rentals		—	—
Residential Care Homes		U	U
Adult Family Group Living Home		U	U
<b>Recreation, Education &amp; Public Assembly</b>			
Public and Private Parks		P	P
Botanical and Zoological Gardens		U	U
Cemeteries, Mortuaries and Crematoriums		U	U
Churches, Temples, and Monasteries		U	U
Clubs, Lodges and Community Centers			
≤3,000 sf		P	P
>3000 sf		U	U
Golf courses.		U	U
Museums, Libraries and Public Services and Facilities		U	U
School		U	U
Day-care Center		P	P
Studio: Dance or Exercise		U	P

**Key**

P Permitted Use

U Use Permit Required

— Use Not Allowed

**End Notes**

<sup>1</sup> A definition of each listed use type is in Article 7 (Definitions). Any other use or structure which the Planning Director finds to be similar in nature to those listed in this Section and appropriate to the District is allowed.

<sup>2</sup> Use Permit required for a parcel of record as of June 30, 1980. Not permitted on other parcels.

<sup>3</sup> Permitted when developed pursuant to a Federal, State or County housing program.

## T4 Neighborhood (T4N) and Neighborhood—Flex (T4N–F)

**G. T4N & T4N–F Use Table (continued)**

Land Use Type <sup>1</sup>	Specific Use Regulations	T4N	T4N–F
<b>Retail</b>			
Retail Shops and Stores, except with the following features:		U	P
Alcoholic beverage sales	—	U	
On-site Production of Items Sold >5,000 sf	—	U	
Floor Area >10,000 sf	—	U	
Restaurants and Food Services	—	U	
<b>Agricultural</b>			
Diversified and Specialized Agriculture and Nurseries	—	U	
<b>Services</b>			
Medical and Nursing Facilities	U	P	
Household Services	—	P	
Personal Services	—	P	
Professional Offices	—	P	
Animal Hospital	—	U	
<b>Vehicle Sales and Services</b>			
Automobile Sales	—	—	
Automobile Services	—	—	
Automobile Repair	—	—	
Automobile Storage	—	—	

Land Use Type <sup>1</sup>	Specific Use Regulations	T4N	T4N–F
<b>Transportation &amp; Infrastructure</b>			
Private and Public Utilities and Facilities		U	U
Transportation Terminals and Docks		U	U
<b>Telecommunication Facilities</b>			
Communication Facilities	—	U	
<b>Industrial, Manufacturing &amp; Processing</b>			
Construction Material Storage	—	—	
Food Processing and Packaging		—	—
Light Manufacturing		—	—
Warehouse		—	—

**Key**

P	Permitted Use
U	Use Permit Required
—	Use Not Allowed

**End Notes**

<sup>1</sup> A definition of each listed use type is in Article 7 (Definitions). Any other use or structure which the Planning Director finds to be similar in nature to those listed in this Section and appropriate to the District is allowed.

<sup>2</sup> Use Permit required for a parcel of record as of June 30, 1980. Not permitted on other parcels.

<sup>3</sup> Permitted when developed pursuant to a Federal, State or County housing program.

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## 2.2.060 T4 Village Center (T4VC) and Village Center–Flex (T4VC–F)



*General note: the illustrations above are intended to provide a brief overview of the transect zone and are descriptive in nature.*

### A. Zone Intent and Description

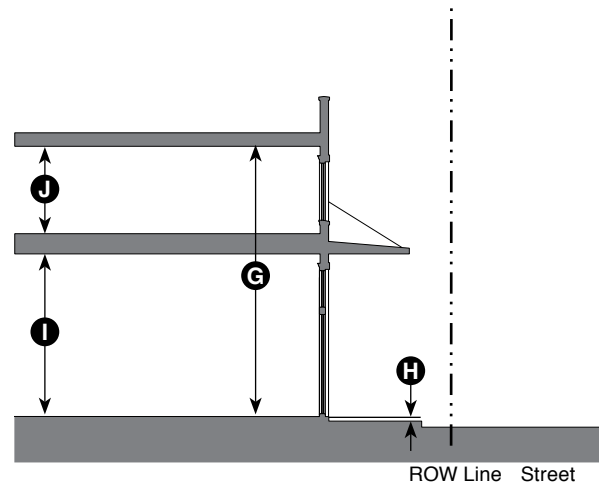
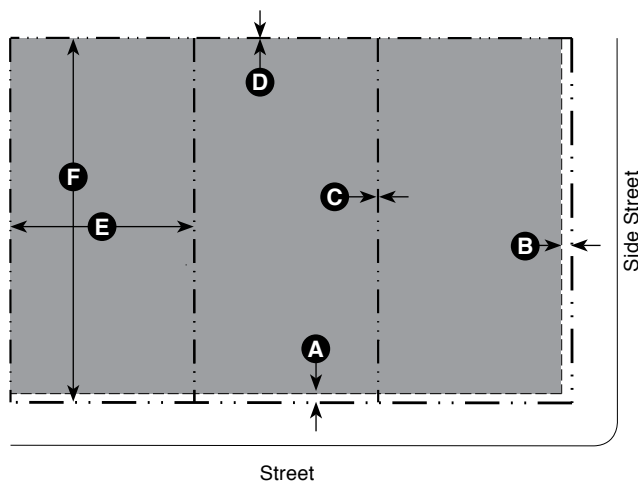
T4 Village Center Zone integrates main-street commercial and retail environments into neighborhoods, providing access to day-to-day amenities within walking distance, creating potential for a transit stop, and serving as a focal point for the neighborhood.

The flex sub-zone provides the same building forms but allows for a more diverse mix of uses.

### B. Allowed Building Types

Building Type	Standards
Carriage House	3.2.040
Townhouse (T4VC–F only)	3.2.090
Mansion Apartment (T4VC–F only)	3.2.100
Apartment House (T4VC–F only)	3.2.110
Courtyard Building	3.2.120
Main Street Mixed-Use	3.2.130

## T4 Village Center (T4VC) and Village Center–Flex (T4VC–F)

**Key**

- ROW / Property Line    ■ Building Area  
 --- Setback Line    ▨ Facade Zone

**C. Building Placement****Build-to Lines (Distance from Property Line/ROW)**

Front	2'	<b>A</b>
Side Street	2'	<b>B</b>
BTL Defined by a Building		
Front	75%	
Side Street	50%	

**Setback (Distance from ROW / Property Line)**

Side		<b>C</b>
Main Building	0'	
Accessory Building	0'	
Rear	0'	<b>D</b>

**Lot Size**

Width	25' min./250' max.	<b>E</b>
Depth	110' min./250' max.	<b>F</b>

**Miscellaneous**

Where existing adjacent buildings are in front of the regulated BTL or front setback, the building may be set to align with the facade of the front most immediately adjacent property.

Minimum lot depth may be reduced up to 20% if access via alley is provided.

**D. Building Form****Building Height**

Main Building		<b>G</b>
Kōloa Town	2.5 stories max.	
All other areas	3 stories max.	
Accessory Building	2 stories max.	
Ground Floor Finish Level		<b>H</b>
Residential	18" min. <sup>1</sup>	
Commercial	6" max.	
Ground Floor Ceiling		<b>I</b>
Commercial	10' min.	
Upper Floor(s) Ceiling	8' min.	<b>J</b>

Ground floor lobbies and common areas in multi-unit buildings may have a 0" to 6" ground floor finish level

Within 25' of the rear property line, buildings may not be more than a half-story taller than the allowed height of adjacent buildings.

Additional building height standards found in Section 3.1.020 (Additional Height Regulations).

**Footprint**

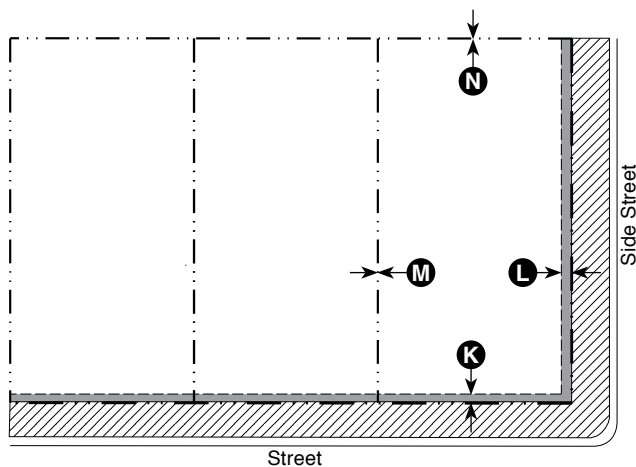
Lot Coverage	80% max.
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**Miscellaneous**

Loading docks and other service entries may not be located on street-facing facades.

<sup>1</sup> Finished grade at main entry must not be greater than 4' from existing grade per Section 8-4.5 of the Comprehensive Zoning Ordinance.

## T4 Village Center (T4VC) and Village Center–Flex (T4VC–F)

**Key**

--- ROW / Property Line	■ Encroachment Area
--- Setback Line	▨ Gallery Encroachment Area

**E. Encroachments and Frontage Types****Encroachments**

Front	2' max.	(K)
Side Street	2' max.	(L)
Side	0'	(M)
Rear	0'	(N)

Awnings and Galleries may encroach further into the street ROW to within 2' of the face of the curb. All other encroachments are not allowed within street ROW.

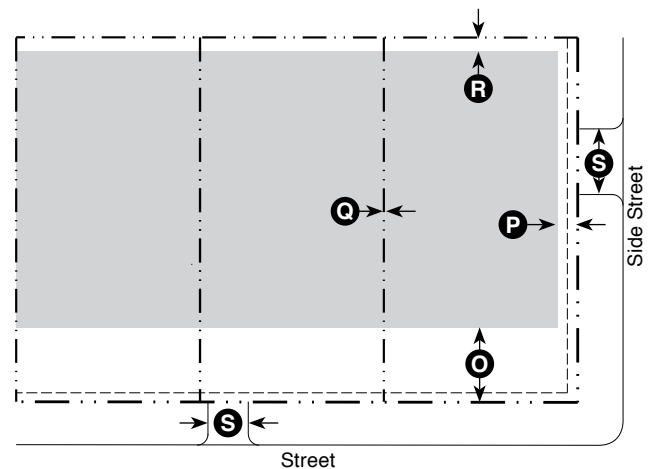
**Allowed Frontage Types**

Lānai — Engaged <sup>2</sup>	Lānai — Projecting <sup>2</sup>
Stoop <sup>2</sup>	Forecourt
Shopfront	Terrace
Gallery	Dooryard

See Section 3.3.030 (Private Frontages Overview) for description of frontage types and additional standards.

**Notes:**

<sup>2</sup>T4VC-F only

**Key**

--- ROW / Property Line	■ Allowed Parking Area
--- Setback Line	

**F. Parking****Required Spaces****Residential Uses**

All Allowed Lodging Uses	1 per 2 rooms min.
All Other Allowed Uses	1 sp/1500 sf min.

Service or Retail Uses	2 sp/1000 sf min.
------------------------	-------------------

**Required Bicycle Parking Spaces****All Non Single Family Uses**

The greater of two spaces or five percent of required off-street vehicular parking spaces.

For parking requirement for use not listed above see Table 3.1.010.A (Number of Motor Vehicle Parking Spaces Required).

See Subsection 3.1.010.E.5 (Parking Adjustments) for parking adjustments.

**Location (Setback from Property Line)**

Front Setback	30' min.	(O)
Side Street Setback	5' min.	(P)
Side Setback	0'	(Q)
Rear Setback	5' min.	(R)

**Miscellaneous**

Parking Driveway Width	(S)
≤ 40 spaces	14' max.
> 40 spaces	18' max.

## T4 Village Center (T4VC) and Village Center–Flex (T4VC–F)

## G. T4VC &amp; T4VC–F Use Table

Land Use Type <sup>1</sup>	Specific Use Regulations	T4VC	T4VC-F	Land Use Type <sup>1</sup>	Specific Use Regulations	T4VC	T4VC-F
<b>Residential</b>				<b>Recreation, Education &amp; Public Assembly</b>			
Single Family Dwelling Units				Public and Private Parks		P	P
Detached		—	—	Botanical and Zoological Gardens		U	U
Two Attached		—	—	Cemeteries, Mortuaries and Crematoriums		—	—
More than Two Attached		—	P	Churches, Temples, and Monasteries		P	P
Multiple Family Dwelling Units				Clubs, Lodges and Community Centers		P	P
Up to Two		—	—	Golf courses.		—	—
More than Two		P <sup>4</sup>	P	Museums, Libraries and Public Services and Facilities		P	P
Accessory Structures and Uses, except with the following features:		P	P	School and Day-care Centers		U	U
Two or More Guest Houses		—	—	Studio: Dance or Exercise		P	P
Adult Family Boarding and Family Care Homes		P <sup>4</sup>	P				
Home Businesses		P <sup>4</sup>	P				
Dormitories, Guest and Boarding Houses		P <sup>4</sup>	P				
Hotels and Motels		—	—				
Transient Vacation Rentals		—	—				
Residential Care Homes		P <sup>4</sup>	P				
Adult Family Group Living Home		P <sup>4</sup>	P				

**Key**

P Permitted Use

U Use Permit Required

— Use Not Allowed

**End Notes**

<sup>1</sup> A definition of each listed use type is in Article 7 (Definitions). Any other use or structure which the Planning Director finds to be similar in nature to those listed in this Section and appropriate to the District is allowed.

<sup>2</sup> Use Permit required for a parcel of record as of June 30, 1980. Not permitted on other parcels.

<sup>3</sup> Permitted when developed pursuant to a Federal, State or County housing program.

<sup>4</sup> Use not allowed on the ground floor, except when located behind an allowed ground floor use.



## T4 Village Center (T4VC) and Village Center–Flex (T4VC–F)

**G. T4VC & T4VC–F Use Table (continued)**

Land Use Type <sup>1</sup>	Specific Use Regulations	T4VC	T4VC-F
<b>Retail</b>			
Retail Shops and Stores, except with the following features:		P	P
Alcoholic beverage sales		P	P
On-site Production of Items Sold >5,000 sf		U	U
Floor Area >10,000 sf		U	U
Restaurants and Food Services		P	P
<b>Agricultural</b>			
Diversified and Specialized Agriculture and Nurseries		U	U
<b>Services</b>			
Medical and Nursing Facilities		P <sup>4</sup>	P
Household Services		P	P
Personal Services		P	P
Professional Offices		P	P
Animal Hospital		U	U
<b>Vehicle Sales and Services</b>			
Automobile Sales		U	U
Automobile Services		P <sup>4</sup>	P
Automobile Repair		U	U
Automobile Storage		U	U

Land Use Type <sup>1</sup>	Specific Use Regulations	T4VC	T4VC-F
<b>Transportation &amp; Infrastructure</b>			
Private and Public Utilities and Facilities		—	U
Transportation Terminals and Docks		—	U
<b>Telecommunication Facilities</b>			
Communication Facilities		—	U
<b>Industrial, Manufacturing &amp; Processing</b>			
Construction Material Storage		—	—
Food Processing and Packaging		—	—
Light Manufacturing		—	—
Warehouse		—	—

**Key**

P	Permitted Use
U	Use Permit Required
—	Use Not Allowed

**End Notes**

<sup>1</sup> A definition of each listed use type is in Article 7 (Definitions). Any other use or structure which the Planning Director finds to be similar in nature to those listed in this Section and appropriate to the District is allowed.

<sup>2</sup> Use Permit required for a parcel of record as of June 30, 1980. Not permitted on other parcels.

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<sup>4</sup> Use not allowed on the ground floor, except when located behind an allowed ground floor use.

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# Article 3: Supplemental Standards for Transect Zones

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## Sub-Article 3.1: General Standards

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### Sections:

- 3.1.010 Additional Parking Regulations in Transect Zones
- 3.1.020 Additional Height Regulations

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### 3.1.010 Additional Parking Regulations in Transect Zones

- A. **Purpose.** The purpose of this Sub-Article is to regulate and ensure the provision of adequate parking and access for motor vehicles and bicycles. This Sub-Article also provides options for adjusting parking requirements and providing parking alternatives. These standards ensure that the parking needs of new land uses and development are met, while being designed and located in a manner consistent with the desired character and development patterns of the community, and as outlined in the Comprehensive Plan.
- B. **Applicability.** The parking standards of this Sub-Article shall apply to the following within the Transect Zones:
  - a. New development;
  - b. Changes in land use; and
  - c. Changes made subsequent to adoption date xx/xx/xxxx, in intensity of buildings or structures of 15 percent or more of:
    - (1) Gross floor area;
    - (2) Seating capacity;
    - (3) Dwelling units;
    - (4) Parking spaces; and/or
    - (5) Other units of measurement listed in Table A (Number of Motor Vehicle Parking Spaces Required).
  - 1. The standards in this Sub-Article are intended to supplement those found in Article 2 (Specific to Zones). Should a conflict between the regulations found in this Sub-Article and Article 2 (Specific to Zones) arise, the standards found in Article 2 (Specific to Zones) shall prevail.
  - 2. All parking spaces provided shall meet the location, design, landscaping and improvement requirements in this Sub-Article and in Sub-Article 2.2 (Transect Zones).
- C. **Bicycle Parking**
  - 1. The following regulations are applicable whenever the provisions of Subsection B (Applicability) have been met.
    - a. Bicycle spaces shall be provided in accordance with the following standards:
      - (1) Bicycle parking shall consist of either a lockable enclosure (locker) in which the bicycle is stored or a rack to which the bicycle can be locked;
      - (2) Lockers and racks shall be securely anchored to the pavement or a structure;

- (3) Racks shall be designed and installed to permit the frame and one or both wheels to be secure;
  - (4) Pervious pavements or gravel may be used where appropriate as determined by the Director;
  - (5) When located within a parking area: curbs, fences, planter areas, bumpers, or similar barriers shall be installed and maintained for the mutual protection of bikes, motor vehicles and pedestrians, unless determined by the Director to be unnecessary; and
  - (6) Bicycle parking shall be placed in a convenient, highly-visible, active, and well-lit location not more than 100 feet walking distance of the main entrance, but shall not interfere with pedestrian movements.
2. **Bicycle Parking Space Dimensions.** All bicycle parking shall meet the following minimum dimensions:
- a. Each bicycle parking space shall include a minimum area of 72 inches in length and 24 inches in width that is clear of obstructions;
  - b. No part of the rack shall be located closer than 30 inches to a wall or other obstruction;
  - c. The front or back of the rack shall be located no less than 48 inches from a sidewalk or pedestrian way; and
  - d. A minimum of 30 inches shall be provided between adjoining racks.

**D. General Parking Standards**

1. **Storage of Unregistered or Inoperable Motor Vehicles.** No more than one unregistered or inoperable motor vehicle shall be stored on any residentially zoned lot or parcel of land, and no such unregistered or inoperable vehicle shall be stored within the front yard setback.
2. **Storage and/or Parking of Heavy Trucks, Trailers, Recreational Vehicles, Campers, and Similar Vehicles.** Parking or storage of heavy trucks (vehicles over 20,000 GVW), trailers, recreational vehicles, campers, or similar vehicles in any zone for residential or storage purposes shall be prohibited except as follows:
  - a. Shall be stored in the rear or interior side setback behind the front of the building, garage, or carport;
  - b. There is a principal use of the property, to which such storage would be accessory;
  - c. The required parking on the parcel is maintained in addition to the area used for the stored vehicle(s).
3. **Off-Site/Premise Parking.** If a property owner is unable to provide the required parking on-site, the owner may at the discretion of the Director satisfy the parking requirement provided the following standards are met.
  - a. Required parking may be provided in off-street parking facilities on another property within 800 feet of the site proposed for development, as measured:
    - (1) Along the street right of way; or
    - (2) Between the closest edge of such parking facilities to the closest edge of the site being served.

- b. Pedestrian access between the use or site and the off-premise parking area shall be a sidewalk or walkway.
- c. The owner shall provide a recorded parking agreement reflecting the arrangement with the other site. The shared parking arrangement shall require a recorded covenant running with the land, recorded by the owner of the parking lot, guaranteeing that the required parking will be maintained exclusively for the uses served and remain for the duration of the use.
- d. If the off-premise parking facility is shared, the Director may allow a reduction in the number of required parking spaces. The reduction shall be based on the shared parking practices procedures outlined in this Section.

**E. Number of Motor Vehicle Parking Spaces Required**

1. **Parking Requirements.** The number of required motor vehicle spaces for residential, retail, lodging and service uses are regulated in Sub-Article 2.2 (Transect Zones). For those regulated uses, the requirements of Table A (Number of Motor Vehicle Parking Spaces Required) shall not apply. For all other uses not listed in Sub-Article 2.2 (Transect Zones), the requirements of Table A (Number of Motor Vehicle Parking Spaces Required) shall apply.
2. **Recreation, Education, and Assembly Uses**
  - a. Under 5,000 square feet shall not be required to provide parking spaces.
  - b. Over 5,000 square feet, the requirements of Table A (Number of Motor Vehicle Parking Spaces Required) below shall apply, except the parking requirement may be reduced by one of the following:
    - (1) Parking requirements based on gross square feet may take a reduction of 5,000 square feet; or
    - (2) Parking requirements not based on gross square feet may take a reduction of up to 12 spaces.
3. **Maximum Number of Parking Spaces.** Developments over 20,000 square feet shall not exceed the minimum number of parking spaces by more than five percent. The Director may allow an additional five percent increase in the number of parking spaces if an applicant can show through a parking demand study that additional parking spaces are required.

4. **Accessory Building Parking.** No parking spaces are required for accessory buildings 500 square feet or less.

<b>Table 3.1.010.A: Number of Motor Vehicle Parking Spaces Required</b>	
<b>Use</b>	<b>Number of Required Spaces</b>
<b>Agricultural</b>	
Plant Nursery	1 per 300 interior sf plus 1 per 1,000 outdoor sf
<b>Residential</b>	
Community Care Facility	1 per 6 beds plus 1 per employee
Group Home	
≤ 8 Residents, in a Home	1 per 2 beds
> 8 Residents	1 per 6 beds plus 1 per employee
Home Office/Home Business	1 per employee
Live/Work	Residential parking requirement plus 1 per 300 gsf of work area
<b>Recreation, Education, Public Assembly</b>	
Colleges and Universities	1 per 4 students at full time equivalent (FTE)
Community/Public Safety Facility	1 per 300 gsf*
Recreation Facility	
Bowling Alleys	1 per 300 gsf
Health/Fitness Facility	1 per 300 gsf
Golf Courses and Related Facilities	4 per hole plus 1 per employee
Private Swim Clubs and Recreation Centers	1 per 75 gsf of water area
Recreational Vehicle Park	1 per recreational vehicle and/or travel trailer plus required spaces for accessory area
Skating Rinks: Ice or Roller	1 per 300 gsf
Tennis, Racquetball, or Handball Courts	2 per court
Other	1 per 4 people at maximum capacity plus 1 space per employee
Community Oriented Civic Facility	
Library, Museum	1 per 500 gsf
Theater, Cinema, or Performing Arts Facility	1 per 4 persons at maximum capacity
Meeting Facility, Public or Private	1 per 200 sf plus 1 per 4 people at maximum capacity
School, Public or Private	
Grades K-8	1 per employee plus 1 per 2 classrooms
Grades 9-12	1 per employee plus 1 per 4 students
Trade	1 per employee plus 1 per 3 students at full time equivalent (FTE)
Studio: Specialized Education & Training	1 per 400 gsf
Water/Marine Oriented Facilities	
Marina	1 per 2 boat slips + 1 per 4 dry storage spaces



Table 3.1.010.A: Number of Motor Vehicle Parking Spaces Required (continued)	
Use	Number of Required Spaces
<b>Vehical Sales and Services</b>	
All Allowed Uses	1 per 1,000 gsf
<b>Transportation &amp; Infrastructure</b>	
All Allowed Uses	1 per 1,000 gsf
<b>Telecommunication Facilities</b>	
All Allowed Uses	1 per 1,000 gsf

### 5. Parking Adjustments

- a. **Transit.** A parking reduction of up to 20 percent may be approved by the Director for any use within one-quarter mile of an active bus stop or other transit stop.
- b. **On-Street Parking Spaces.** Spaces adjacent to the lot may count towards the required residential guest parking and non-residential use parking requirements.
- c. **Bicycle Parking Substitution.** Required vehicular parking spaces may be reduced at a rate of two vehicular parking spaces for every one bicycle parking space provided above the minimum required by Subsection C (Bicycle Parking). Reduction in parking shall not exceed a maximum of 20 percent of the required motor vehicle parking spaces.
- d. **Shared Parking Simplified.** For two use types, shared parking shall be calculated as follows. The sum of the required parking for the two use types shall be divided by the factor listed in the table below. If the use is not listed below then the shared parking shall be based on Subsection e (Shared Parking Study) below.

Table 3.1.010.B: Shared Parking Factor for Two Uses				
	Residential	Lodging	Office	Retail
Residential	1.0	1.1	1.4	1.2
Lodging	1.1	1.0	1.7	1.3
Office	1.4	1.7	1.0	1.2
Retail	1.2	1.3	1.2	1.0

- e. **Shared Parking Study.** When three or more use types share parking or a use type is not listed in Table A (Number of Motor Vehicle Parking Spaces Required) above, the amount of required parking may be reduced as follows:
  - (1) The Director may grant a reduction in the parking requirements set forth in this Section in the following cases:
    - (a) Where uses in the same or adjoining development, having different peak hour demand, seek to share parking. The applicant must submit to the Director an analysis and substantiated projections of peak parking demand for the entire development to justify the shared use of parking spaces for separate uses.
    - (b) Where the special nature of a certain development (e.g., special types of housing projects inhabited by persons with low or no automobile

ownership) does not require the amount of parking listed in Table B (Shared Parking Factor for Two Uses).

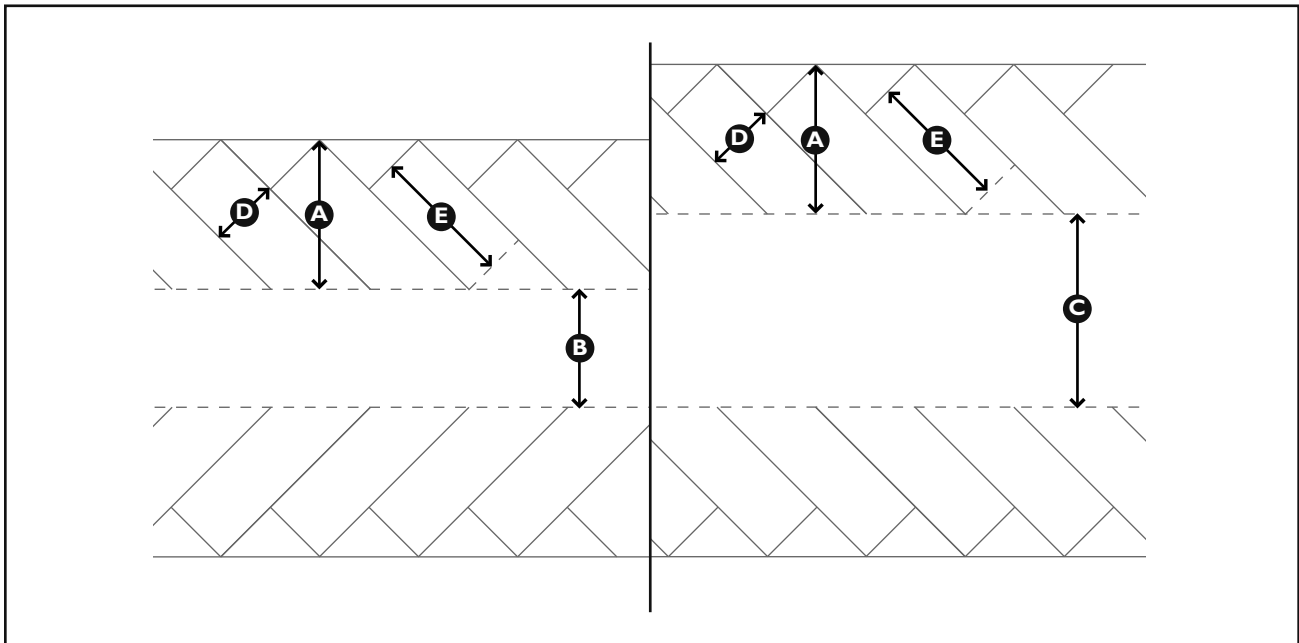
- (c) Where fewer parking spaces are needed due to special designs and traffic mitigation measures incorporated in the parking lot design and circulation plan.
- (2) The Director, and Design Review Board as appropriate, shall consider the following in determining whether a reduction is warranted:
  - (a) The likelihood that the reduced number of parking spaces can satisfy demand;
  - (b) The amount of time during the year when the number of spaces provided may be insufficient and the amount of resulting parking overflow;
  - (c) The impact of periodic overflows upon the public streets and other parking facilities; and
  - (d) The nature of surrounding land uses, character of surrounding road system, and nearby circulation pattern.
- (3) Unless requested by Director, the burden to demonstrate that a reduction in parking requirements is warranted shall rest with the applicant.

#### F. **Parking Spaces, Lot Design and Layout**

1. **Accessible Parking.** All parking facilities that require accessible parking spaces shall ensure that a portion of the total number of required parking spaces shall be specifically designated, located, and reserved for use by persons with physical disabilities, in accordance with the standards in the federal Americans with Disabilities Act (ADA).
2. **Dimensional Standards for Parking Spaces and Aisles**
  - a. **General.** Standard car parking spaces and parking lot aisles shall comply with the minimum dimension standards established in Table A (Number of Motor Vehicle Parking Spaces Required) above.
  - b. **Vertical Clearance.** All parking spaces shall have a minimum overhead clearance of seven feet.
  - c. **Reduction for Sidewalk and Planter Overhangs.** When a parking space abuts a sidewalk or planter, the front two feet of the required parking space length may overhang the planter or sidewalk provided that wheel stops or curbing are provided and the remaining area outside of the overhang meets the minimum width requirements of the sidewalk or planter.
  - d. **Spaces near Obstructions**
    - (1) When the side of a parking space abuts a wall or other structure that is taller than six inches, the width of the parking space shall be increased by two feet.
    - (2) The provision in Subsection d.(1) does not apply to parking spaces abutting support columns in a parking garage.
  - e. **Dimensional Adjustments.** Parking structures may be subject to dimensional adjustments based on utilization, but in no case shall the standard parking space width be less than eight feet. Reduction in design standards shall be subject to approval by the Director or County Engineer.

### 3. Location

- a. Location of required on-site parking in all zones is regulated by setbacks set forth in Article 2 (Specific to Zones), and the following:
  - (1) Parking lots with 20 or fewer spaces: all off-street parking areas shall be separated at least five feet from buildings in order to provide a sidewalk between the building and parking area.
  - (2) Parking lots with more than 20 spaces: all off-street parking areas shall be separated at least 10 feet from buildings in order to make room for a sidewalk, landscaping, and other planting between the building and the parking area.
  - (3) This separation may be eliminated to the rear of buildings in areas designed for unloading and loading of materials.
- b. Required parking is not permitted in the required front yard setbacks.



**Table 3.1.010.C: Minimum Dimensional Requirements for Off-Street Parking Spaces and Aisles**

Angle	Parking Row Depth <b>A</b>	Drive Aisle Width		Space Width <b>D</b>	Space Length <b>E</b>
		One-Way <b>B</b>	Two-Way <b>C</b>		
Parallel	8' <sup>1</sup>	12'	20'	8' <sup>1</sup>	20'
30°	17'	11'	24'	9'	20'
45°	20'	13'	24'	9'	20'
60°	21'	18'	24'	9'	18'
Perpendicular	18'	24'	24'	9'	18'
Tandem	36'	24'	24'	9'	36'

<sup>1</sup> Width of on-street parallel parking shall be determined by standards set forth in Sub-Article 5.3 (Thoroughfare Standards).

- c. Required parking in the exterior side yard is allowed when the parking space is a minimum of 20 feet from the exterior side property line and the parking space is located behind the front of the building.
- 4. **Access.** The following standards are applicable to off-street parking lot access design and include parking for single-family residences unless modified by Article 2 (Specific to Zones).
  - a. Each required off-street parking space shall open directly onto an aisle or driveway as specified in Table C (Minimum Dimensional Requirements for Off-Street Parking Spaces and Aisles). All off-street parking facilities shall be designed with an appropriate means of vehicular access to a street or to an alley to cause the least interference with traffic movements.
  - b. Parking spaces in any parking lot or parking structure for any use other than single-family dwellings shall not be designed or located so as to permit a vehicle to enter or exit a parking space directly from a public thoroughfare and shall meet the following standards.
    - (1) Ingress to and egress from parking spaces shall be from an on-site aisle or driveway.
    - (2) Exception, parking spaces within lots of up to eight spaces may be designed or located so as to permit a vehicle to enter or exit a parking space directly from a public alley or rear lane.
  - c. Driveways to the public thoroughfares shall be by forward motion of the vehicle.
  - d. Regarding any driveway from public thoroughfares to off-street parking areas in all residential zones, any driveway that is longer than 150 feet shall have a minimum width and turnaround that comply with Fire Department requirements and County Engineering Standards.
  - e. Vehicular entrances to parking structures shall be a maximum of 20 feet wide so as not to dominate the street frontage of buildings.
  - f. The design and construction of all off-street parking access drives shall meet the requirements of the County Engineering Standards.
- 5. **Materials**
  - a. All off-street parking areas and driveways shall be surfaced with materials as approved by the County Engineer and maintained in accordance with the Engineering Standards.
  - b. Driveway materials shall extend and include the area between the property line and the street.
  - c. The use of pervious or semi-pervious parking area surfacing materials—including, but not limited to “grasscrete,” or recycled materials such as glass, rubber, used asphalt, brick, block and concrete—may be approved by the County Engineer for required vehicular surface area on a site, provided such areas are properly maintained. Where possible, such materials should be used in areas proximate to and in combination with on-site stormwater control devices.
- 6. **Tandem Parking.** Tandem parking is allowed in all zones for all residential uses as follows:

- a. Both tandem parking spaces satisfy the parking requirement of one residential unit; and
- b. Neither of the tandem parking spaces shall be for required accessible parking spaces.

**G. Loading and Service Areas**

1. **Site Plans.** Site plans involving uses which require loading facilities must be designed to ensure the functional separation between loading spaces/truck turnaround areas, and between vehicular/pedestrian areas.
2. **Internal Site Circulation Lanes.** Internal site circulation lanes are to be designed with adequate turning radii to accommodate the size and efficient maneuvering of delivery vehicles.
3. **Location**
  - a. Outdoor storage, trash collection, and loading areas are required to be located on the same lot as the building or lot served by the loading area.
  - b. Outdoor storage, trash collection, and loading areas shall not be located within 20 feet of the public or private rights-of-way and shall not be visible or shall be screened from public or private rights-of-way.
  - c. Located to maintain the maximum possible distance from adjacent single-family development while also complying with the other applicable standards of this Form-Based Code.
  - d. Shopping cart containment areas shall not be located adjacent to public spaces, plazas, or commercial streets.
4. **Outdoor Loading Bay Area Standards.** Outdoor loading bay area standards are as follows:
  - a. **Dimensions.** Each outdoor loading bay area's minimum dimensions shall be 12 feet wide and 60 feet long. At no time shall any part of a truck or van be allowed to extend into a public thoroughfare or right-of-way while the truck or van is being loaded or unloaded. If the outdoor loading area is covered, but not totally enclosed, the minimum height of the outdoor loading bay area shall be 14 feet.
  - b. **Maneuvering Space.** Adequate off-street truck maneuvering space shall be provided on the lot and not within any public street right-of-way or other public lands.

- c. **Obstructions.** All loading spaces and maneuvering spaces shall be accessible at all times.
- d. **Fire Exit or Emergency Access.** Off-street loading facilities shall be designed to not interfere with any fire exits or emergency access facilities to either a building or site.

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### 3.1.020 Additional Height Regulations

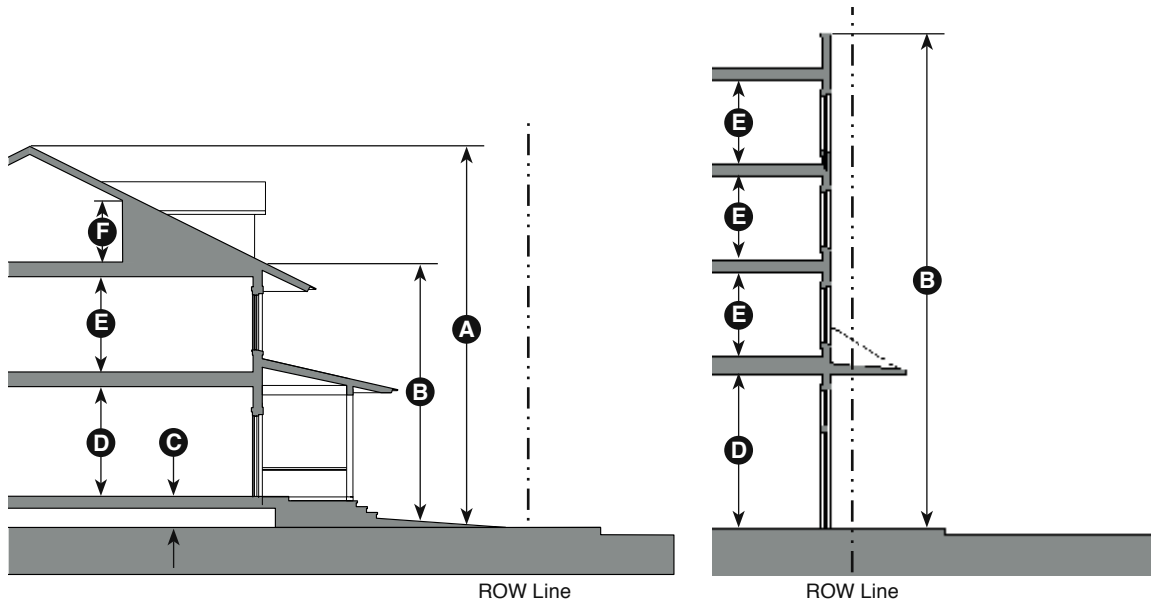
This section establishes the methodology used to measure the height of a building. The methodology applies to primary and accessory buildings and structures. The maximum height of a building or structure is established in Article 2 (Specific to Zones).

This Form-Based Code uses several methods to regulate the building height, including regulating the overall building height, the height to the eave or parapet and the number of stories. These methods are used together to help ensure that new development is consistent with the character and scale of Kaua'i County's villages and neighborhoods.

- A. **Overall Building Height.** Overall building height shall be measured vertically from the finished grade adjacent to the building exterior to the building height plane.
  - 1. **Building Height Plane.** The building height plane is an imaginary plane that is used to determine the height of the building. It is determined as follows:
    - a. The plane shall be parallel to the natural grade of the site; and
    - b. The plane shall be set vertically at the highest point of the coping of a flat roof, the top of a mansard roof, or the highest point of the highest pitched roof.
- B. **Building Height to Eave/Parapet.** Building height to eave/parapet shall be measured vertically from the finished grade adjacent to the building exterior to the eave or top of the parapet.
- C. **Building Height by Story.** A story shall be measured as follows for purposes of regulating the height of the building:
  - 1. A story that meets the height regulations in Table A (Maximum Height of a Floor) shall be counted as one story. A story that exceeds the height regulations in Table A below shall be counted as two or more stories.
  - 2. Basements with an exterior exposed wall greater than four feet shall count as a story. The height of the exterior wall shall be measured from the finished grade to the finished floor of the story above.
- D. **Half-story.** Finished attics shall be measured as a knee wall maximum height of five feet and a finished floor to finished ceiling maximum height of nine feet.
- E. **Knee Wall.** A short wall, not necessarily high enough for a person to stand up next to, that supports rafters and encloses a finished attic or the top half-story of a building.

Table 3.1.020.A Maximum Height of a Floor <sup>1</sup>			
	Non-Residential, except Civic Uses	Multi-Family Residential	Single-Family Residential
Single Story	20' max.	16' max.	14' max.
Multi-Story Buildings			
Ground Floor	16' max.	16' max.	14' max.
All Other Floors	12' max.	12' max.	14' max.

<sup>1</sup> All heights are measured finished floor to highest point of the finished ceiling.



Transect zone building height measurements (not drawn to scale)

- Key**
- |                                  |                                   |                      |
|----------------------------------|-----------------------------------|----------------------|
| <b>A</b> Overall Building Height | <b>B</b> Height to Eave / Parapet | <b>C</b> Crawl Space |
| <b>D</b> Ground Floor            | <b>E</b> Other Floors             | <b>F</b> Knee Wall   |

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## Sub-Article 3.2: Specific to Building Types

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### Sections:

3.2.010	Purpose
3.2.020	Applicability
3.2.030	Building Types Overview
3.2.040	Carriage House
3.2.050	Single-Unit House, Village
3.2.060	Single-Unit House, Cottage
3.2.070	Cottage Court
3.2.080	Duplex
3.2.090	Townhouse
3.2.100	Mansion Apartment
3.2.110	Apartment House
3.2.120	Courtyard Building
3.2.130	Main Street Mixed-Use

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### 3.2.010 Purpose

This Sub-Article sets forth the standards applicable to the development of each building type. These standards supplement the standards for each zone that the building types are allowed within. These standards are intended to ensure development that reinforces the highly-valued existing character and scale of Kauaʻi's neighborhoods and town centers.

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### 3.2.020 Applicability

- A. The requirements of this Sub-Article shall apply to all proposed development within the transect zones, and shall be considered in combination with the standards for the applicable zone in Sub-Article 2.2 (Transect Zones) and in the rest of this Sub-Article.
- B. The standards set forth in this Sub-Article shall be used in non-transect zones as guidelines.

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### 3.2.030 Building Types Overview

- A. This section provides an overview of the allowed building types. The names of the building types are not intended to limit uses within a building type. For example, a single-unit house may have non-residential uses within it, such as a restaurant or office.
- B. The lot size standards for each building type designate the range of lot sizes that the given building type is allowed to be built on. If the lot is smaller or larger than the allowed lot size, a different building type must be selected.





Table 3.2.030.A	Building Types General				
Building Type	Transect Zones				
	<p><b>Carriage House:</b> This Building Type is an accessory structure typically located at the rear of a lot. It typically provides either a small residential unit, home office space, or other small commercial or service use that may be above a garage or at ground level. This Type is important for providing affordable housing opportunities and incubating small businesses within walkable neighborhoods.</p> <table border="1"> <tr> <td>T3VE</td><td>T3VN.1</td></tr> <tr> <td>T4N</td><td>T4VC</td></tr> </table>	T3VE	T3VN.1	T4N	T4VC
T3VE	T3VN.1				
T4N	T4VC				
	<p><b>Single-Unit House, Village:</b> This Building Type is a medium-sized detached structure on a medium-sized lot that incorporates one unit. It is typically located within a primarily single-family residential neighborhood in a walkable urban setting, potentially near a neighborhood main street.</p> <table border="1"> <tr> <td>T3VE</td><td>T3VN.1</td></tr> <tr> <td>T4N</td><td>T4VC</td></tr> </table>	T3VE	T3VN.1	T4N	T4VC
T3VE	T3VN.1				
T4N	T4VC				
	<p><b>Single-Unit House, Cottage:</b> This Building Type is a small detached structure on a small lot that incorporates one unit. It is typically located within a primarily single-family residential neighborhood in a walkable urban setting, potentially near a neighborhood main street. This Type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.</p> <table border="1"> <tr> <td>T3VE</td><td>T3VN.1</td></tr> <tr> <td>T4N</td><td>T4VC</td></tr> </table>	T3VE	T3VN.1	T4N	T4VC
T3VE	T3VN.1				
T4N	T4VC				
	<p><b>Cottage Court:</b> This Building Type consists of a series of small, detached structures, providing multiple units arranged to define a shared court that is typically perpendicular to the street. The shared court takes the place of a private rear yard and becomes an important community-enhancing element of this Type. This Type is appropriately scaled to fit within primarily single-family or medium-density neighborhoods. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.</p> <table border="1"> <tr> <td>T3VE</td><td>T3VN.1</td></tr> <tr> <td>T4N</td><td>T4VC</td></tr> </table>	T3VE	T3VN.1	T4N	T4VC
T3VE	T3VN.1				
T4N	T4VC				

## Key

T# Allowed

T# Allowed in Flex Zone

T# Not Allowed



Table 3.2.030.A Building Types General (continued)		Transect Zones	
Building Type			
 <p><b>Duplex:</b> This Building Type is a small to medium-sized structure that consists of two side-by-side or stacked dwelling units, both facing the street, and within a single building massing. This Type has the appearance of a medium to large single-family home and is appropriately scaled to fit within primarily single-family neighborhoods or medium-density neighborhoods. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.</p>		<div>T3E</div> <div>T3VN.1</div> <div>T4N</div> <div>T4VC</div>	
 <p><b>Townhouse:</b> This Building Type is a small to medium-sized attached structure that consists of three to eight dwelling units placed side-by-side. This Type is typically located within medium-density neighborhoods or in a location that transitions from a primarily single-family neighborhood into a neighborhood main street. This Type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability. Syn: <b>Rowhouse</b></p>		<div>T3E</div> <div>T3VN.1</div> <div>T4N</div> <div>T4VC</div>	
 <p><b>Mansion Apartment:</b> This Building Type is a medium structure that consists of three to six side-by-side and/or stacked dwelling units, typically with one shared entry or individual entries along the front. This Type has the appearance of a medium-sized family home and is appropriately scaled to fit in sparingly within primarily single-family neighborhoods or into medium-density neighborhoods. This Type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.</p>		<div>T3E</div> <div>T3VN.1</div> <div>T4N</div> <div>T4VC</div>	
 <p><b>Apartment House:</b> This Building Type is a medium- to large-sized structure that consists of seven to 12 side-by-side and/or stacked dwelling units, typically with one shared entry. This Type is appropriately scaled to fit in within medium-density neighborhoods or sparingly within large lot predominantly single-family neighborhoods. This Type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.</p>		<div>T3E</div> <div>T3VN.1</div> <div>T4N</div> <div>T4VC</div>	

Key

T# Allowed

T# Allowed in Flex Zone

T# Not Allowed

Table 3.2.030.A	Building Types General (continued)	Transect Zones	
Building Type		T3VE	T3VN.1
		T4N	T4VC
	<b>Courtyard Building:</b> This Building Type is a medium- to large-sized structure that consists of multiple side-by-side and/or stacked dwelling units accessed from a courtyard or series of courtyards. Each unit may have its own individual entry, or up to three units may share a common entry. This Type is appropriately scaled to fit in sparingly within primarily single-family or medium-density neighborhoods. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.		
	<b>Main Street Mixed-Use:</b> This Building Type is a small- to medium-sized structure, typically attached, intended to provide a vertical mix of uses with ground-floor commercial, service, or retail uses and upper-floor commercial, service, or residential uses. Smaller versions of this Type include live/work units. This Type makes up the primary component of a neighborhood main street and portions of a downtown main street, therefore being a key component to providing walkability.	T3VE	T3VN.1
		T4N	T4VC

**Key****T#** Allowed**T#** Allowed in Flex Zone**T#** Not Allowed

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### 3.2.040 Carriage House



*One-and-a-half-story Carriage House connected to main house by a breezeway*



*Two and two-and-a-half-story Carriage Houses lining an alley*



*One-and-a-half-story Carriage House with an external stair*

#### A. Description

**Carriage House:** This Building Type is a detached accessory structure typically located at the rear of a lot. This structure typically provides either a small residential unit, home office space, or other small commercial or service use that may be above a garage or at ground level. This Building Type is important for providing affordable housing opportunities and incubating small businesses within walkable neighborhoods.

**T3VE** **T3VN.1** **T4N** **T4VC**

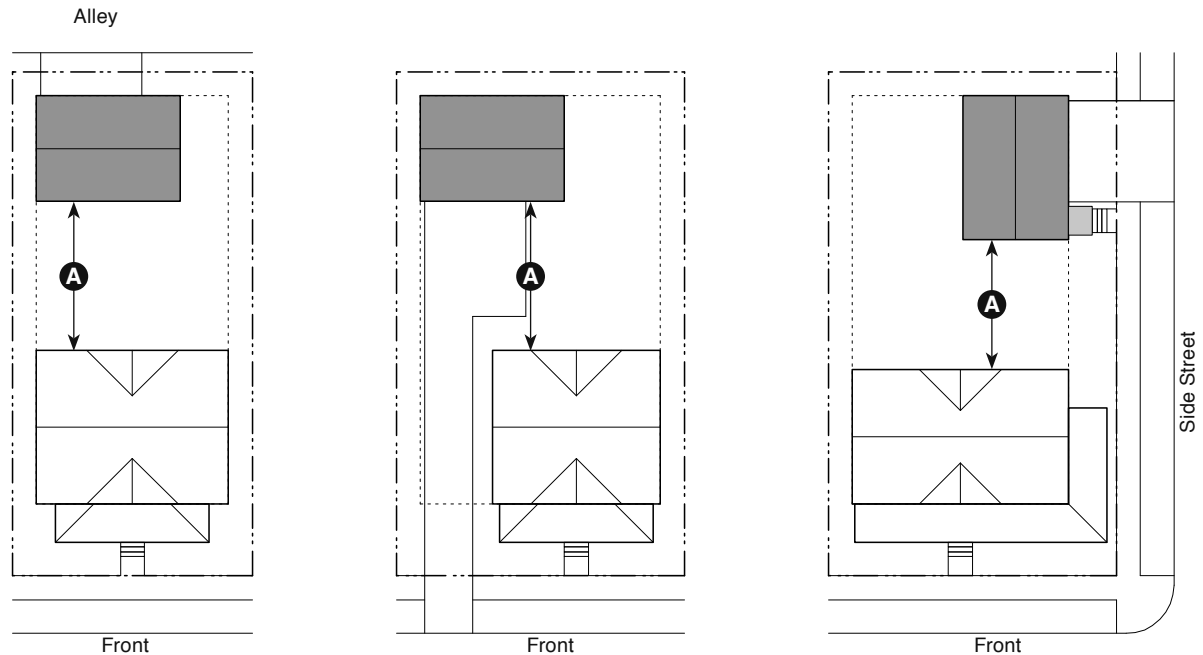
**T#** Allowed **T#** Allowed in Flex Zone **T#** Not Allowed

#### B. Lot

Allowed on lots when accompanying a Residential Use.

The Carriage House Building Type is the only detached accessory dwelling unit allowed in transect zones.

*General Note: Photos on this page are illustrative, not regulatory.*

**Key**

- ROW / Property Line    ■ Building  
 - - - - - Setback Line    ■ Frontage

**C. Number of Units**

Units 1 max.

**D. Building Size and Massing****Height**

Per building form standards based on transect zone.

**Main Body**

Separation from Main

**A**

Building 10' min.<sup>1</sup>

<sup>1</sup> Carriage Houses may be connected to the main building by uninhabitable space such as a breezeway.

**Miscellaneous**

Accessory structures shall not be taller or have a larger footprint than the main building on the lot.

**E. Allowed Frontages**

Carriage Houses are not required to have a Frontage Type.

**F. Pedestrian Access**

Main Entrance Location Side Street, Alley, or internal to the lot

The main entrance may not be through a garage.

**G. Vehicle Access and Parking**

Parking may be accessed from the alley, side street or front.

Parking may be accessed from the front only when there is no adjacent alley or side street.

All parking spaces provided shall be separate from the principal building and may be enclosed, covered or open.

**H. Private Open Space**

The private open space requirements for the lot shall be determined by the principal building on the lot. No additional private open space is required for a Carriage House.

### 3.2.050 Single-Unit House, Village



*Single-story village house with engaged front lānai*



*Single-story village house*



*Village house form with commercial use*

#### A. Description

**Single-Unit House, Village:** This Building Type is a medium-sized detached structure on a medium-sized lot that incorporates one unit. It is typically located within a primarily single-family residential neighborhood in a walkable urban setting, potentially near a neighborhood main street.

**T3VE**

**T3VN.1**

**T4N**

**T4VC**

**T#**

Allowed

**T#**

Allowed in Flex Zone

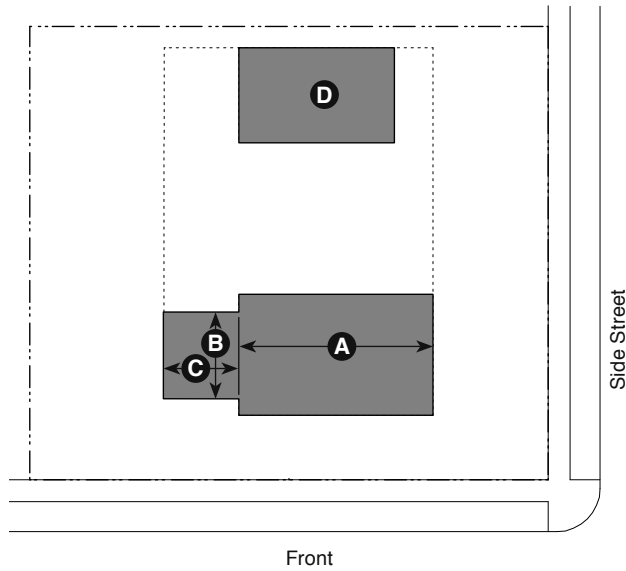
**T#**

Not Allowed

*General Note: Photos on this page are illustrative, not regulatory.*



## Single-Unit House, Village

**Key**

- ROW / Property Line    ■ Building  
 ..... Setback Line

**B. Number of Units**

Units 1 max.

**C. Building Size and Massing****Height**

Per building form standards based on transect zone.

**Main Body**

Width 48' max. **(A)**

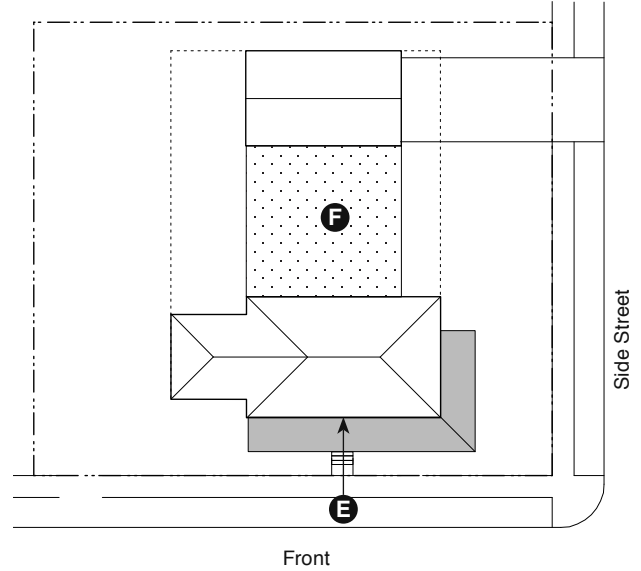
**Secondary Wing(s)**

Width 30' max. **(B)**

Depth 30' max. **(C)**

**Miscellaneous**

Accessory structures shall not be taller or have a larger footprint than the main building on the lot. **(D)**

**Key**

- ROW / Property Line    ■ Frontage  
 ..... Setback Line    □ Private Open Space

**D. Allowed Frontages**

Lānai, Engaged

Lānai, Projecting

**E. Pedestrian Access**

Main Entrance Location Front **(E)**

**F. Vehicle Access and Parking**

Parking may be accessed from the alley, side street or front.

Parking may be accessed from the front only when there is no adjacent alley or side street.

Parking spaces may be enclosed, covered or open.

**G. Private Open Space**

Required private open space must be located behind the main body of the house. **(F)**

### 3.2.060 Single-Unit House, Cottage



*Single story cottage house with side projecting lanai*



*Single story cottage with engaged front lanai*



*Single story cottage with commercial use*

#### A. Description

**Single-Unit House, Cottage:** This Building Type is a small detached structure on a small lot that incorporates one unit. It is typically located within a primarily single-family neighborhood in a walkable urban setting, potentially near a neighborhood main street. This Type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

**T3VE**

**T3VN.1**

**T4N**

**T4VC**

**T#**

Allowed

**T#**

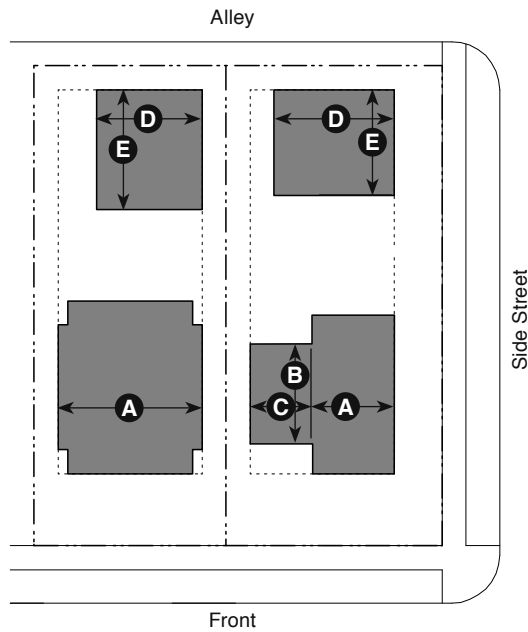
Allowed in Flex Zone

**T#**

Not Allowed

*General Note: Photos on this page are illustrative, not regulatory.*

## Single-Unit House, Cottage

**Key**

- ROW / Property Line    ■ Building  
 ..... Setback Line

**B. Number of Units**

Units 1 max.

**C. Building Size and Massing****Height**

Per building form standards based on transect zone.

**Main Body**

Width 36' max. **(A)**

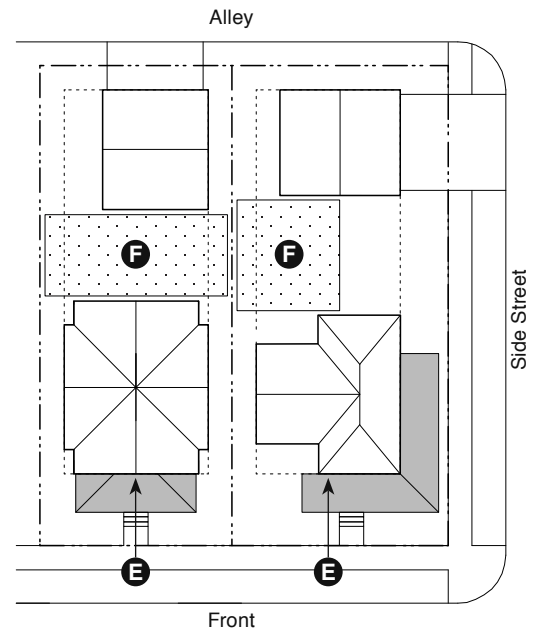
**Secondary Wing(s)**

Width 30' max. **(B)**

Depth 30' max. **(C)**

**Miscellaneous**

Accessory structures shall not be taller or have a larger footprint than the main building on the lot. **(D)**

**Key**

- ROW / Property Line    ■ Frontage  
 ..... Setback Line    □ Private Open Space

**D. Allowed Frontages**

Lānai, Projecting

Stoop

**E. Pedestrian Access**

Main Entrance Location Front **(E)**

**F. Vehicle Access and Parking**

Parking shall be accessed from a side street or alley.

Parking spaces may be enclosed, covered or open.

**G. Private Open Space**

Required private open space must be located behind the main body of the house. **(F)**



### 3.2.070 Cottage Court



*Prairie-style cottage court with raised stoop entries*



*A Cottage Court with a center drive and small stoops*



*Cottage court with a heavily-landscaped court*

#### A. Description

**Cottage Court:** This Building Type consists of a series of small, detached structures, providing multiple units arranged to define a shared court that is typically perpendicular to the street. The shared court takes the place of a private rearyards and becomes an important community-enhancing element of this Type. This Type is appropriately scaled to fit within primarily single-family or medium density neighborhoods. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability. This Building Type is not typically used on a corner lot.

T3VE

T3VN.1

T4N

T4VC

T#

Allowed

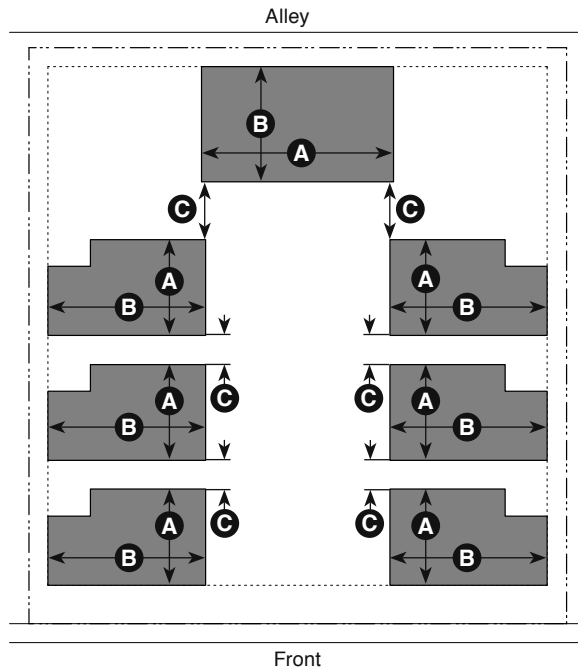
T#

Allowed in Flex Zone

T#

Not Allowed

*General Note: Photos on this page are illustrative, not regulatory.*

**Key**

- ROW / Property Line    ■ Building  
 - - - - - Setback Line

**B. Number of Units**

Units 3 min.; 9 max.

**C. Building Size and Massing****Height**

Height 1 ½ stories max.

**Main Body**

Width 32' max. **(A)**

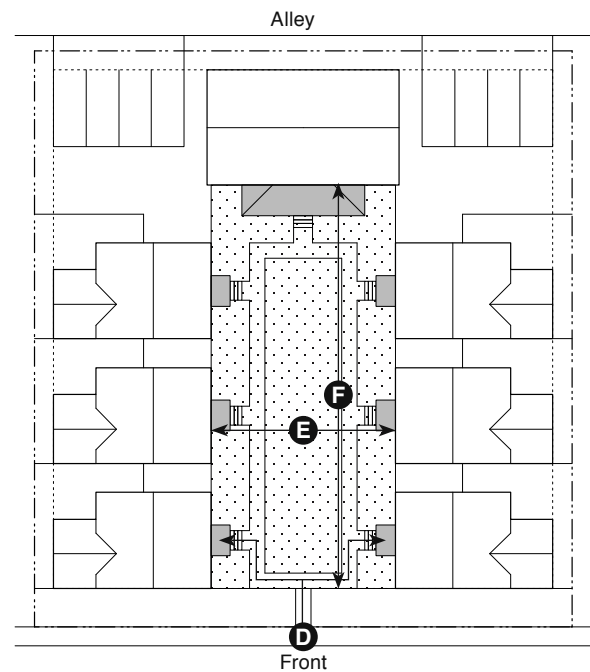
Depth 32' max. **(B)**

Distance Between 10' min. **(C)**

Buildings

**Miscellaneous**

Accessory structures shall not be taller or have a larger footprint than the main building on the lot.

**Key**

- ROW / Property Line    ■ Frontage  
 - - - - - Setback Line    □ Private Open Space

**D. Allowed Frontages**

Lānai, Projecting

Stoop

**E. Pedestrian Access**

Main Entrance Location

Common Courtyard: Front **(D)**

Unit: Common Courtyard

**F. Vehicle Access and Parking**

Parking may be accessed from the alley, side street or front.

Parking may be accessed from the front only when there is no adjacent alley or side street.

Parking spaces may be enclosed, covered or open.

**G. Common Open Space****Common Courtyard**

Width 20' min. **(E)**

Depth 20' min. **(F)**

**Private Open Space**

No private outdoor space is required.

### 3.2.080 Duplex



*A side-by-side duplex with each unit having its own stoop*



*A stacked duplex with private lanai*



*A one and a half-story side-by-side duplex*

#### A. Description

**Duplex:** This Building Type is a small- to medium-sized structure that consists of two side-by-side or stacked dwelling units, both facing the street, and sharing one common party wall. This Type has the appearance of a medium to large single-family home and is appropriately scaled to fit within primarily single-family neighborhoods or medium density neighborhoods. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

T3VE

T3VN.1

T4N

T4VC

**T#**

Allowed

**T#**

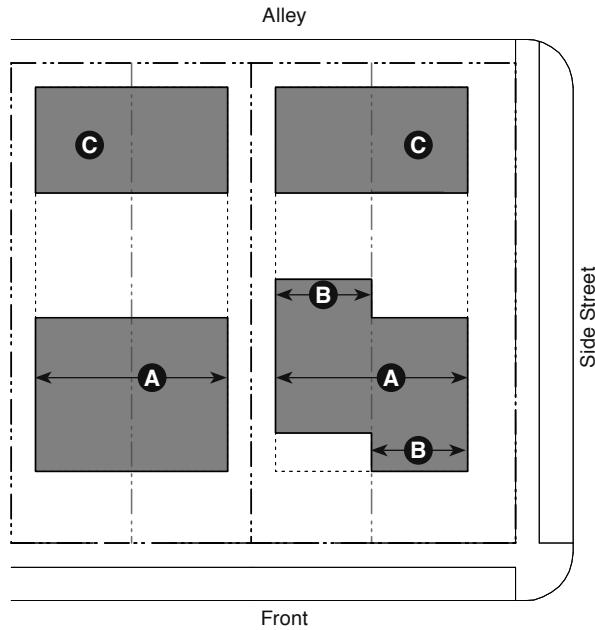
Allowed in Flex Zone

**T#**

Not Allowed

*General Note: Photos on this page are illustrative, not regulatory.*



**Key**

--- ROW / Property Line    - - - - Line¹ Setback Line  
 - - - - Shared Property    ■ Building

**B. Number of Units**

Units 2 max.

**C. Building Size and Massing****Height**

Per building form standards based on transect zone.

**Main Body**

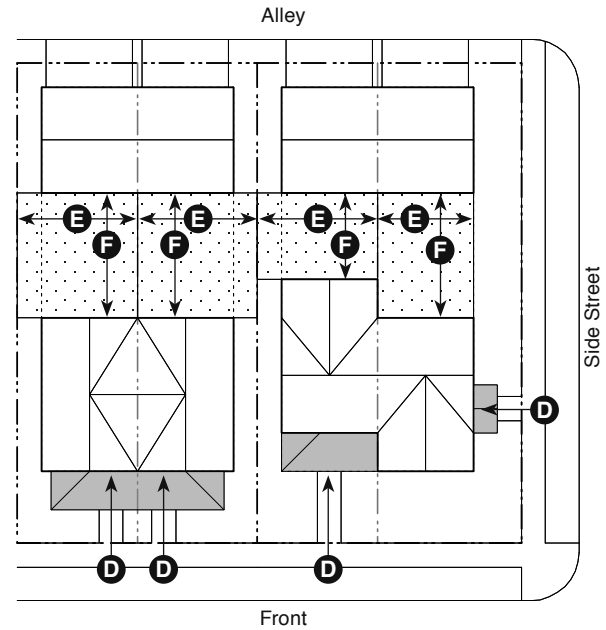
Width 48' max. **(A)**

**Secondary Wing(s)**

Width 30' max. **(B)**

**Miscellaneous**

Accessory structures shall not be taller or have a larger footprint than the main building on the lot. **(C)**

**Key**

--- ROW / Property Line    ■ Frontage  
 - - - - Setback Line    ▨ Private Open Space

**D. Allowed Frontages**

Lānai, Engaged Stoop

Lānai, Projecting

**E. Pedestrian Access**

Main Entrance Location Front¹ **(D)**

Each unit shall have an individual entry facing the street on or no more than 10' behind the front facade.

¹ On corner lots, each unit shall front a different street.

**F. Vehicle Access and Parking**

Parking may be accessed from the alley, side street or front.

Parking may be accessed from the front only when there is no adjacent alley or side street.

Parking spaces may be enclosed, covered or open.

**G. Private Open Space**

Width 15' per unit, min. **(E)**

Depth 15' per unit, min. **(F)**

Required private open space must be located behind the main body of the house.

### 3.2.090 Townhouse



*A varied roofline helps to break down the overall massing of this row of townhouses.*



*A series of townhomes that look like a single large building.*



*Minor differences in detailing and fenestration articulate the units.*

#### A. Description

**Townhouse:** This Building Type is a small- to medium-sized attached structure that consists of three to eight dwelling units placed side-by-side. This Type is typically located within medium-density neighborhoods or in a location that transitions from a primarily single-family neighborhood into a neighborhood main street. This Type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

Syn: **Rowhouse**

T3VE

T3VN.1

T4N

T4VC

T#

Allowed

T#

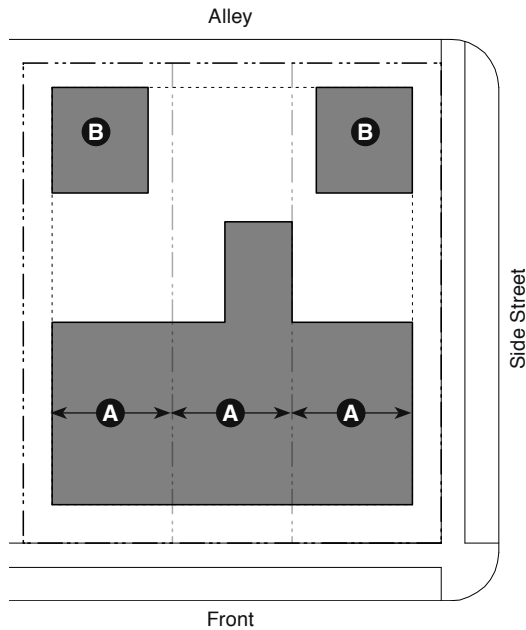
Allowed in Flex Zone

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Not Allowed

*General Note: Photos on this page are illustrative, not regulatory.*



**Key**

--- ROW / Property Line    --- Line<sup>1</sup> Setback Line  
 --- Shared Property    ■ Building

**B. Number of Units**

Units 3 min.; 8 max.

**C. Building Size and Massing****Height**

Per building form standards based on transect zone.

**Main Body**

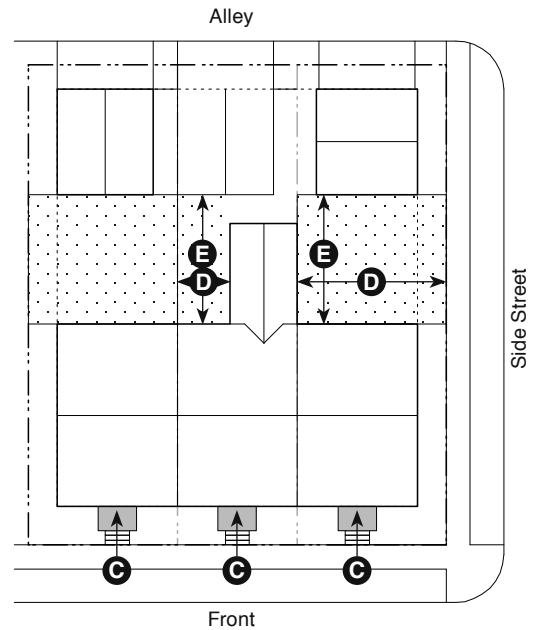
Width 24' min.; 36' max. **(A)**

**Secondary Wing(s)**

The footprint area of the secondary wing(s) may not exceed the footprint area of the main body.

**Miscellaneous**

Accessory structures shall not be taller or have a larger footprint than the main building on the lot. **(B)**

**Key**

--- ROW / Property Line    ■ Frontage  
 --- Setback Line    ■ Private Open Space

**D. Allowed Frontages**

Lānai

Stoop

**E. Pedestrian Access**

Main Entrance Location Front **(C)**

Each unit shall have an individual entry facing a street.

**F. Vehicle Access and Parking**

Parking may be accessed from the alley, side street or front.

Parking may be accessed from the front only when there is no adjacent alley or side street.

When accessed from the front, a single shared drive shall be used.

Parking spaces may be enclosed, covered or open.

**G. Private Open Space**

Width 8' min. **(D)**

Depth 8' min. **(E)**

Area 100 sf min.

Required private open space must be located behind the main body of the house.

### 3.2.100 Mansion Apartment



*A mansion apartment with a single entry accessing all units*



*A mansion apartment with multiple entries along the front*



*A mansion apartment with a single entry accessing all units*

#### A. Description

**Mansion Apartment:** This Building Type is a medium structure that consists of three to six side-by-side and/or stacked dwelling units, typically with one shared entry or individual entries along the front. This Type has the appearance of a medium-sized family home and is appropriately scaled to fit in sparingly within primarily single-family neighborhoods or into medium-density neighborhoods. This Type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

T3VE

T3VN.1

T4N

T4VC

T#

Allowed

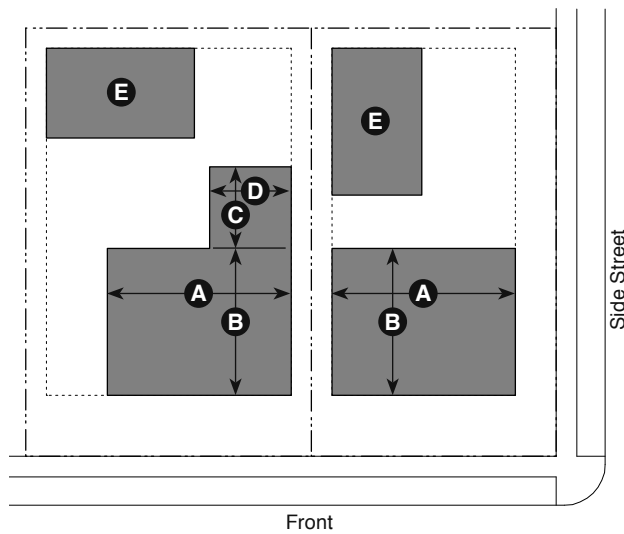
T#

Allowed in Flex Zone

T#

Not Allowed

*General Note: Photos on this page are illustrative, not regulatory.*

**Key**

- ROW / Property Line    ■ Building  
 ..... Setback Line

**B. Number of Units**

Units 3 min.; 6 max.

**C. Building Size and Massing****Height**

Per building form standards based on transect zone.

**Main Body**

Width 48' max. **(A)**

Depth 36' max. **(B)**

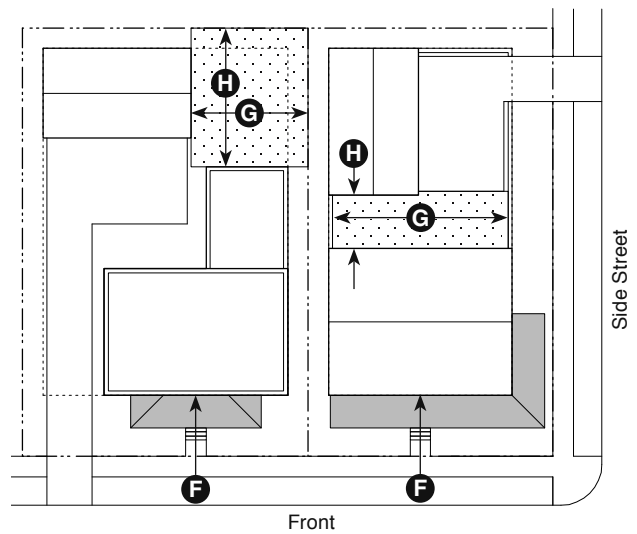
**Secondary Wing(s)**

Width 30' max. **(C)**

Depth 30' max. **(D)**

**Miscellaneous**

Accessory structures shall not be taller or have a larger footprint than the main building on the lot. **(E)**

**Key**

- ROW / Property Line    ■ Frontage  
 ..... Setback Line    ■ Private Open Space

**D. Allowed Frontages**

Lānai, Engaged Stoop

Lānai, Projecting

**E. Pedestrian Access**

Main Entrance Location Front **(F)**

Each unit may have an individual entry.

**F. Vehicle Access and Parking**

Parking may be accessed from the alley, side street or front.

Parking may be accessed from the front only when there is no adjacent alley or side street.

Parking spaces may be enclosed, covered or open.

**G. Private Open Space**

Width 8' min. **(G)**

Depth 8' min. **(H)**

Area 100 sf min.

Required private open space must be located behind the main body of the house.

### 3.2.110 Apartment House



*An apartment house with a recessed stoop*



*An apartment house with a single entry accessing all units*



*A newly constructed apartment house*

#### A. Description

**Apartment House:** This Building Type is a medium- to large-sized structure that consists of seven to twelve side-by-side and/or stacked dwelling units, typically with one shared entry. This Type is appropriately scaled to fit in within medium-density neighborhoods or sparingly within large lot predominantly single-family neighborhoods. This Type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

T3VE

T3VN.1

T4N

T4VC

**T#**

Allowed

**T#**

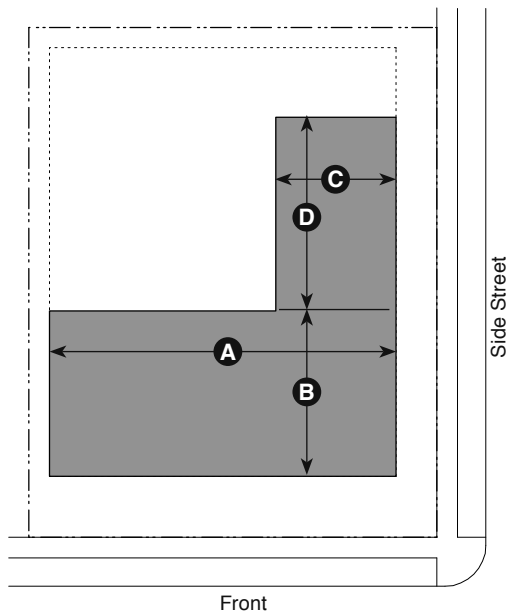
Allowed in Flex Zone

**T#**

Not Allowed

*General Note: Photos on this page are illustrative, not regulatory.*



**Key**

---- ROW / Property Line    ■ Building  
 ..... Setback Line

**B. Number of Units**

Units 7 min.; 12 max.

**C. Building Size and Massing****Height**

Per building form standards based on transect zone.

**Main Body**

Width 60' max. **(A)**

Depth 50' max. **(B)**

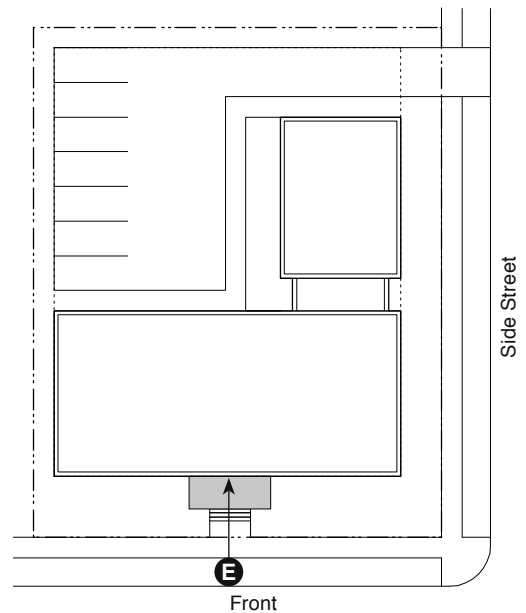
**Secondary Wing(s)**

Width 36' max. **(C)**

Depth 50' max. **(D)**

**Miscellaneous**

Accessory structures shall not be taller or have a larger footprint than the main building on the lot.

**Key**

---- ROW / Property Line    ■ Frontage  
 ..... Setback Line

**D. Allowed Frontages**

Lānai, Projecting Forecourt

**Stoop****E. Pedestrian Access**

Main Entrance Location Front **(E)**

Units located in the main body shall be accessed by a common entry along the front.

On corner lots, units in a secondary wing may front the side street.

**F. Vehicle Access and Parking**

Parking may be accessed from the alley, side street or front.

Parking spaces may be enclosed, covered or open.

**G. Private Open Space**

No private open space requirement.

### 3.2.120 Courtyard Building



*A courtyard building with all units accessed from a central courtyard which provides communal open space.*



*A courtyard with communal seating for residents and guests*



*C-shaped courtyard building—all units enter from courtyard*

#### A. Description

**Courtyard Building:** This Building Type is a medium-to large-sized structure that consists of multiple side-by-side and/or stacked dwelling units accessed from a courtyard or series of courtyards. Each unit may have its own individual entry, or up to three units may share a common entry. This Type is appropriately scaled to fit in sparingly within primarily single-family or medium-density neighborhoods. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

T3VE

T3VN.1

T4N

T4VC

T#

Allowed

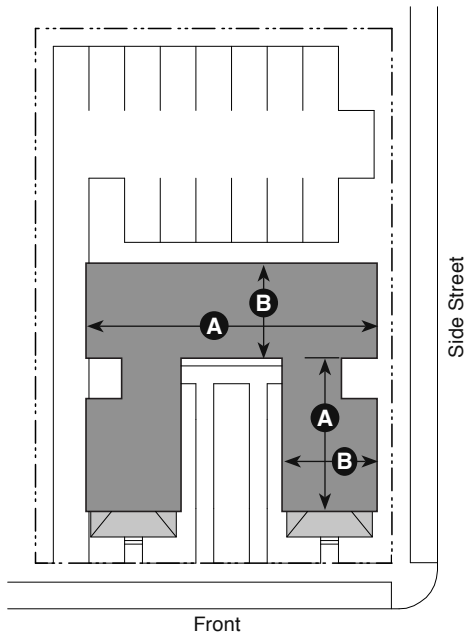
T#

Allowed in Flex Zone

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Not Allowed

*General Note: Photos on this page are illustrative, not regulatory.*

**Key**

- ROW / Property Line    ■ Building  
 ..... Setback Line

**B. Number of Units**

Units No min./No max.

**C. Building Size and Massing****Height**

Per building form standards based on transect zone.

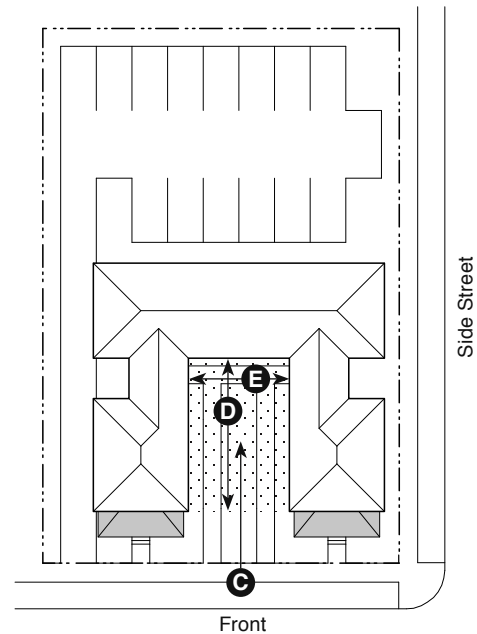
**Main Body/Secondary Wing(s)**

Width 150' max. **(A)**

Depth 65' max. **(B)**

**Accessory Structure(s)**

Accessory structures shall not be taller or have a larger footprint than the main building on the lot.

**Key**

- ROW / Property Line    ■ Frontage  
 ..... Setback Line    □ Open Space

**D. Allowed Frontages**

Lānai, Projecting Forecourt

**Stoop****E. Pedestrian Access**

Units shall front a courtyard or a street.

Courtyards shall be accessible from the front. **(C)**

Each unit may have an individual entry.

**F. Vehicle Access and Parking**

Parking shall be accessed from a side street or alley.

Parking spaces may be structured, tuck-under, or open.

**G. Private Open Space**

No private open space requirement.

**H. Courtyard(s)**

Width 20' min.; 50' max. **(D)**

Depth 20' min.; 150' max. **(E)**

Area (total) 50 sf/unit min.

Courtyards may be at-grade or on an upper level.



### 3.2.130 Main Street Mixed-Use



*Renovated historic main street mixed-use building*



*Historic main street mixed-use building with a two-story gallery*



*Recently constructed main street mixed-use building*

#### A. Description

**Main Street Mixed-Use:** This Building Type is a small- to medium-sized structure, typically attached, intended to provide a vertical mix of uses with ground-floor commercial, service, or retail uses and upper-floor commercial, service, or residential uses. On Kaua'i this type typically includes balconies that shade the sidewalk. Smaller versions of this Type include live/work units. This Type makes up the primary component of a neighborhood main street and portions of a downtown main street, therefore being a key component to providing walkability.

T3VE

T3VN.1

T4N

**T4VC**

**T#**

Allowed

**T#**

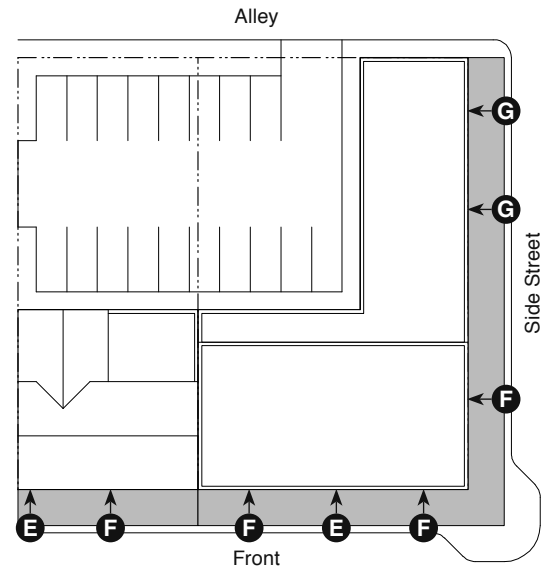
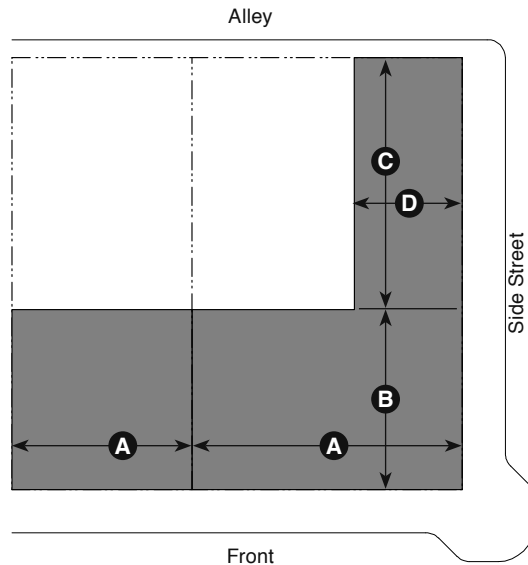
Allowed in Flex Zone

**T#**

Not Allowed

*General Note: Photos on this page are illustrative, not regulatory.*



**Key**

- ROW / Property Line    ■ Building  
 - - - - - Setback Line

**B. Number of Units**

Units No min./No max.

**C. Building Size and Massing****Height**

Per building form standards based on transect zone.

**Main Body**

Width 150' max. **(A)**

Depth 40' min. **(B)**

**Secondary Wing(s)/Accessory Structure(s)**

Width 100' max. **(C)**

Depth 40' min. **(D)**

Accessory structures shall not be taller or have a larger footprint than the main building on the lot.

**Key**

- ROW / Property Line    ■ Frontage  
 - - - - - Setback Line    □ Private Open Space

**D. Allowed Frontages**

Forecourt Dooryard

Shopfront Gallery

Terrace

**E. Pedestrian Access**

Upper floor units located in the main body shall **(E)** be accessed by a common entry along the front.

Ground floor units may have individual entries **(F)** along the front or side street.

On corner lots, units in a secondary wing/ **(G)** accessory structure may front the side street.

**F. Vehicle Access and Parking**

Parking shall be accessed from a side street or alley.

Parking drives and access may be shared on adjacent lots.

On-site parking spaces may be enclosed or open.

Garages may be detached or tuck-under.

**G. Private Open Space**

No private open space requirement.

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## Sub-Article 3.3: Specific to Private Frontages

---

### Sections:

3.3.010	Purpose
3.3.020	Applicability
3.3.030	Private Frontages Overview
3.3.040	Common Yard
3.3.050	Lānai: Projecting
3.3.060	Lānai: Engaged
3.3.070	Stoop
3.3.080	Forecourt
3.3.090	Dooryard
3.3.100	Shopfront
3.3.110	Gallery
3.3.120	Terrace

---

### **3.3.010 Purpose**

This Sub-Article sets forth the standards applicable to the development of private frontages. Private frontages are the components of a building that provide an important transition and interface between the public realm (street and sidewalk) and the private realm (yard or building). These standards supplement the standards for each zone that the frontage types are allowed within. For each private frontage type, a description, a statement of the type's intent, and design standards are provided. These standards are intended to ensure development that reinforces the highly-valued existing character and scale of Kaua'i's neighborhoods and town centers.

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### **3.3.020 Applicability**

These standards work in combination with the standards found in Sub-Article 3.2 (Specific to Building Types) and are applicable to all private frontages within transect zones.






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### **3.3.030 Private Frontages Overview**

Table A (Private Frontages General) on the next page provides an overview of the allowed private frontage types.

### 3.3.030.A Private Frontages General

The private frontage is the area between the building facade and the lot line.

Frontage Type		Transect Zones	
	<b>Common Yard:</b> The main facade of the building has a large planted setback from the frontage line providing a buffer from the higher-speed thoroughfares. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape and working in conjunction with the other private frontages.	T3VE T4N	T3VN.1 T4VC
	<b>Lānai, projecting:</b> The main facade of the building has a small to medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The projecting lānai is open on three sides and all habitable space is located behind the setback line.	T3VE T4N	T3VN.1 T4VC
	<b>Lānai, engaged:</b> The main facade of the building has a small to medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The engaged lānai has two adjacent sides of the lānai that are engaged to the building while the other two sides are open.	T3VE T4N	T3VN.1 T4VC
	<b>Stoop:</b> The main facade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs from the stoop may lead directly to the sidewalk or may be side-loaded. This type is appropriate for residential uses with small setbacks.	T3VE T4N	T3VN.1 T4VC
	<b>Forecourt:</b> The main facade of the building is at or near the frontage line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within commercial areas.	T3VE T4N	T3VN.1 T4VC

#### Key





**T#** Allowed

**T#** Allowed in Flex Zone

**T#** Not Allowed

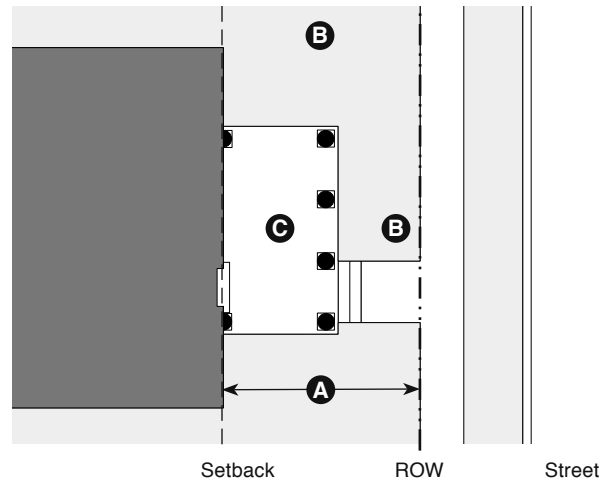
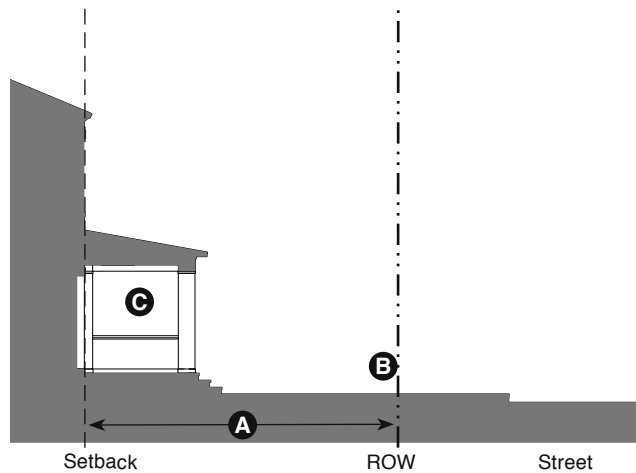
**3.3.030.A Private Frontages General (continued)**

The private frontage is the area between the building facade and the lot line.

Frontage Type	Transect Zones	
	<p><b>Dooryard:</b> The frontage line is defined by a low wall or hedge and the main facade of the building is set back a small distance creating a small dooryard. The dooryard shall not provide public circulation along a ROW. The dooryard may be raised, sunken, or at grade and is intended for ground floor residential in flex zones, live/work, and small commercial uses ≤2,500 sf.</p>	<div>T3E</div> <div>T3VN.1</div> <div>T4N</div> <div>T4VC</div>
	<p><b>Shopfront:</b> The main facade of the building is at or near the frontage line with an at-grade entrance along the public way. This type is intended for retail use. It has substantial glazing at the sidewalk level and may include an awning that may overlap the sidewalk. It may be used in conjunction with other frontage types. Syn: <b>Retail Frontage, Awning.</b></p>	<div>T3VE</div> <div>T3VN.1</div> <div>T4N</div> <div>T4VC</div>
	<p><b>Gallery:</b> The main facade of the building is at the frontage line and the gallery element overlaps the sidewalk. This type is intended for buildings with ground-floor commercial uses and may be one or two stories. The gallery should extend far enough from the building to provide adequate protection and circulation for pedestrians and extend close enough to the curb so that a pedestrian cannot bypass it.</p>	<div>T3VE</div> <div>T3VN.1</div> <div>T4N</div> <div>T4VC</div>
	<p><b>Terrace:</b> The main facade is at or near the frontage line with an elevated terrace providing public circulation along the facade. This type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This type may also be used in historic industrial areas to mimic historic loading docks and in areas with floodplain issues to provide usable outdoor space.</p>	<div>T3VE</div> <div>T3VN.1</div> <div>T4N</div> <div>T4VC</div>

**Key****T#** Allowed**T#** Allowed in Flex Zone**T#** Not Allowed

### 3.3.040 Common Yard



#### Key

---- ROW / Property Line    - - - - Setback Line

#### A. Description

**Common Yard:** The main facade of the building has a large planted setback from the frontage line providing a buffer from the higher-speed thoroughfares. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape and working in conjunction with the other private frontages.

#### B. Size

Depth 20' min. **A**

#### C. Miscellaneous

Fences between front yards or between the sidewalk and front yard are not allowed. **B**

Common Yard Frontages shall be used in conjunction with another allowed private frontage type, such as a lānai. **C**



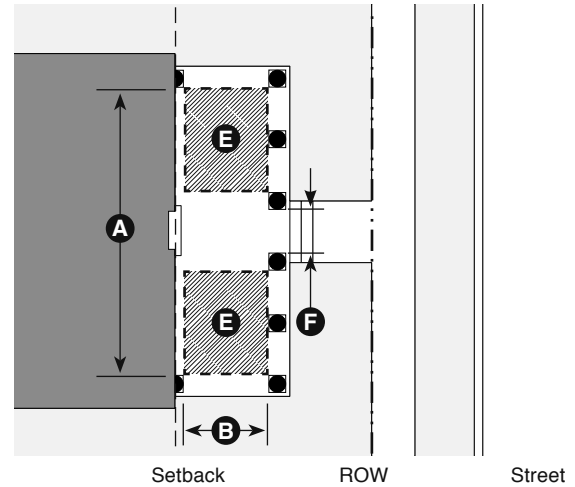
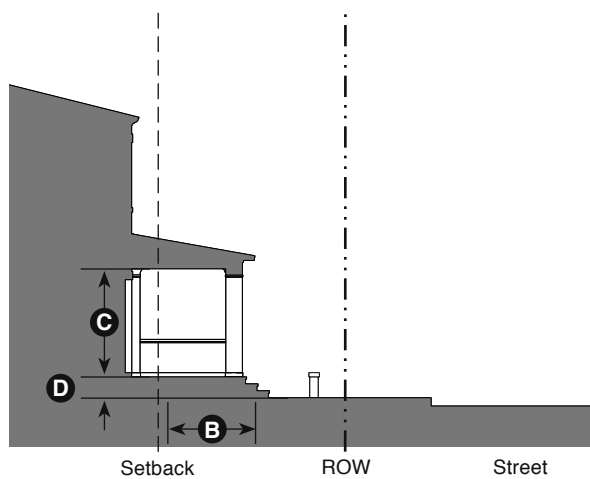
*The front yards of these houses form a continuous common yard*



*An example of a common yard*



### 3.3.050 Lānai: Projecting



#### Key

---- ROW / Property Line    - - - - Setback Line

#### A. Description

**Lānai, projecting:** The main facade of the building has a small to medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The projecting lānai is open on three sides and all habitable space is located behind the setback line.

#### B. Size

Width, clear	10' min.	<b>(A)</b>
Depth, total	8' min.	<b>(B)</b>
Height, clear	8' min.	<b>(C)</b>
Height	2 stories max.	
Finish Level above Sidewalk	18" min.	<b>(D)</b>
Furniture Area, clear	4' x 6' min.	<b>(E)</b>
Path of Travel	3' wide min.	<b>(F)</b>

#### C. Miscellaneous

Any projecting lānai must be open on three sides and must have a roof.

In transect zones where both lānai and encroachments are allowed, a lānai is an allowable encroaching element.

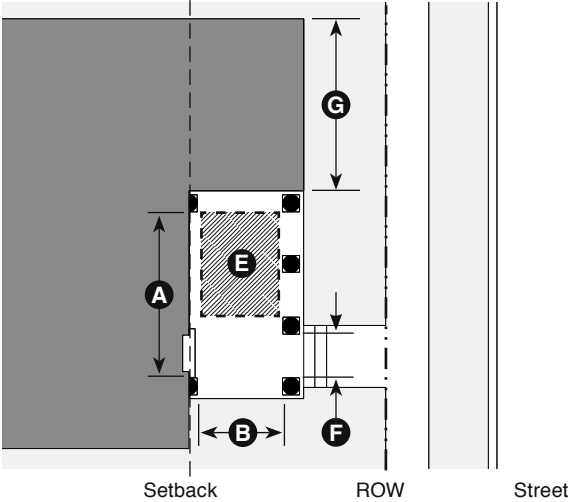
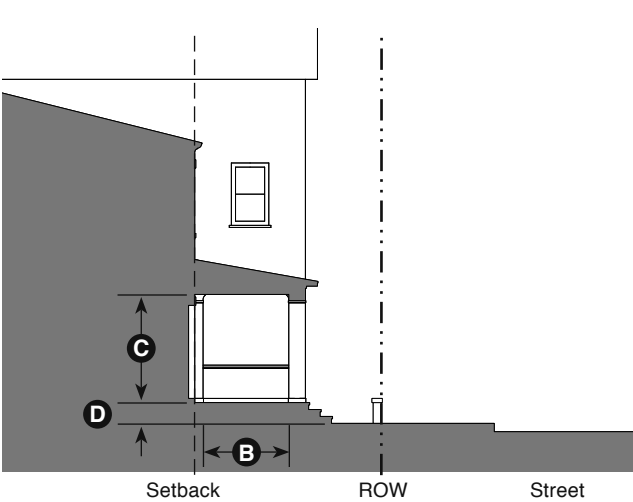


*A wrap-around projecting lānai*



*Projecting lānai integrated into the overall massing*

3.3.060      Lānai: Engaged



Key

----- ROW / Property Line      - - - - - Setback Line

A. Description

**Lānai, engaged:** The main facade of the building has a small to medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The engaged lānai has two adjacent sides of the lānai that are engaged to the building while the other two sides are open.

B. Size

Width, clear	10' min.	<b>A</b>
Depth, clear	8' min.	<b>B</b>
Height, clear	8' min.	<b>C</b>
Height	2 stories max.	
Finish Level above Sidewalk	18" min.	<b>D</b>
Furniture Area, clear	4' x 6' min.	<b>E</b>
Path of Travel	3' wide min.	<b>F</b>

C. Miscellaneous

Up to 2/5 of the building facade may project beyond the setback line into the encroachment area for this frontage type. **G**

Any engaged lānai must be open on two sides and have a roof.

In transect zones where both lānai and encroachments are allowed, a lānai and up to 2/5 of the building facade is an allowable encroaching element.



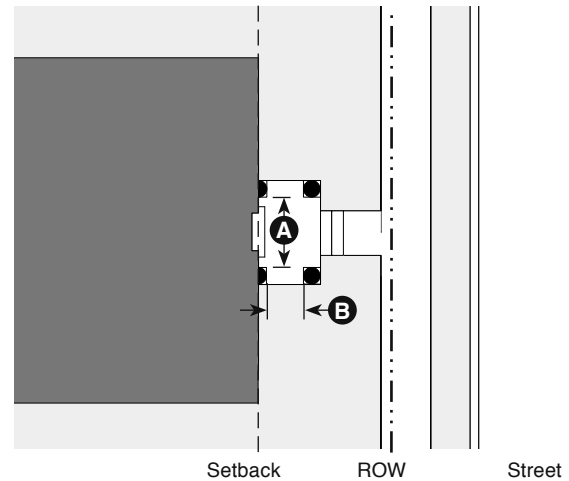
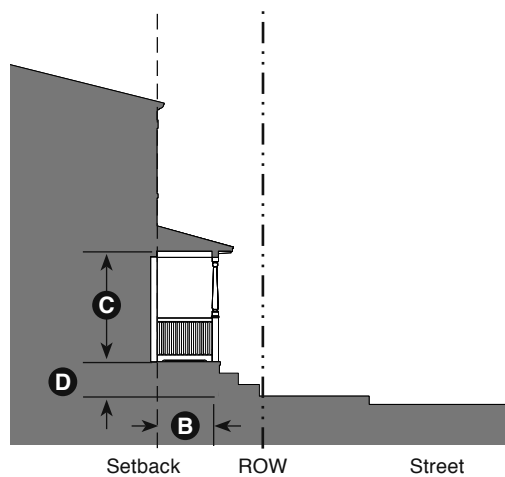
Engaged lānai as an attached element



An example of an engaged lānai



### 3.3.070 Stoop



#### Key

---- ROW / Property Line    - - - - Setback Line

#### A. Description

**Stoop:** The main facade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs from the stoop may lead directly to the sidewalk or may be side-loaded. This type is appropriate for residential uses with small setbacks.

#### B. Size

Width, clear	5' min.; 8' max.	<b>A</b>
Depth, clear	5' min.; 8' max.	<b>B</b>
Height, clear	8' min.	<b>C</b>
Height	1 story max.	
Depth of Recessed Entries	6' max.	
Finish Level above Sidewalk	18" min.	<b>D</b>

#### C. Miscellaneous

Stairs may be perpendicular or parallel to the building facade.

Ramps shall be parallel to facade or along the side of the building.

The entry door shall be covered or recessed to provide shelter from the elements.

All doors must face the street.

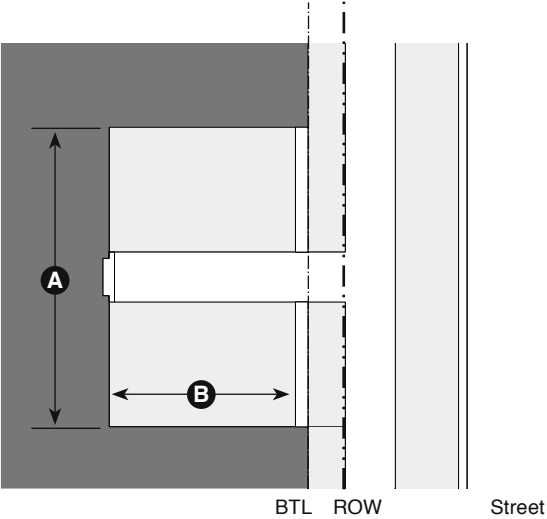
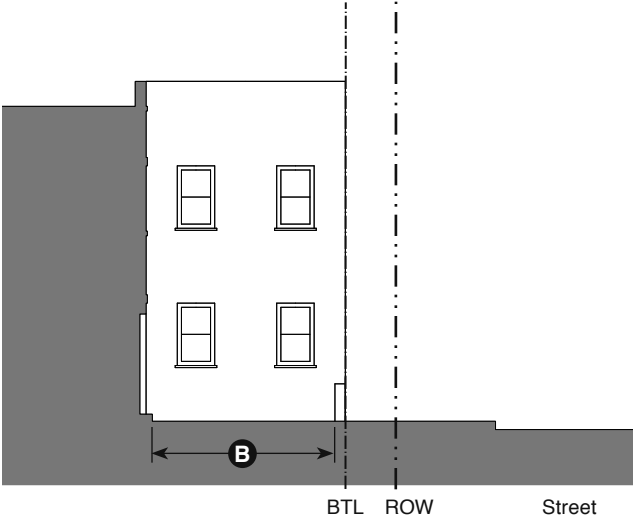


*A stoop with a recessed entry door on a single-family home*



*A stoop with a covered entry door on a single-family home*

3.3.080 Forecourt



Key

---- ROW / Property Line    - - - - - Setback Line

A. Description

**Forecourt:** The main facade of the building is at or near the frontage line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within commercial areas.

B. Size

Width, clear	12' min.	<b>A</b>
Depth, clear	12' min.	<b>B</b>
Ratio, Height to Width	2:1 max.	<b>C</b>

C. Miscellaneous

Forecourts should be used sparingly and should not be repeated along a block frontage.

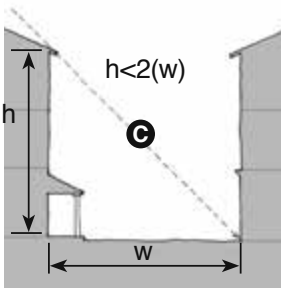
The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort.

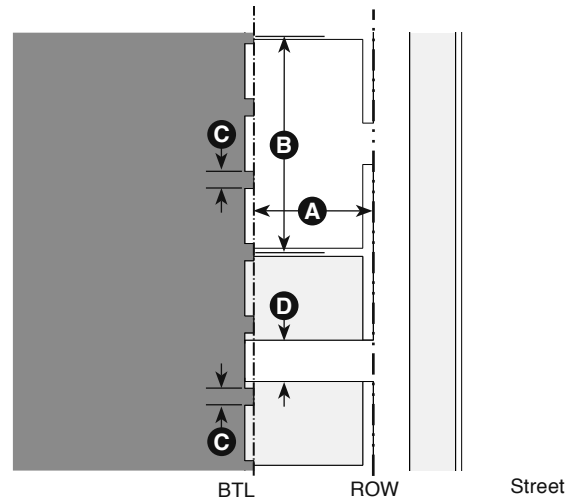
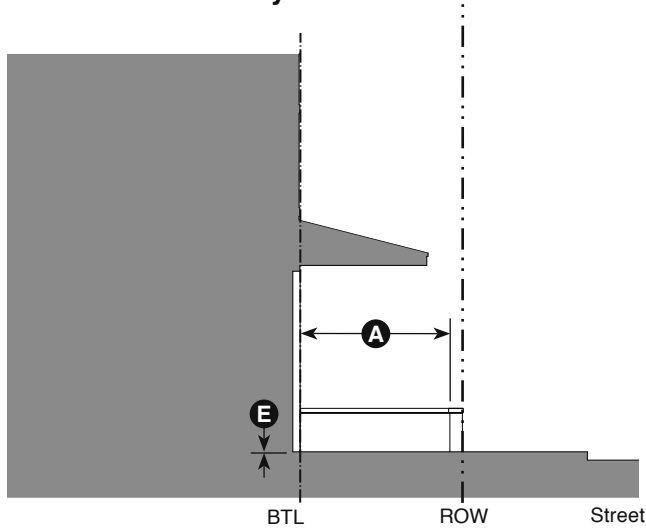


*This residential forecourt provides a prominent entry yard and breaks down the overall massing along the street*



*This commercial forecourt provides an outdoor dining area along a vibrant commercial street. The ROW is defined by a low wall as required by this code*



**3.3.090 Dooryard****Key**

---- ROW / Property Line    - - - - Setback Line

**A. Description**

**Dooryard:** The frontage line is defined by a low wall or hedge and the main facade of the building is set back a small distance creating a small dooryard. The dooryard shall not provide public circulation along a ROW. The dooryard may be raised, sunken, or at grade and is intended for ground floor residential in flex zones, live/work, and small commercial uses  $\leq 2,500$  sf.

**B. Size**

Depth, clear	8' min.	<b>(A)</b>
Length	50' max.	<b>(B)</b>
Distance between Glazing	4' max.	<b>(C)</b>
Ground Floor Transparency	50% min. <sup>1</sup>	
Depth of Recessed Entries	5' max.	
Path of Travel	3' wide min.	<b>(D)</b>
Finish Level above Sidewalk	3'-6" max.	<b>(E)</b>
Finish Level below Sidewalk	6' max.	

**C. Miscellaneous**

For live/work and commercial uses, these standards are to be used in conjunction with those for the Shopfront Frontage Type. In case of conflict between them, the Dooryard standards shall prevail.

Low walls used as seating are encouraged.

Shall not be used for circulation for more than one ground floor entry.

<sup>1</sup>For live/work and commercial uses only.

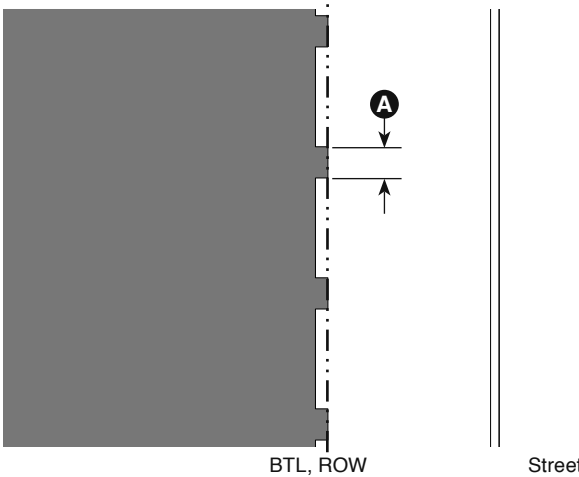
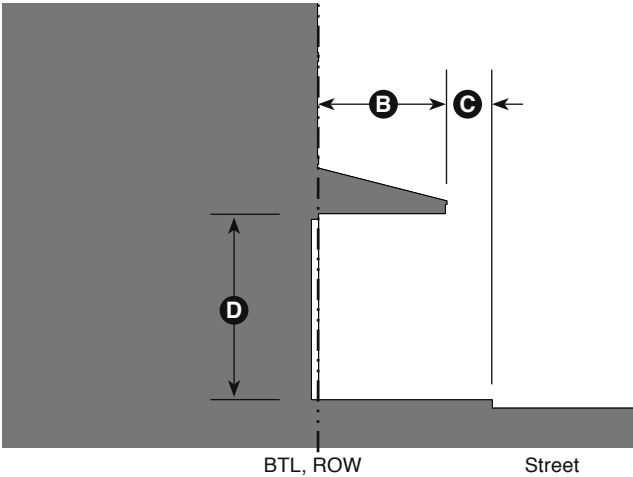


*An example of a series of small commercial dooryards*



*An example of a series of residential dooryards. Each dooryard has its own steps with railings providing separation between the dooryards of adjacent units*

3.3.100 Shopfront



Key

---- ROW / Property Line    - - - - Setback Line

A. Description

**Shopfront:** The main facade of the building is at or near the frontage line with an at-grade entrance along the public way. This type is intended for retail use. It has substantial glazing at the sidewalk level and may include an awning that may overlap the sidewalk. It may be used in conjunction with other frontage types.

B. Size

Distance between Glazing	2' max.	<b>A</b>
Ground Floor Transparency	75% min.	
Depth of Recessed Entries	5' max.	

C. Awning

Depth	4' min.	<b>B</b>
Setback from Curb	2' min.	<b>C</b>
Height, clear	8' min.	<b>D</b>

D. Miscellaneous

- Residential windows shall not be used.
- Doors may be recessed as long as main facade is at BTL.
- Operable awnings are encouraged.
- Open-ended awnings are encouraged.
- Rounded and hooped awnings are discouraged.
- Shopfronts with accordion-style doors/windows or other operable windows that allow the space to open to the street are encouraged.



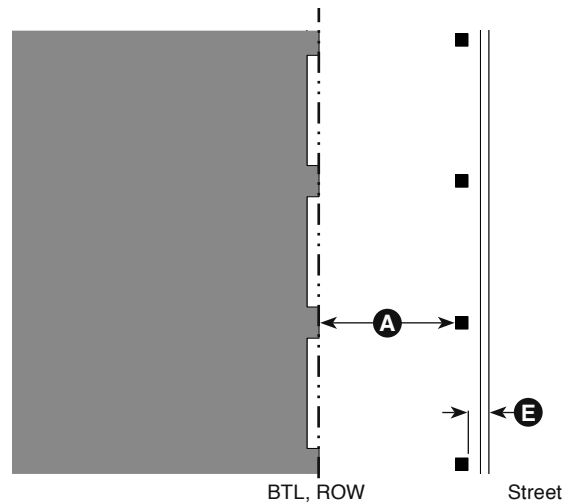
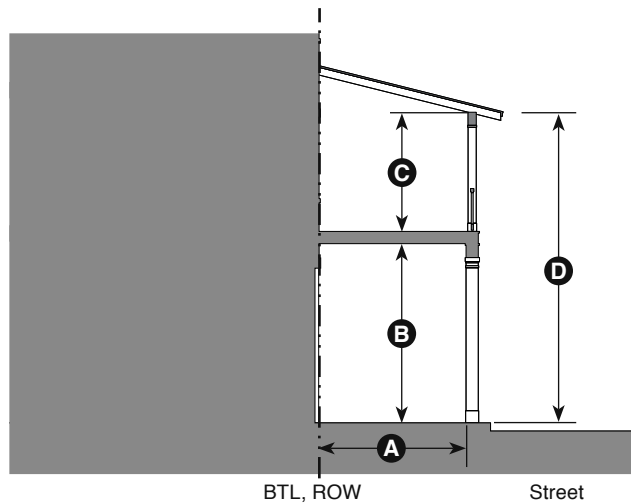
An example of a shopfront with a recessed entry



An example of a shopfront



### 3.3.110 Gallery



#### Key

---- ROW / Property Line    - - - - Setback Line

#### A. Description

**Gallery:** The main facade of the building is at the frontage line and the gallery element overlaps the sidewalk. This type is intended for buildings with ground-floor commercial uses and may be one or two stories. The gallery should extend far enough from the building to provide adequate protection and circulation for pedestrians and extend close enough to the curb so that a pedestrian cannot bypass it.

#### B. Size

Depth, clear	8' min.	<b>A</b>
Ground Floor Height, clear	11' min.	<b>B</b>
Upper Floor Height, clear	9' min.	<b>C</b>
Height	2 stories max.	<b>D</b>
Setback from Curb	2' min.; 3' max.	<b>E</b>

#### C. Miscellaneous

These standards are to be used in conjunction with those for the Shopfront Frontage Type. In case of conflict between them, the Gallery standards shall prevail.

Upper-story galleries facing the street must not be used to meet primary circulation requirements.

Galleries must have a consistent depth along a frontage.

Gallery must project over a sidewalk.

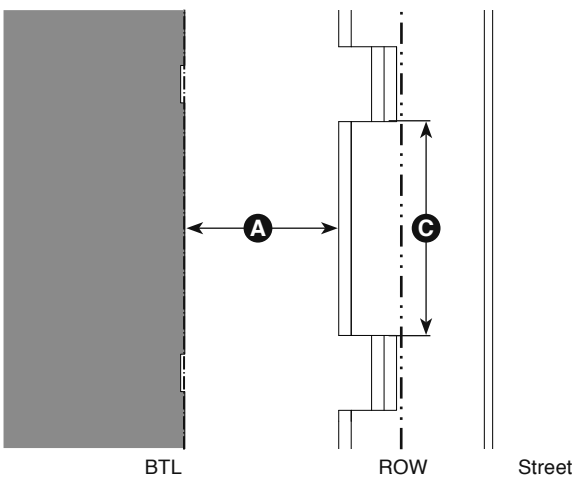
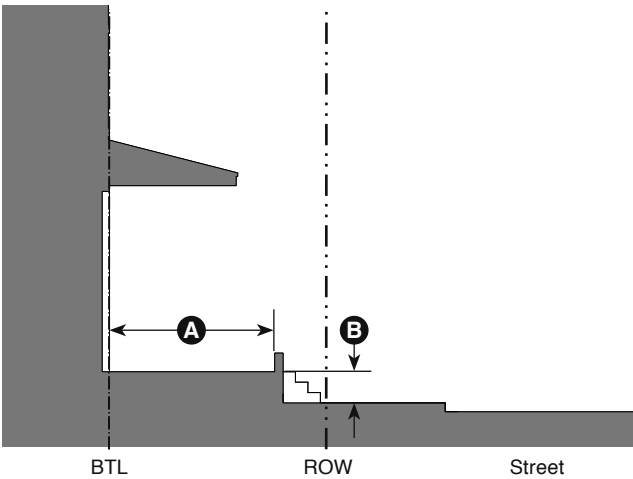


*A one-story gallery with second floor access*



*A one-story gallery*

3.3.120 Terrace



Key

---- ROW / Property Line    - - - - Setback Line

A. Description

**Terrace:** The main facade is at or near the frontage line with an elevated terrace providing public circulation along the facade. This type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This type may also be used in historic industrial areas to mimic historic loading docks and in areas with floodplain issues to provide usable outdoor space.

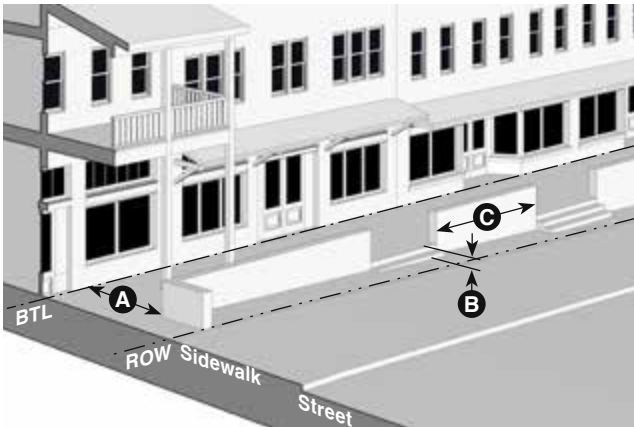
B. Size

Depth, clear	8' min.	<b>A</b>
Finish Level above Sidewalk	3'6" max.	<b>B</b>
Length of Terrace	150' max.	
Distance between Stairs	50' max.	<b>C</b>

C. Miscellaneous

These standards are to be used in conjunction with those for the Shopfront Frontage Type. In case of conflict between them, the Terrace standards shall prevail.

Low walls used as seating are encouraged.



A terrace accommodating a grade change along a series of buildings



An example of a terrace used to accommodate a change in grade. The low walls are used to provide seating

## **Sub-Article 3.4: Historic Preservation**

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**3.4.010**      **Reserved**

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## **Article 4: Specific to Uses**

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**Reserved**

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# Article 5: Neighborhoods and Walkable Communities

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<b>Sub-Article 5.1: General to Neighborhood and Walkable Community Design</b>	<b>5.1-1</b>
5.1.010 Purpose	5.1-1
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5.1.090 Mix of Building Types	5.1-7
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5.1.110 Special Requirements	5.1-7
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5.2.040 Additional Standards	5.2-8
<b>Sub-Article 5.3: Thoroughfare Standards</b>	<b>5.3-1</b>
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5.3.040 Thoroughfare Design	5.3-2
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5.3.100 Thoroughfare Assemblies	5.3-7

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## Sub-Article 5.1: General to Neighborhood and Walkable Community Design

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### Sections:

5.1.010	Purpose
5.1.020	Applicability
5.1.030	Thoroughfares, Blocks and Connectivity
5.1.040	Mix of Civic Buildings and Civic Spaces
5.1.050	Additional Standards for Project Developments
5.1.060	Pedestrian Sheds
5.1.070	Mix of Transect Zones
5.1.080	Neighborhood Centers/Main Streets
5.1.090	Mix of Building Types
5.1.100	Incentives
5.1.110	Special Requirements

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### 5.1.010 Purpose

The purpose of this Sub-Article is to provide standards for the application of Form-Based Code standards to reinforce existing walkable urban neighborhoods or create new ones within the County of Kauaʻi.

This Sub-Article shall be used to achieve the following goals and objectives:

- A. Improve the built environment and human habitat.
- B. Promote development patterns that support safe, effective, and multimodal transportation options, including auto, pedestrian, bicycle, and transit, and therefore minimize vehicle traffic by providing for a mixture of land uses, walkability, and compact community form.
- C. Provide neighborhoods with a variety of housing types to serve the needs of a diverse population.
- D. Remove barriers and provide incentives for walkable urban projects.
- E. Promote the greater health benefits of a pedestrian-oriented environment.
- F. Reinforce the character and quality of neighborhoods.
- G. Reduce sprawling, auto-dependent development.
- H. Reinforce a unique identity for the County of Kauaʻi that builds upon the local context, climate, and history.

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**5.1.020 Applicability**

- A. All sites within an area subject to the Special Planning Area shall meet the connectivity requirements of Section 5.1.030 (Thoroughfares, Blocks and Connectivity) and the civic space requirements of Section 5.1.040 (Mix of Civic Buildings and Civic Spaces).
- B. Parcels or sites within an area subject to the Special Planning Area requiring a zoning change shall meet all the standards found within this Sub-Article and create a Project Development.
- C. The Director may apply the standards in this section to parcels consisting of 30 acres or more of contiguous lots outside the Special Planning Area if a planning process has identified the site's feasibility and potential to implement a walkable and pedestrian-oriented community and create a Project Development. An amendment to the South Kaua'i Community Plan shall be completed before or completed concurrently before a zoning change may occur.
- D. In the event that any of the standards in this Sub-Article conflict with other standards in this Form-Based Code the standards in this Sub-Article override.

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**5.1.030 Thoroughfares, Blocks and Connectivity**

Thoroughfares define the public streets that refine pedestrian sheds into walkable environments. Care should be taken in the layout and sizing of thoroughfares, as wide thoroughfares and a lack of connectivity reduce the pedestrian friendliness of the area.

**A. Design**

- 1. Thoroughfares shall be selected from: Table 5.3.100.A (Thoroughfare Assemblies) of Sub-Article 5.3 (Thoroughfare Standards);
- 2. Thoroughfares that pass from one transect zone to another shall adjust their public frontages to match the character of the transect zone. For example a thoroughfare that goes from an urban transect zone with retail shops may change in character from wide sidewalks with trees in tree grates to a narrower sidewalk with a planting strip as the thoroughfare transitions to a less urban transect zone composed of various residential building types.
- 3. The thoroughfare network shall be mapped on a regulating plan (a map of the regulated area designating the locations where different building form standards apply), and shall indicate the layout of thoroughfares and the block network according to standards established in Subsections B and C below.

**B. Block Size**

Individual block faces and the total block perimeter shall follow the standards established in the table below.

<b>Table 5.1.030.A Block Size</b>		
<b>Transect Zone</b>	<b>Block</b>	
	<b>Face Length</b>	<b>Perimeter Length</b>
T3 Village Edge	900 ft. max.	2,400 ft. max.
T3 Village Neighborhood 1	600 ft. max.	2,000 ft. max.
T4 Neighborhood	600 ft. max.	2,000 ft. max.
T4 Village Center	600 ft. max.	2,000 ft. max.

**C. Connectivity**

1. **Interconnected Thoroughfares.** Proposed thoroughfares shall be interconnected and shall connect with adjacent thoroughfares external to the site to provide multiple routes for pedestrian and vehicle trips from, to, and within the site.
2. Thoroughfares shall terminate/connect to other thoroughfares. Thoroughfares shall not terminate on alleys and lanes.
3. **Thoroughfare Extensions and Thoroughfare Stubs**
  - a. Where a plan adjoins non-subdivided land, thoroughfares shall be extended to the adjacent non-subdivided land, as prescribed by the maximum block length requirements to provide access to the non-subdivided land in the event of its future subdivision.
  - b. Where a plan adjoins developed or entitled parcels, thoroughfares shall connect to existing or entitled thoroughfare right-of-ways and stubs.
4. **Dead-End Thoroughfares and Cul-de-Sacs**
  - a. Thoroughfares shall not include dead-end thoroughfares or cul-de-sacs except where through-streets cannot be provided because of an environmental feature or cultural site requiring protection and/or preservation (e.g., a stream channel or culturally significant site).
  - b. The length of dead-end thoroughfares shall not exceed 300 feet, as measured from the center of the closest intersection to the center of the cul-de-sac bulb, and these thoroughfares shall provide a suitable turn-around that meets the County Living Streets Manual.

**D. Bicycle Network Connectivity**

1. Bicycle facilities shall be in compliance with the South Kaua'i Community Plan.
2. Bicycle facilities shall meet the standards found in Section 5.3.070 (Bicycle Facilities).

**E. Transit**

1. Transit routes shall be incorporated in compliance with the South Kaua'i Community Plan and Kaua'i Bus plans.



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**5.1.040 Mix of Civic Buildings and Civic Spaces**

Civic buildings and civic spaces provide important gathering places for communities and access to outdoor activities. The civic buildings and civic spaces should be carefully located and accessible to all. The following standards shall be met for providing and locating civic buildings and civic spaces.

**A. General**

1. The design of civic spaces shall meet the standards set forth in Sub-Article 5.2 (Civic Space Standards).

**B. Civic Space Allocation**

1. Each residential lot shall be within 1,000 feet of an existing or proposed playground or tot lot (a small playground for young children).
2. Projects shall set aside a minimum of five percent of the project area as civic space. This number shall be calculated after street rights-of-way are subtracted from the project area. The following are exceptions:
  - a. For sites less than four acres, no civic spaces beyond the playground requirements of Subsection 1 are required.
  - b. For sites less than ten acres and within 1,000 feet of an existing public park of at least one acre, no civic spaces beyond the playground requirements of Subsection 1 are required.
3. For sites equal to or greater than ten acres, the required amount of civic space shall be distributed throughout the neighborhood as multiple smaller civic spaces.

**C. Civic Building Allocation**

1. Sites greater than four acres or providing 100 units or more shall provide an indoor public meeting space. This may be a freestanding building or integrated within another building. This requirement may be waived if an existing public meeting space is located within 1,000 feet of the site.
2. Schools and other educational facilities that are integrated into the regulating plan shall be located near the designated center of the pedestrian shed. Location of public schools shall meet all local and state regulations.

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**5.1.050 Additional Standards for Project Developments**

Each Project Development shall:

- A. Lay out a thoroughfare network according to standards in Section 5.1.030 (Thoroughfares, Blocks and Connectivity) and Sub-Article 5.3 (Thoroughfare Standards).
- B. Allocate civic spaces and civic buildings according to the standards in Section 5.1.040 (Mix of Civic Buildings and Civic Spaces) and Sub-Article 5.2 (Civic Space Standards).
- C. Designate civic spaces and civic buildings on a regulating plan.
- D. Be structured with pedestrian sheds to determine the scale and center. See Section 5.1.060 (Pedestrian Sheds).

- E. Allocate Transect Zones as per Table 5.1.070.A (Required Allocation Mix of Transect Zones).
- F. Provide Neighborhood Centers/Main Streets to meet the standards in Section 5.1.080 (Neighborhood Centers/Main Streets).
- G. Provide a mix of building types to meet the standards in Section 5.1.090 (Mix of Building Types).
- H. Connect and blend with the scale and character of the surrounding walkable urbanism.
- I. The Project Development shall be calibrated to suit specific topographical, environmental, site layout, and design constraints unique to the site or its location within the county, yet each Project Development will be consistent in terms of structure and content based on the provisions of this Sub-Article.

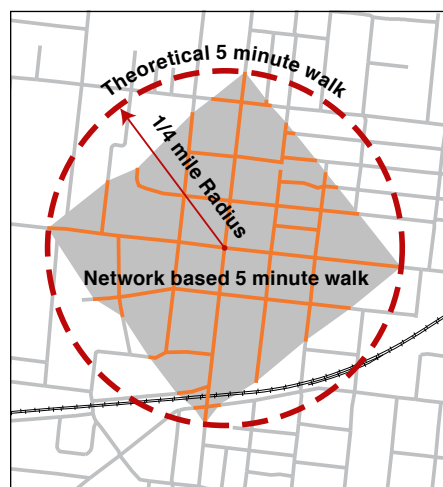
## 5.1.060 Pedestrian Sheds

Pedestrian sheds are useful in planning as they provide an understanding of how far a typical pedestrian might be willing to walk. They are based on the understanding that most people are willing to walk up to five minutes before they will choose to drive and up to ten minutes to a major destination or transit stop. Project Developments use pedestrian sheds to define the boundaries and the relationship of development patterns to create walkable environments.

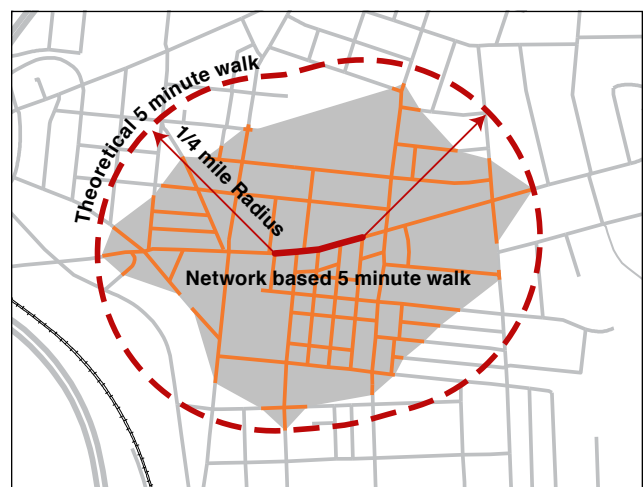
A. Pedestrian sheds shall be centered on a neighborhood center or a main street.

### B. Types of Pedestrian Sheds

1. **Standard Pedestrian Shed.** A pedestrian shed that is based on a one-quarter mile (1320 feet) radius around a node. Standard pedestrian sheds are useful in planning neighborhoods. See diagram below.
2. **Linear Pedestrian Shed.** A pedestrian shed that is based on a one-quarter mile (1320 feet) radius around a series of block lengths. Linear pedestrian sheds are useful



*Standard Pedestrian Shed*



*Linear Pedestrian Shed*

in planning neighborhood main streets or neighborhoods with multiple nodes. See diagram below.

- C. Remnants of the site outside the pedestrian sheds shall meet the following requirements:

1. Remnant areas outside of a pedestrian shed shall be assigned transect zones or civic spaces; and
  2. If the remnant areas assigned as T3 Village Edge, T3 Village Neighborhood 1, T4 Neighborhood and T4 Village Center transect zones exceed 35 acres, an additional pedestrian shed shall be created to encompass these remnant areas.
- D. The pedestrian shed shall be mapped on the regulating plan (a map of the regulated area designating the locations where different building form standards apply).

## 5.1.070 Mix of Transect Zones

### A. General

1. Transect zones established in Sub-Article 2.2 (Transect Zones) shall be used for the regulating plan.
2. Any modifications or additions to the transect zones in Sub-Article 2.2 (Transect Zones) shall be done as part of a process of public consultation and are subject to the approval of the County Council. Metrics shall be recorded in a similar format to what exists within this Form-Based Code.

### B. Allocation of Transect Zones

1. Project Developments for complete new neighborhoods over 10 acres and smaller infill sites over 10 acres shall assign and map transect zones to each pedestrian shed according to the percentages allocated in the table below.

**Table 5.1.070.A Required Allocation Mix of Transect Zones**

Transect Zone	Percentage of Land Assigned to Zone	
	Minimum	Maximum
<b>Small Village Place Type</b>		
T3 Village Edge	10% min.	30% max.
T3 Village Neighborhood 1	25% min.	70% max.
T4 Neighborhood	10% min.	30% max.
T4 Village Center	no minimum	30% max.
<b>Large Village Place Type</b>		
T3 Village Edge	no minimum	30% max.
T3 Village Neighborhood 1	15% min.	50% max.
T4 Neighborhood	10% min.	40% max.
T4 Village Center	10% min.	30% max.

2. For sites 10 acres or less, the Director shall determine the appropriate mix of transect zones and the location of the center of the pedestrian shed for the area to determine if a main street is needed on the site based on existing conditions. For these sites, property owners shall submit a letter of intent to apply a regulating plan to their site to the Director, and a Pre-Application Meeting shall be held prior to Preliminary Review. Following this meeting and the further review of the project area, the Director shall make this determination.
  - a. The criteria for this selection are as follows:

- (1) Ability of the site to create a complete walkable neighborhood;
  - (2) Proximity to existing or future transit stops;
  - (3) Scale and uses adjacent to site;
  - (4) Existing zoning and entitlement of property;
  - (5) Size of the site;
  - (6) Site constraints and opportunities; and/or
  - (7) Role of this site in compact and connected growth strategy for the larger county based on adopted Community Plans and/or the County General Plan.
3. The Director may approve a modulation (administrative variance or allowance) for up to 15% for the transect zone allocation within Table A (Required Allocation Mix of Transect Zones) as long as the proposed regulating plan meets the objectives of this Sub-Article.

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**5.1.080 Neighborhood Centers/Main Streets**

- A. Neighborhood centers/main streets shall be located near the center of each pedestrian shed.
- B. Main streets shall be located along both sides of a thoroughfare; and shall be as follows:
  1. Along a primary through-thoroughfare; or
  2. Perpendicular to and directly engaging a primary through-thoroughfare.
- C. Neighborhood centers shall include civic uses and may include retail uses.

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**5.1.090 Mix of Building Types**

- A. A mix of building types introduces variety into the character of Project Development.
  1. In T3 Village Neighborhood Zone, a minimum of five percent of buildings shall not be single-family building types.
  2. In the T4 Neighborhood Zone, a minimum residential mix of three building types shall be required.

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**5.1.100 Incentives**

Reserved

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**5.1.110 Special Requirements**

A Project Development may designate any of the following special requirements:

- A. A designation for coordinated frontage, requiring that the standards in Sub-Article 3.3 (Specific to Private Frontages) be coordinated as a single, coherent landscape and hardscape design.
- B. May designate one of the following mandatory retail frontage types:
  - 1. **Shopfront.** Designations for mandatory and/or recommended Shopfront Frontage, requiring or advising that a building provide a Shopfront Frontage at sidewalk level along the entire length of its private frontage. See Section 3.3.100 (Shopfront) for standards.
  - 2. **Gallery.** Designations for mandatory and/or recommended Gallery Frontage, requiring or advising that a building provide a permanent cover over the sidewalk, either cantilevered or supported by columns. See Section 3.3.110 (Gallery) for standards.
- C. Designations for mandatory and/or recommended terminated vista locations, requiring or advising that the building be provided with architectural articulation of a type and character that responds visually to the location, as approved by the Director.
- D. A designation for cross block passages, requiring that a minimum 8-foot-wide pedestrian access be reserved between buildings.
- E. A designation for Buildings of Historic Value, requiring that such buildings and structures may be altered or demolished only in accordance with the Kaua'i Historic Preservation Review Commission.

## Sub-Article 5.2: Civic Space Standards

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### Sections:

5.2.010	Purpose
5.2.020	Applicability
5.2.030	Civic Spaces
5.2.040	Additional Standards

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### 5.2.010 Purpose

The purpose of this Sub-Article is to provide a set of civic space types and their associated standards to use within the transect zones. This Sub-Article builds upon the standards established in the Kauaʻi Parks and Recreation Master Plan.

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### 5.2.020 Applicability

The standards established in this Sub-Article shall apply to all proposed development within the transect zones, and shall be considered in combination with the standards for the applicable zone in Sub-Article 2.2 (Transect Zones) and Article 3 (Supplemental Standards for Transect Zones).

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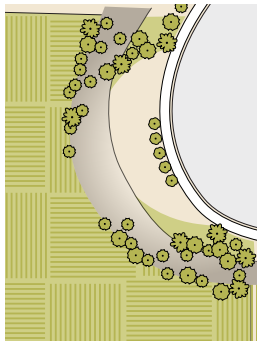

### 5.2.030 Civic Spaces

- A. The standards established in this Sub-Article provide the transect zones with a diverse palette of parks and other publicly accessible civic spaces that are essential components of walkable urban environments.
- B. There are 12 different civic space types defined in Table A (Civic Space Type Standards) beginning on page 5.2-3. The Playgrounds Civic Space Type may be incorporated into any of the other 11 types or may stand alone.
- C. In Table A (Civic Space Type Standards), the illustration and description of each civic space type are illustrative in nature and not regulatory.
- D. The service area, size, frontage and disposition of elements standards of each civic space types are regulatory.
  - 1. **Service Area.** Describes how the civic space relates to the County as a whole and the area that will be served by the civic space.
  - 2. **Size.** The overall range of allowed sizes of the civic space.


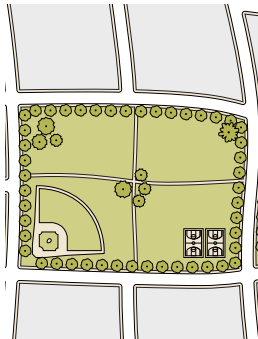

3. **Frontage.** The relationship along property lines of a civic space to adjacent buildings or lots.
  - a. **Building.** Civic spaces that are listed as having a “Building” frontage shall have the fronts of buildings, either attached to the park or across a thoroughfare, facing on to the civic space for a minimum of three quarters of the perimeter.
  - b. **Independent.** Civic spaces that are listed as having an “Independent” frontage shall have the fronts of buildings, either attached to the park or across a thoroughfare, facing on to the civic space to the maximum extent possible, but may have the side or rear of a building or lot front on to the civic space.
4. **Disposition of Elements.** The placement of objects within the civic space.
  - a. **Natural.** Civic spaces with natural character are designed in a natural manner with no formal arrangement of elements.
  - b. **Formal.** Civic spaces with a formal character have a more rigid layout that follows geometric forms and has trees and other elements arranged in formal patterns.
  - c. **Informal.** Civic spaces with an informal character have a mix of formal and natural characteristics.
- E. **Typical Facilities.** Provides a list of the typical facilities found within the civic space. This list is not intended to be a complete list of facilities allowed nor is it intended that every civic space would contain each of the facilities listed.
- F. **Ownership and Maintenance of Required Open Space, and Civic Space.** Open space areas shall be maintained as permanent open space and/or civic space through one or more of the following options:
  1. Establishment of an entity to manage and maintain the open space by the property owner, in a form that ensures long-term maintenance and management;
  2. Conveyance of the land to a property owners’ or homeowners’ association that holds the land in common ownership and will be responsible for managing and maintaining it for its intended purposes;
  3. Conveyance of the land to a third party beneficiary, such as a nonprofit environmental or civic organization, that is organized for, capable of, and willing to accept responsibility for managing and maintaining the land for its intended purposes; or
  4. Dedication of the land to the County or other appropriate public agency that is organized for, capable of, and willing to accept responsibility for managing and maintaining the land for its intended purposes.
- G. The civic spaces specified in Table A (Civic Space Type Standards) are allowed by right or with the specified approvals in the designated transect zones.



**Table 5.2.030.A Civic Space Type Standards**

Transect Zone	T3VE	T3VN.1	T3VE	T3VN.1	T3VE	T3VN.1
	T4N	T4VC	T4N	T4VC	T4N	T4VC
Civic Space Type	Special Use Park		Overlook Park		Beach Park	
Illustration						
Description	A space that is civic in nature but that does not fit into any pre-established civic space type category (Ex: golf course)		An open space that provides space for viewing scenic or historically significant vistas, usually from a height		An open space that provides public access to the shoreline and which includes waterfront space for unstructured recreation	
Location and Size						
Location						
Service Area	Regional		Regional		Regional	
Size						
Minimum	No Minimum		No Minimum		No Minimum	
Maximum	No Maximum		No Maximum		No Maximum	
Character						
Frontage	Building or Independent		Independent		Independent	
Disposition of Elements	Natural, Formal or Informal		Natural or Informal		Natural or Informal	
Typical Facilities						
	Passive and Active Recreation, Accessory Structure, Drinking Fountains, Community Facility < 5,000 gsf, Paths and Trails		Passive Recreation, Accessory Structure, Drinking Fountains, Paths and Trails		Passive and Active Recreation, Accessory Structure, Drinking Fountains, Community Facility < 5,000 gsf, Paths and Trails	

**Key****T#** Allowed**T#** By Director**T#** Not Allowed

Table 5.2.030.A Civic Space Type Standards						
Transect Zone	T3VE	T3VN.1	T3VE	T3VN.1	T3VE	T3VN.1
	T4N	T4N	T4N	T4VC	T4N	T4VC
Civic Space Type	Regional Park		Community/District Park		Greenway	
Illustration						
Description	A natural preserve available for unstructured recreation		An open space available for unstructured recreation and a limited amount of structured recreation		A linear open space that may follow natural corridors providing unstructured and limited amounts of structured recreation	
Location and Size						
Location						
Service Area	Regional		Multiple Neighborhoods		Multiple Neighborhoods	
Size						
Minimum	200 acres		12 acres		8 acres	
Maximum	-		-		-	
Character						
Frontage	Independent		Independent		Independent or Building	
Disposition of Elements	Natural, Formal or Informal		Informal		Natural or Informal	
Typical Facilities						
	Passive and Active Recreation, Accessory Structure, Drinking Fountains, Community Facility < 7,500 gsf, Paths and Trails		Passive and Active Recreation, Accessory Structure, Drinking Fountains, Community Facility < 5,000 gsf, Paths and Trails		Passive and Active Recreation, Accessory Structure, Drinking Fountains, Community Facility < 5,000 gsf, Paths and Trails	

**Key****T#** Allowed**T#** By Director**T#** Not Allowed


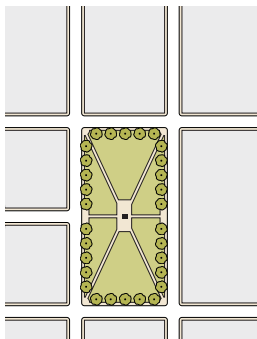
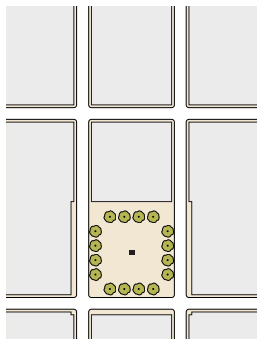
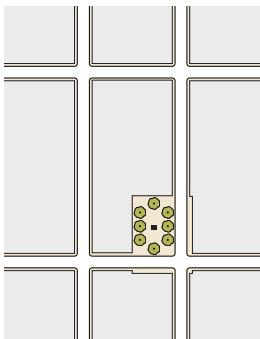
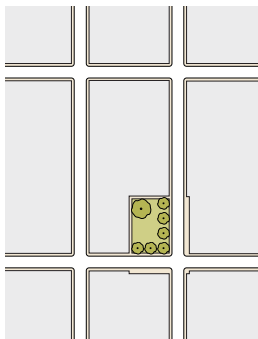
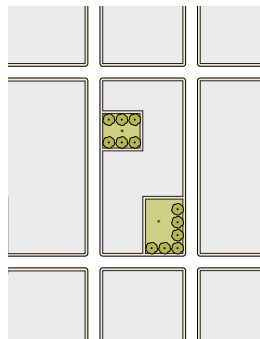
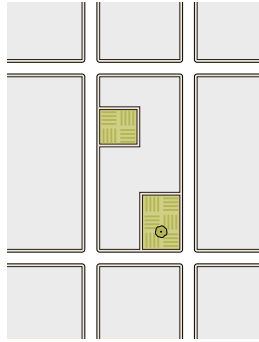
Table 5.2.030.A Civic Space Type Standards (continued)						
Transect Zone	T3VE	T3VN.1	T3VE	T3VN.1	T3VE	T3VN.1
	T4N	T4VC	T4N	T4VC	T4N	T4VC
Civic Space Type	Green		Square		Plaza	
Illustration						
Description	An open space available for unstructured and limited amounts of structured recreation		An open space available for civic purposes, unstructured and limited amounts of structured recreation		A formal open space available for civic purposes and commercial activities, which are typically hardscaped	
Location and Size						
Location	Neighborhood		Neighborhood		Neighborhood	
Service Area	Neighborhood		Neighborhood		Neighborhood	
Size	1 acre		1/2 acre		1/2 acre	
Minimum	15 acres		5 acres		2-1/2 acres	
Maximum						
Character	Building		Building		Building	
Frontage	Informal		Formal		Formal	
Disposition of Elements						
Typical Facilities						
	Passive and Active (unstructured or structured) Recreation, Accessory Structure, Drinking Fountains, Community Facility < 5,000 gsf, Paths and Trails		Passive and Active (unstructured or structured) Recreation, Accessory Structure, Drinking Fountains, Community Facility < 5,000 gsf, Paths and Trails		Passive Recreation, Accessory Structure, Drinking Fountains, Paths and Trails	

Table 5.2.030.A Civic Space Type Standards (continued)						
Transect Zone	T3VE	T3VN.1	T3VE	T3VN.1	T3VE	T3VN.1
	T4N	T4VC	T4N	T4VC	T4N	T4VC
Civic Space Type	Pocket Plaza		Pocket Park		Playground	
Illustration						
Description	A formal open space available for civic purposes and commercial activities. Pocket Plazas are typically hardscaped		An open space available for informal activities in close proximity to neighborhood residences		An open space designed and equipped for the recreation of children. A Playground should be fenced and may include an open shelter. Playgrounds may be included within other civic spaces	
Location and Size						
Location	Neighborhood		Neighborhood		Neighborhood	
Service Area	Neighborhood		Neighborhood		Neighborhood	
Size	4,000 sf		4,000 sf		No Minimum	
Minimum	4,000 sf		4,000 sf		No Minimum	
Maximum	1/2 acre		1 acre		No Maximum	
Character	Building		Building		Independent or Building	
Frontage	Building		Building		Independent or Building	
Disposition of Elements	Formal		Formal or Informal		Formal or Informal	
Typical Facilities						
	Passive Recreation, Accessory Structure, Drinking Fountains, Paths and Trails		Passive Recreation, Accessory Structure, Drinking Fountains, Paths and Trails		Accessory Structure, Drinking Fountains, Paths and Trails	

**Key****T#** Allowed**T#** By Director**T#** Not Allowed

**Table 5.2.030.A Civic Space Type Standards (continued)****Transect Zone****T3VE T3VN.1****T4N T4VC****Civic Space Type****Community Garden****Illustration****Description**

An open space designed as a grouping of garden plots that are available to nearby residents for small-scale cultivation. Community Gardens may be included within other civic spaces.

**Location and Size****Location**

Service Area

Neighborhood

**Size**

Minimum

No Minimum

Maximum

No Maximum

**Character**

Frontage

Independent or Building

Disposition of Elements

Formal or Informal

**Typical Facilities**

Accessory Structure,  
Drinking Fountains, Paths  
and Trails

**Key****T#** Allowed**T#** By Director**T#** Not Allowed

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Additional Standards

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**5.2.040 Additional Standards**

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- A. **Accessory Structure Standards.** All accessory structures within parks and open spaces, including, but not limited to, restrooms, open-air pavilions, gazebos, picnic shelters and outdoor theaters, shall not be subject to the physical requirements of the building form standards in Article 2 (Specific to Zones). They shall be designed and furnished to be consistent with the character of the transect zone in which they are located. Such consistency may require accessory structures to maintain building setbacks, frontage, massing, disposition and character similar to adjacent development as determined by the Director.

## Sub-Article 5.3: Thoroughfare Standards

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### Sections:

5.3.010	Purpose
5.3.020	Applicability
5.3.030	Allowed Thoroughfares
5.3.040	Thoroughfare Design
5.3.050	Movement Types and Design Speed
5.3.060	Intersections
5.3.070	Bicycle Facilities
5.3.080	Public Frontages
5.3.090	Public Lighting
5.3.100	Thoroughfare Assemblies

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### 5.3.010 Purpose

- A. The intent of this Sub-Article is to provide a catalog of pre-approved thoroughfare components and assemblies that are appropriate to use within transect zones. These components can be combined to form thoroughfares that can be used in developments. The standards in this Sub-Article are intended to help minimize the amount of back-and-forth with the County Engineering Division, Public Works Department and the County of Kaua'i Fire Department representatives.

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### 5.3.020 Applicability

- A. This Sub-Article describes the standards for development of thoroughfares in transect zones. It supplements the "Living Streets Manual." Where these standards conflict with the "Living Streets Manual," the standards of this Sub-Article shall prevail.
- B. These thoroughfare standards are applicable for the transformation of existing thoroughfares and the creation of new thoroughfares in any areas within the transect zones.
- C. Additional thoroughfare assemblies can be integrated into this Sub-Article as they are approved by the County.

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### 5.3.030 Allowed Thoroughfares

Predefined thoroughfare assemblies found in Section 5.3.100 (Thoroughfare Assemblies) are allowed by right.



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**5.3.040 Thoroughfare Design**

- A. Thoroughfares are intended for use by vehicular and pedestrian traffic and to provide access to lots and open spaces.
- B. Thoroughfares shall generally consist of vehicular lanes and public frontages.
- C. Thoroughfares shall be designed in context with the general intention of the transect zones through which they pass. Within transect zones pedestrian comfort shall be a primary consideration of the thoroughfare design. Design conflict between vehicular and pedestrian movement generally shall be decided in favor of the pedestrian.
- D. The requirements for pedestrian and bicyclist safety, comfort and access shall establish thoroughfare movement type and design speed. The movement type and design speed then determine the dimensions of each thoroughfare element, such as vehicular lanes and turning (curb) radii.
- E. Thoroughfares shall be designed according to the types of vehicles expected to use each thoroughfare on a daily basis. Occasionally, large vehicles are expected on all thoroughfares. All thoroughfares shall allow these vehicles to safely pass without major difficulty. It is expected that large vehicles may cross the centerline when making turning movements.
- F. Other factors that may need to be considered in the selection of an appropriate thoroughfare type in transect zones include the following:
  - 1. **Topography.** Thoroughfares that traverse steep slopes may need to incorporate additional design consideration for such elements as drainage facilities, bicycle lanes on the uphill side of the thoroughfare, etc.
  - 2. **Parking.** Parking availability on site or on the thoroughfare will determine the appropriate thoroughfare type. Parking will also be determined by lot size and use.
  - 3. **Truck Access.** Thoroughfares that provide access to high volumes of large trucks may need additional design considerations to mitigate potential negative effects on walkability.
  - 4. **Bus Service.** Thoroughfares that will serve as public transit or school bus routes may need additional design considerations, including, but not limited to, the location of bus stops.

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**5.3.050 Movement Types and Design Speed**

Movement types are intended to assist in the selection of the appropriate thoroughfare design for the necessary level of pedestrian and bicyclist safety and comfort at any given location. Design speed is the primary determinant of movement type.

Following is a list of movement types:

- A. **Yield.** Drivers must proceed slowly, with extreme care, and must yield to approaching traffic when vehicles are parked on both sides of the thoroughfare creating essentially one through lane. A Yield Thoroughfare is the functional equivalent of traffic calming. Design speed is less than 20 mph. In addition to Yield movement use on normal thoroughfares, this movement is used for alleys and rear lanes. For these applications, the primary purpose is access to rear loaded driveways/access for residential and commercial property. The 12-foot travel lane for rear lanes (alleys or lanes behind buildings that run

parallel to main streets) can be configured for one-way or two-way operation. When used for two way travel, drivers will have to yield to those vehicles occupying the lane. Therefore the number of properties connected to the rear lane should be considered. Parking in alleys and rear lanes should only occur in driveways or parking structures to allow access for trash collection, service trucks and emergency access.

- B. **Slow.** Drivers can proceed carefully with an occasional stop to allow a pedestrian to cross or another car to park. The character of the thoroughfare should make drivers uncomfortable exceeding the design speed due to the presence of parked cars, sense of enclosure from buildings and street trees, tight turning radii, and other design elements. Design speed is 20-25 mph.
- C. **Low.** Drivers can generally expect to travel without delay at the appropriate design speed. Thoroughfare design supports safe pedestrian movement at the higher design speed. This movement type is appropriate for thoroughfares designed to traverse longer distances or connect to higher intensity locations. Design speed is 30-35 mph.
- D. **Rural.** This is a conventional thoroughfare design in which drivers can expect a separation of modes, (i.e., bike lanes, walking paths and roads) allowing automobiles to travel unimpeded by pedestrians or walkability concerns. This movement type is rarely used in T3 transect zones and above. Design speed may be above 35 mph.

The design criteria for Yield, Slow, and Low Thoroughfares shall be commensurate with local thoroughfares. Design speeds higher than 35 mph shall not be used in areas intended to support moderate or high levels of pedestrian or bicycle activity due to concerns with safety and comfort.

## 5.3.060 Intersections

- A. Street design of narrow streets and compact intersections requires designers to pay close attention to the operational needs of transit, fire and rescue, waste collection and delivery trucks. For this reason, early coordination with transit, fire and rescue, waste collection and other stakeholder groups is essential.
- B. More regular encroachment of turning vehicles into opposing lanes will occur at compact intersections. Therefore, frequency of access, traffic volumes and the speeds on intersecting streets at those intersections must be considered when designing intersections. For fire and rescue, determination of the importance of that street for community access should be determined, e.g., primary or secondary access.

**Table 5.3.060.A Curb Radius**

This table provides the radius for curbs at the intersection of thoroughfares.

Movement Type	Speed	Curb Radius <sup>1</sup>
Yield	<20 mph	5' - 10'
Slow	20-25 mph	10' - 15'
Low	30-35 mph	15' - 20'

<sup>1</sup> With on-street parking, or bike lanes and no curb extensions or bulb-outs.

- C. Bike lanes and on street parking will increase the effective curb return radius, when curb extensions are not employed, by providing more room for the wheel tracking of turning vehicles. The designer should use turning templates or software to evaluate intersections to ensure adequate operation of vehicles can occur. Treatment of on street parking around

intersections should be evaluated during this analysis to identify potential conflicts between turning vehicles and on street parking.

### 5.3.070 Bicycle Facilities

Bicycle facilities shall meet the standards found in Table A (Bicycle Facilities Standards) below.

<b>Table 5.3.070.A Bicycle Facilities Standards</b>	
<b>Shared Use Trail</b>	
Transect Zones	<b>T3VE</b> <b>T3VN.1</b> T4N T4VC
Width	
One-way	8' min.
Two-way	12' min.
<b>Bicycle Lane</b>	
Transect Zones	<b>T3VE</b> <b>T3VN.1</b> <b>T4N</b> <b>T4VC</b>
Width Adjacent to:	
Rural Edge	4' min.
Parking	6' min.
Curb and Gutter	5½' to face of curb
Design Speed of Thoroughfare	>25 mph
<b>Sharrow/Bicycle Boulevard</b>	
Transect Zones	<b>T3VE</b> <b>T3VN.1</b> <b>T4N</b> <b>T4VC</b>
Width	no minimum
Design Speed of Thoroughfare	≤25 mph

### 5.3.080 Public Frontages

#### A. General to All Transect Zones

1. The public frontage contributes to the character of the transect zone, and includes the types of sidewalk, curb, planter, and street trees.
2. Public frontages shall be designed and allocated within transect zones as shown in Table 5.3.100.A (Thoroughfare Assemblies).
3. Within the public frontages, the prescribed types of public planting and public lighting shall be as shown in Section 5.3.090 (Public Lighting). The spacing may be adjusted with the approval of the Director to accommodate specific site conditions.

#### B. Specific To T3 Zones (T3VE, T3VN.1)

1. The public frontage shall include trees of various species, naturalistically clustered, as well as understory.
2. The introduced landscape shall consist primarily of native species requiring minimal irrigation, fertilization and maintenance. Lawn shall be permitted only with approval by the Director.

**C. Specific To T4 Zones (T4N, T4VC)**

1. The public frontage shall include trees planted in a regularly-spaced allee pattern of single or alternated species with shade canopies of a height that, at maturity, clears at least one story.
2. The introduced landscape shall consist primarily of durable species tolerant of soil compaction.

## 5.3.090 Public Lighting

### A. Maximum Lamp Output and Back Uplight Glare (BUG) Rating:

All lighting installations shall be designed and installed to be compliant with the following Lighting Zones as defined by the IDA/IES Model Lighting Ordinance (MLO). Light should be shielded such that the lamp itself or the lamp image is not directly visible.

Table 5.3.090.A Lighting Zones	
Transect Zone	Light Zone
T3VE	LZ1
T3VN.1	LZ1
T4N & T4N-F	LZ2
T4VC & T4VC-F	LZ2

### B. Lighting that is exempt from these regulations:

1. Lighting in swimming pools and other water features governed by Article 680 of the National Electrical Code.
2. Exit signs and other illumination required by building codes.
3. Lighting for stairs and ramps, as required by the building code.
4. Low voltage landscape lighting, but such lighting should be shielded in such a way as to eliminate glare and light trespass.

### C. General Guidelines:






1. More light does not always translate to better safety and security. For safety and security, it is more important that the right amount is provided, in the right place, at the right time. Light provided in excess of what is needed, in the wrong locations and/or at the wrong time translates into wasted light and energy.
2. Use the lowest wattage of lamp as possible. For cost saving purposes, consider compact fluorescent lamps rather than incandescent, as they use much less energy and have a much longer lifetime.
3. Specify and use fixtures that carry approval of the International Dark Sky Association.
4. Whenever possible, turn off the lights.

### D. Kaua'i Seabird Habitat Preservation Program

1. Lighting shall also comply with the Mitigation Strategies of the Kaua'i Seabird Habitat Preservation Program.

**Table 5.3.090.B Public Lighting**

Lighting varies in brightness and also in the character of the fixture according to the transect zones. This table shows the types of light poles and fixtures that may be approved by the County of Kaua'i Public Works Department assigned to the transect zones. However, the County of Kaua'i Public Works Department must be included in the selection of light poles and light fixtures.

Transect Zone	T3VE	T3VN.1	T3VE	T3VN.1	T3VE	T3VN.1	T3VE	T3VN.1	T3VE	T3VN.1
	T4N	T4VC	T4N	T4VC	T4N	T4VC	T4N	T4VC	T4N	T4VC
Fixture Type	Cobra Head		Pipe		Post		Column		Double Column	
Illustration										
Placement										
Spacing	50' o.c.		50' o.c.		50' o.c.		50' o.c.		50' o.c.	
Form										
Height	18' - 24'		14' - 24'		14' - 18'		14' - 18'		14' - 18'	
Key	T# Allowed				T# By Director				T# Not Allowed	

### 5.3.100 Thoroughfare Assemblies

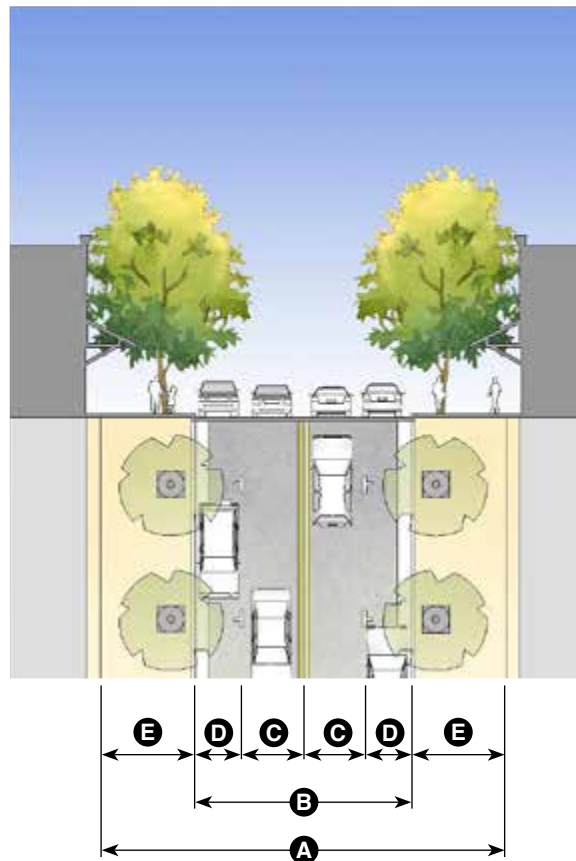
- This section provides thoroughfare assemblies that have been approved by the County for use in transect zones.
- The tables in this section are adopted into the County of Kaua'i Living Streets Manual and are provided here for reference purposes

Key		ST-57-20-BL
Thoroughfare Type	_____	_____
Right of Way Width	_____	_____
Pavement Width	_____	_____
Transportation	_____	_____

#### Thoroughfare Types

Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR

## Thoroughfare Assemblies

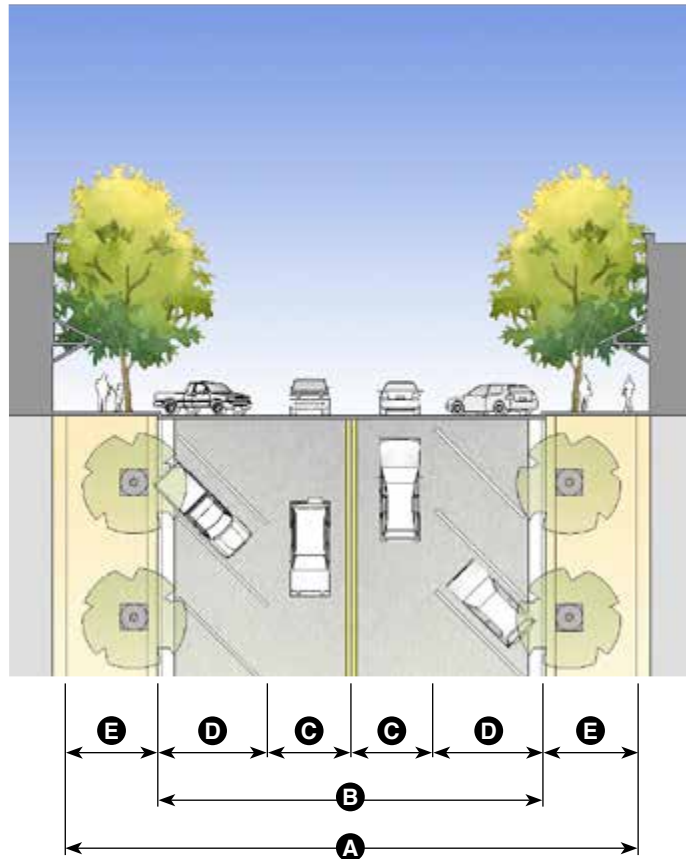
**Table 5.3.100.A Thoroughfare Assembly CS-60-36**

Application	
Transect Zones	<div>T3VE</div> <div>T3VN.1</div> <div>T4N</div> <div>T4VC</div>
Movement Type	Slow
Design Speed	20 mph
Overall Widths	
Right-of-Way (ROW) Width	60' <b>A</b>
Pavement Width	36' <b>B</b>
Lane Assembly	
Traffic Lanes	2 @ 10' <b>C</b>
Bicycle Lanes	None
Parking Lanes	2 @ 8', marked <b>D</b>
Medians	None

Public Frontage Assembly	
Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4'x4' tree well
Landscape Type	Trees at 40' o.c. avg.
Lighting Type	Post or column
Walkway Type	12' sidewalk <b>E</b>
Curb Type	Square

**Key****T#** By Right**T#** By Director**T#** Not Allowed



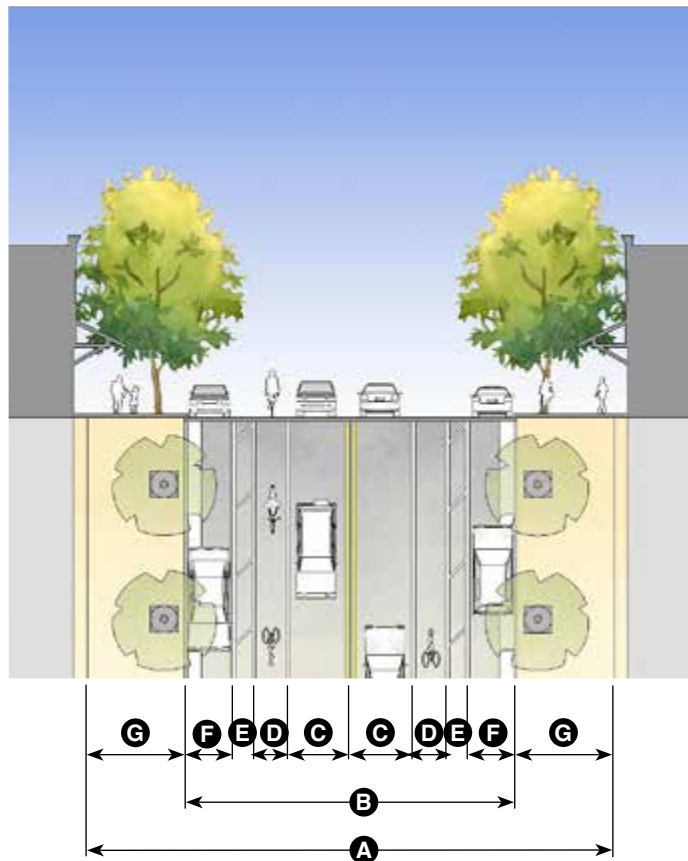
**Table 5.3.100.A Thoroughfare Assembly CS-82-54**

Application	
Transect Zones	<div>T3VE</div> <div>T3VN.1</div> <div>T4N</div> <div>T4VC</div>
Movement Type	Slow
Design Speed	20 mph
Overall Widths	
Right-of-Way (ROW) Width	82' <b>A</b>
Pavement Width	54' <b>B</b>
Lane Assembly	
Traffic Lanes	2 @ 11' <b>C</b>
Bicycle Lanes	None
Parking Lanes	2 @ 16', marked: <b>D</b> Back in at 45 degrees
Medians	None

Public Frontage Assembly	
Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4'x4' tree well, setback 2' from curb
Landscape Type	Trees at 40' o.c. avg.
Lighting Type	Post or column
Walkway Type	14' sidewalk <b>E</b>
Curb Type	Square

Key **T#** By Right**T#** By Director**T#** Not Allowed

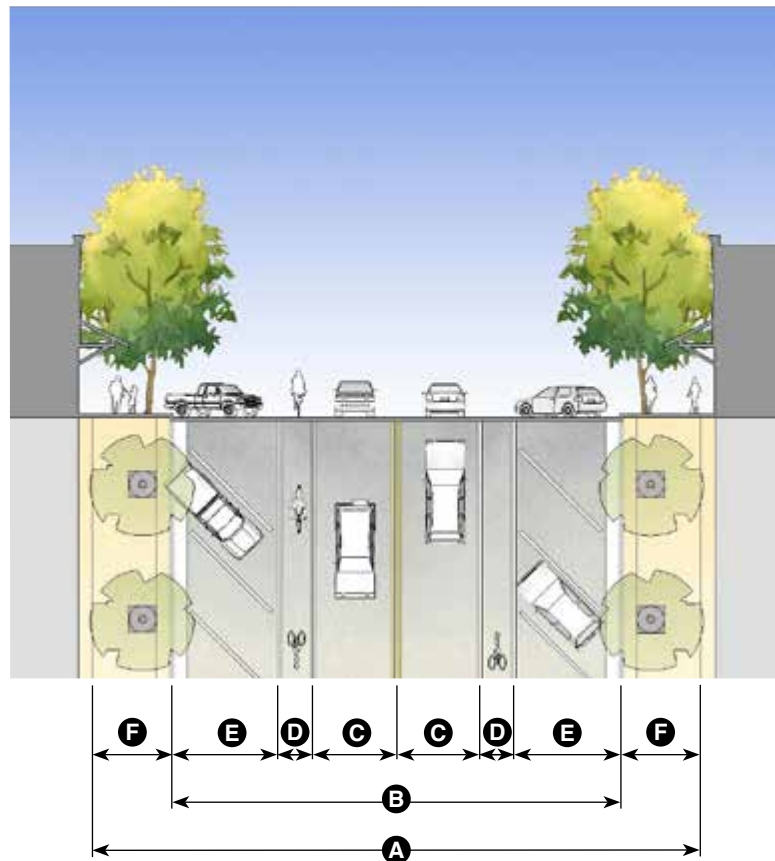
## Thoroughfare Assemblies

**Table 5.3.100.A Thoroughfare Assembly CS-82-50-BL**

Application	
Transect Zones	<div>T3VE</div> <div>T3VN.1</div> <div>T4N</div> <div>T4VC</div>
Movement Type	Low
Design Speed	30 mph
Overall Widths	
Right-of-Way (ROW) Width	72' <b>A</b>
Pavement Width	48' <b>B</b>
Lane Assembly	
Traffic Lanes	2 @ 10' <b>C</b>
Bicycle Lanes	2 @ 4' <b>D</b>
Buffer Lane	2 @ 3'
Parking Lanes	2 @ 7', marked <b>E</b>
Medians	None

Public Frontage Assembly	
Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4'x4' tree well <b>F</b>
Landscape Type	Trees at 40' o.c. avg.
Lighting Type	Post or Column
Walkway Type	12' sidewalk <b>G</b>
Curb Type	Square

**Key****T#** By Right**T#** By Director**T#** Not Allowed

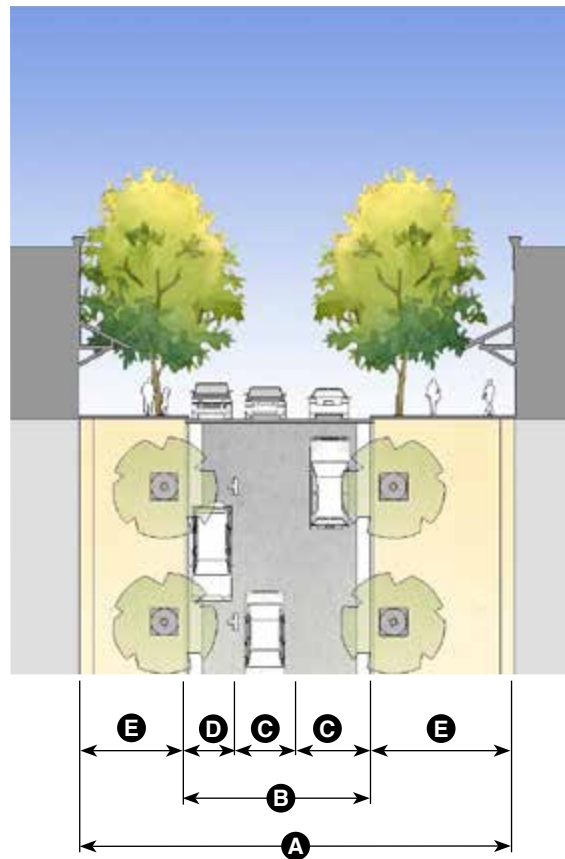
**Table 5.3.100.A Thoroughfare Assembly CS-98-62-BL**

Application		
Transect Zones	T3VE	T3VN.1
	T4N	T4VC
Movement Type	Slow	
Design Speed	20 mph	
Overall Widths		
Right-of-Way (ROW) Width	98'	A
Pavement Width	62'	B
Lane Assembly		
Traffic Lanes	2 @ 10'	C
Bicycle Lanes	2 @ 5'	D
Parking Lanes	2 @ 16', marked: Back in at 45 degrees	E
Medians	None	

Public Frontage Assembly	
Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4'x4' tree well, setback 2' from curb
Landscape Type	Trees at 40' o.c. avg.
Lighting Type	Post or column
Walkway Type	14' sidewalk <b>F</b>
Curb Type	Square

Key **T#** By Right**T#** By Director**T#** Not Allowed

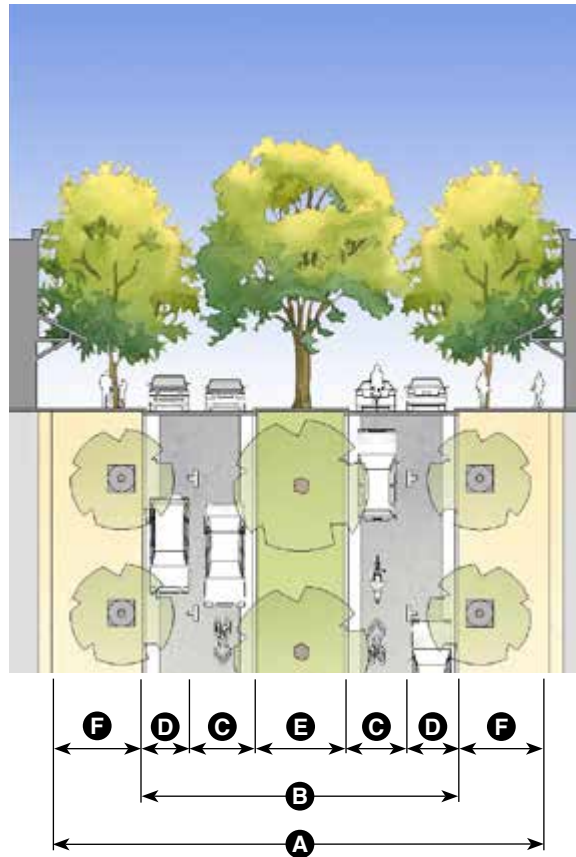
## Thoroughfare Assemblies

**Table 5.3.100.A Thoroughfare Assembly CS-52-28**

Application	
Transect Zones	<div>T3VE</div> <div>T3VN.1</div> <div>T4N</div> <div>T4VC</div>
Movement Type	Low
Design Speed	30 mph
Overall Widths	
Right-of-Way (ROW) Width 52'	<b>A</b>
Pavement Width 28'	<b>B</b>
Lane Assembly	
Traffic Lanes 2 @ 10'	<b>C</b>
Bicycle Lanes	None
Buffer Lane	None
Parking Lanes 1 @ 8', marked	<b>D</b>
Medians	None

Public Frontage Assembly	
Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4'x4' tree well, setback 2' from curb
Landscape Type	Trees at 40' o.c. avg.
Lighting Type	Post or column
Walkway Type	12' sidewalk <b>E</b>
Curb Type	Square

**Key****T#** By Right**T#** By Director**T#** Not Allowed

**Table 5.3.100.A Thoroughfare Assembly BV-72-40**

Application		
Transect Zones	T3VE	T3VN.1
	T4N	T4VC
Movement Type	Low	
Design Speed	30 mph	
Overall Widths		
Right-of-Way (ROW) Width	72'	A
Pavement Width	48'	B
Lane Assembly		
Traffic Lanes	2 @ 10'	C
Bicycle Lanes	None	
Buffer Lane	None	
Parking Lanes	2 @ 7', marked	D
Medians	1 @ 14'	E

Public Frontage Assembly	
Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4'x4' tree well, setback 2' from curb
Landscape Type	Trees at 40' o.c. avg.
Lighting Type	Post or column
Walkway Type	12' sidewalk <b>F</b>
Curb Type	Square

Key **T#** By Right**T#** By Director**T#** Not Allowed

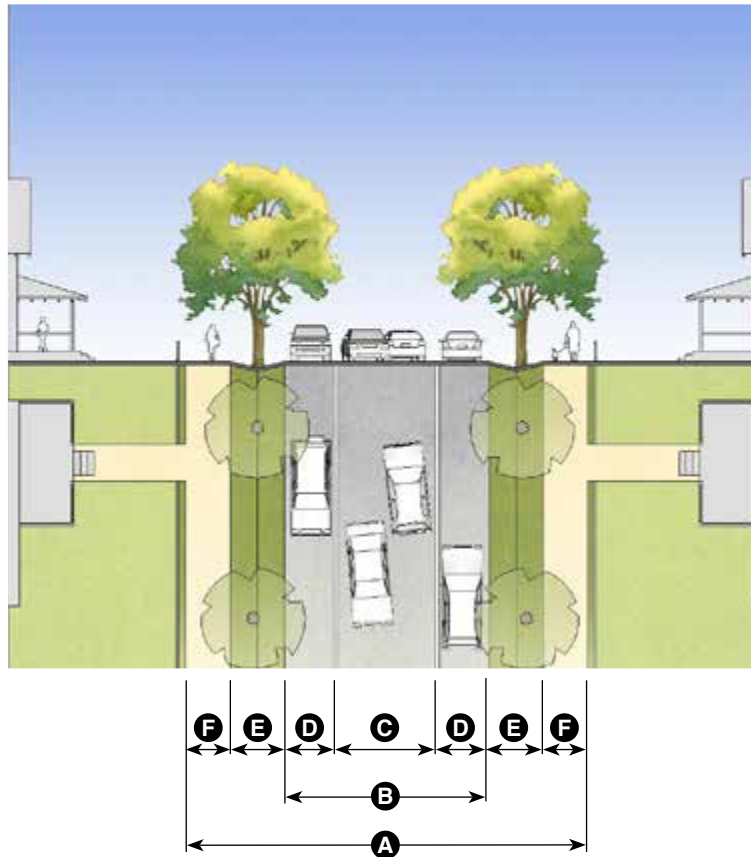
## Thoroughfare Assemblies

**Table 5.3.100.A Thoroughfare Assembly CA-24-20**

Application	
Transect Zones	<div>T3VE</div> <div>T3VN.1</div> <div>T4N</div> <div>T4VC</div>
Movement Type	Slow
Design Speed	<20 mph
Overall Widths	
Right-of-Way (ROW) Width	24' <b>A</b>
Pavement Width	20' <b>B</b>
Lane Assembly	
Traffic Lanes	2 @ 10' <b>C</b>
Bicycle Lanes	None
Parking Lanes	None
Medians	None

Public Frontage Assembly	
Frontage Type	Commercial rear alley
Drainage Collection Type	Valley gutter or sheet flow
Planter Type	None
Landscape Type	None
Lighting Type	Pipe or post (if provided)
Walkway Type	None
Curb Type	Flush or none

**Key****T#** By Right**T#** By Director**T#** Not Allowed

**Table 5.3.100.A Thoroughfare Assembly ST-46-30**

Application		
Transect Zones	T3VE	T3VN.1
	T4N	T4VC
Movement Type	Yield	
Design Speed	<20 mph	
Overall Widths		
Right-of-Way (ROW) Width	54'	A
Pavement Width	28'	B
Lane Assembly		
Traffic Lanes	1 @ 14'	C
Bicycle Lanes	None	
Parking Lanes	2 @ 7'	D
Medians	None	

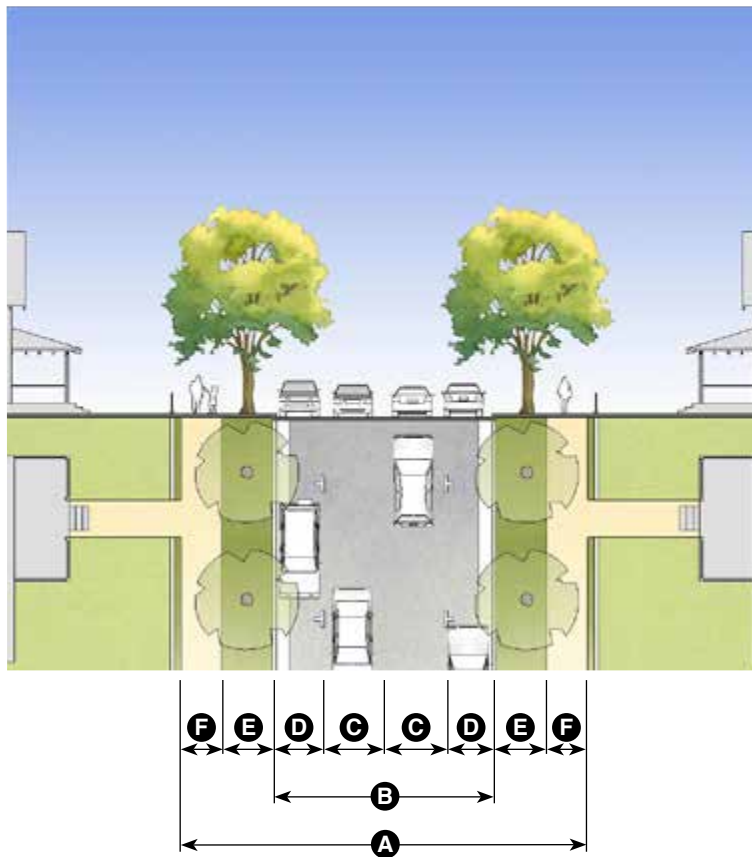
Public Frontage Assembly	
Frontage Type	Street
Drainage Collection Type	Sheet flow
Planter Type	8' continuous swale <b>E</b>
Landscape Type	Trees at 50' o.c. avg.
Lighting Type	Pipe, post or column
Walkway Type	5' sidewalk <b>F</b>
Curb Type	None

Key

**T#** By Right**T#** By Director**T#** Not Allowed



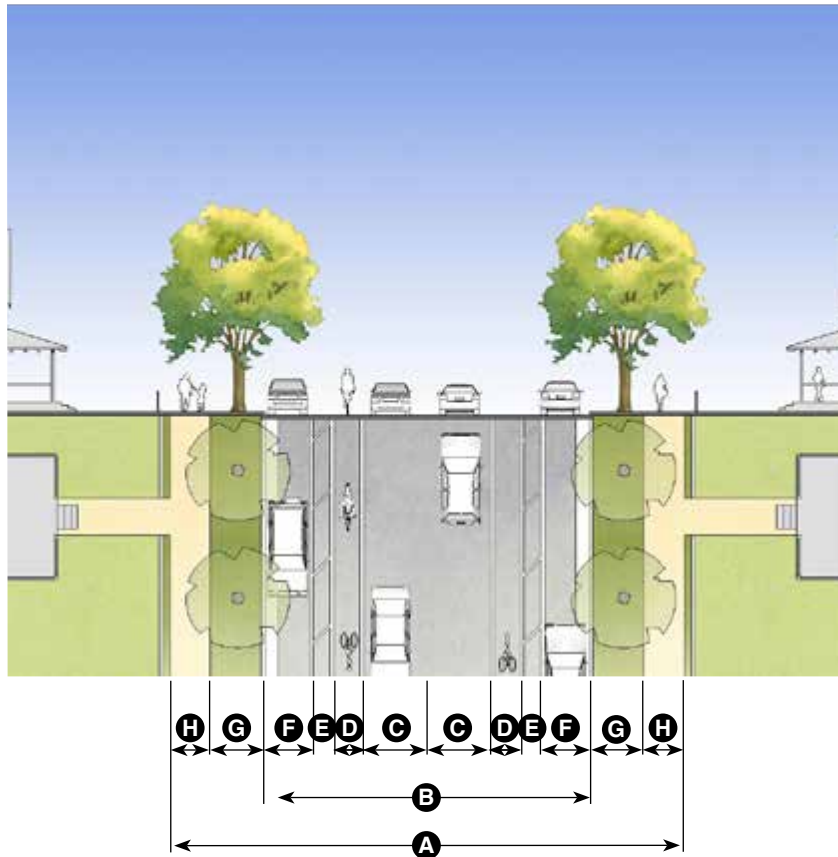
## Thoroughfare Assemblies

**Table 5.3.100.A Thoroughfare Assembly ST-60-34**

Application	
Transect Zones	<div>T3VE</div> <div>T3VN.1</div> <div>T4N</div> <div>T4VC</div>
Movement Type	Slow
Design Speed	20 mph
Overall Widths	
Right-of-Way (ROW) Width 60'	<b>A</b>
Pavement Width 34'	<b>B</b>
Lane Assembly	
Traffic Lanes 2 @ 10'	<b>C</b>
Bicycle Lanes	None
Parking Lanes 2 @ 7', marked	<b>D</b>
Medians	None

Public Frontage Assembly	
Frontage Type	Street
Drainage Collection Type	Curb and gutter
Planter Type	7' continuous planter <b>E</b>
Landscape Type	Trees at 40' o.c. avg.
Lighting Type	Pipe, post or column
Walkway Type	6' sidewalk <b>F</b>
Curb Type	Square

**Key****T#** By Right**T#** By Director**T#** Not Allowed

**Table 5.3.100.A Thoroughfare Assembly ST-72-48-BL**

Application		
Transect Zones	T3VE	T3VN.1
	T4N	T4VC
Movement Type	Low	
Design Speed	30 mph	
Overall Widths		
Right-of-Way (ROW) Width	72'	A
Pavement Width	48'	B
Lane Assembly		
Traffic Lanes	2 @ 10'	C
Bicycle Lanes	2 @ 4'	D
Buffer	2 @ 3'	E
Parking Lanes	2 @ 7', marked	F
Medians	None	

Public Frontage Assembly	
Frontage Type	Street
Drainage Collection Type	Curb and gutter
Planter Type	6' continuous planter G
Landscape Type	Trees at 40' o.c. avg.
Lighting Type	Pipe, post or column
Walkway Type	6' sidewalk H
Curb Type	Square

Key	T# By Right	T# By Director	T# Not Allowed
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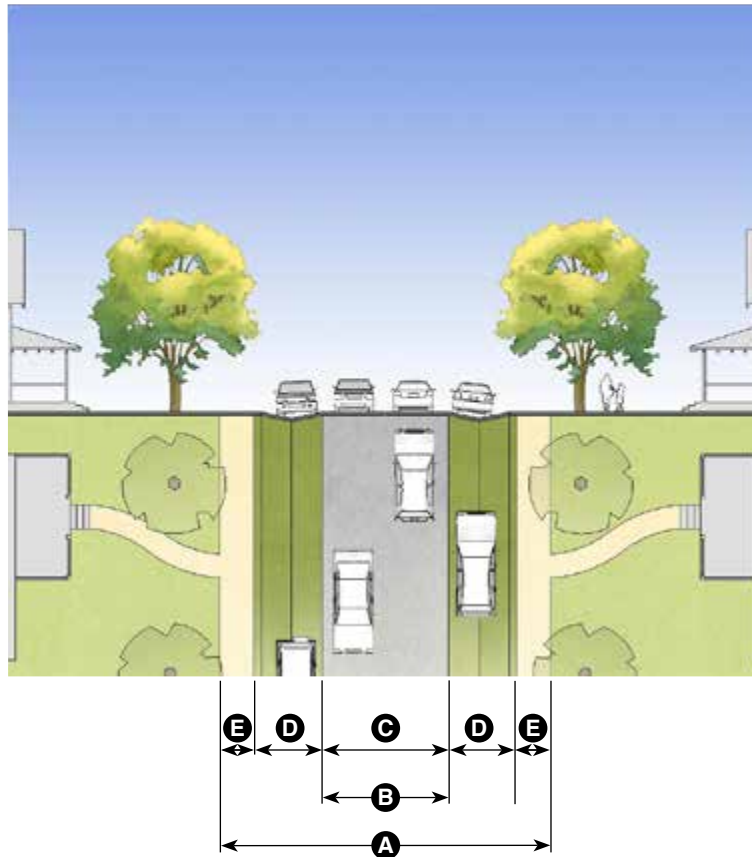
## Thoroughfare Assemblies

**Table 5.3.100.A Thoroughfare Assembly RL-20-14**

Application	
Transect Zones	<b>T3VE</b> <b>T3VN.1</b> <b>T4N</b> <b>T4VC</b>
Movement Type	Yield
Design Speed	<20 mph
Overall Widths	
Right-of-Way (ROW) Width 20'	<b>A</b>
Pavement Width 14'	<b>B</b>
Lane Assembly	
Traffic Lanes	1 @ 14' <b>B</b>
Bicycle Lanes	None
Parking Lanes	None
Medians	None

Public Frontage Assembly	
Frontage Type	Rear lane
Drainage Collection Type	Sheet flow
Planter Type	None
Landscape Type	None
Lighting Type	Pipe or post (if provided)
Walkway Type	None
Curb Type	Flush or none

**Key****T#** By Right**T#** By Director**T#** Not Allowed

**Table 5.3.100.A Thoroughfare Assembly RD-48-20**

Application		
Transect Zones	T3VE	T3VN.1
	T4N	T4VC
Non-Transect Zones		
Movement Type	Slow	
Design Speed	20 mph	
Overall Widths		
Right-of-Way (ROW) Width	48'	A
Pavement Width	20'	B
Lane Assembly		
Traffic Lanes	1 @ 20'	C
Bicycle Lanes	None	
Parking Lanes	Informal in swale	
Medians	None	

Public Frontage Assembly	
Thoroughfare Type	Road
Drainage Collection Type	Sheet flow
Planter Type	9' continuous planter <b>D</b>
Landscape Type	Trees at 30' o.c. avg.
Lighting Type	Pipe, post or column
Walkway Type	5' sidewalk <b>E</b>
Curb Type	None

**Key****T#** By Right**T#** By Director**T#** Not Allowed

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# **Article 6: Permit and Procedures**

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**Reserved**





# Article 7: Definitions

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<b>Sub-Article 7.1: Definitions</b>		<b>7.1-1</b>
7.1.010	Definitions of Specialized Terms and Phrases	7.1-1
7.1.020	Definitions of Land Uses	7.1-5

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# Sub-Article 7.1: Definitions

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## Sections:

- 7.1.010 Definitions of Specialized Terms and Phrases
- 7.1.020 Definitions of Land Uses

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## 7.1.010 Definitions of Specialized Terms and Phrases

### A. Definitions

**Accessory Structure.** A building or structure which is subordinate to, and the use of which is incidental to that of the main building, structure or use on the same lot or parcel.

**Accessory Use.** A use customarily incidental, appropriate and subordinate to the main use of the parcel or building.

**Adult Family Boarding Home.** Any family home providing for a fee, twenty-four (24) hour living accommodations to no more than five (5) adults unrelated to the family, who are in need of minimal “protective” oversight care in their daily living activities. These facilities are licensed by the Department of Health, State of Hawai‘i under the provisions of Hawai‘i Administrative Rules (HAR) sections 17-883-74 to 17-883-91.

**Allowed Use.** Uses that are allowed by right and are not subject to the conditions of approval, mandatory review periods, or expiration periods as required for Use Permits.

**Ancillary Structure/Ancillary Building.** See “Accessory Structure.”

**Architectural Features.** Exterior building elements intended to provide ornamentation to the building massing, including, but not limited to: eaves, cornices, bay windows, window and door surrounds, light fixtures, canopies, and balconies.

### B. Definitions

**Build-to Line (BTL).** A line parallel to a property line or right-of-way where a building facade must be placed. The BTL may appear graphically on the regulating plan or be stated as a dimension from the property line or right-of-way. Minor deviations from the BTL are allowed for architectural features, recessed entries, and recessed balconies and do not count against the calculations of percent of BTL defined by a building or building at the BTL.

**Building Type.** A structure defined by its combination of configuration, disposition and function.

### C. Definitions

**Carport.** A roofed accessory structure providing space for the parking of motor vehicles and enclosed on not more than two sides. Carports attached to the principal structure that are enclosed are considered an addition to the principal structure and must meet the building setback requirement for the district.

**Carriage House.** See Section 3.2.040 (Carriage House).

**Ceiling Height, Ground Floor.** Height from finished floor to finished ceiling of primary rooms on the ground floor, not including secondary rooms such as bathrooms, closets, utility rooms and storage spaces.

**Ceiling Height, Upper Floor(s).** Height from finished floor to finished ceiling of primary rooms on the floor(s) above the ground floor, not including secondary rooms such as bathrooms, closets, utility rooms and storage spaces.

**Charrette.** A multiple-day collaborative design and planning workshop held on-site and inclusive of all affected stakeholders.

**Civic.** A term defining not-for-profit organizations that are dedicated to arts, culture, education, religious activities, recreation, government, transit, and public parking facilities.

**Civic Building.** A structure operated by governmental or not-for-profit organizations and limited to civic and related uses.

**Civic Space.** An outdoor area dedicated for civic activities.

**Commercial.** A term defining workplace, office and retail uses collectively.

**Common Courtyard.** An entry court, forecourt or courtyard shared by multiple residential units or commercial spaces.

**Cottage Court.** See Section 3.2.070 (Cottage Court).

#### D. Definitions

**Depth, Ground-Floor Commercial Space.** The distance from the street-facing facade to the rear interior wall of the ground-floor space available to a commercial tenant.

**Director.** The Director of Planning Department or his or her duly appointed representative.

#### E. Definitions

**Encroachment.** Any architectural feature, structure or structural element, such as a gallery, fence, garden wall, lānai, stoop, balcony, bay window, terrace or deck, that breaks the plane of a vertical or horizontal regulatory limit extending into a setback, beyond the build-to-line, into the public frontage, or above a height limit.

#### F. Definitions

**Facade.** The vertical surface of a building.

**Facade Zone.** The area between the minimum and maximum setback lines.

**Finish Level, Ground Floor.** Height difference between the finished floor on the ground floor and the adjacent public walk. In the case of a loading dock frontage that serves as the public right-of-way, the floor finish level is the height of the walk above the adjacent street. Regulations for ground floor finish level for ground floor residential uses do not apply to ground floor lobbies and common areas in multi-unit buildings.

**Flex Space.** A room or group of internally connected rooms designed to accommodate an evolution of use over time in response to an evolving market demand. Typically designed to accommodate future commercial uses, while accommodating less intense short-term uses, such as residential or live/work, until the full commercial demand has been established.

**Formally Disposed.** Composed in a formal arrangement, in a regular, classical, and typically symmetrical manner.

**Front.** The primary frontage(s) of a lot, determined as follows:

For lots with frontages along multiple thoroughfares, the frontage along the thoroughfare with the most pedestrian activity, as determined by the Director, will always be the Front. All other frontages may be considered to be side street frontages.

For lots with frontages along a thoroughfare and a civic space, the Front may be the frontage along either the thoroughfare or the civic space, or both frontages may be treated as Fronts, with the following exception: the frontage along certain Civic Spaces may be required to be a Front, as per the civic space standards. See Sub-Article 5.2 (Civic Space Standards).

For lots with a single frontage along a thoroughfare or a civic space, but not both, that frontage is the Front.

Frontages along alleys, service drives, and parking drives may never be a Front.

**Frontage.** A strip or extent of land abutting a thoroughfare, civic space or other public right-of-way.

1. **Frontage, Private.** The area between the building facade and the shared lot line between the public right-of-way and the lot.
2. **Frontage, Public.** The area between the curb of the vehicular lanes and the frontage line.

**Frontage Line.** The property line(s) of a lot fronting a thoroughfare or other public way, or a civic space.

**Frontage Type.** See Sub-Article 3.3 (Specific to Private Frontages).

#### **G. Definitions**

**Garage.** A structure, or part thereof, used or intended to be used for the parking and storage of motor vehicles.

#### **H. Definitions**

**Height.** See Section 3.1.020 (Additional Height Regulations).

#### **I. Definitions**

**Infill.** The development of vacant land that was bypassed by earlier waves of development and is now largely surrounded by developed land.

#### **J. Definitions**

No specialized terms beginning with the letter J are defined at this time.

#### **K. Definitions**

No specialized terms beginning with the letter K are defined at this time.

#### **L. Definitions**

**Liner Building.** An occupiable structure specifically designed to mask a parking lot or a parking structure from a frontage.

#### **M. Definitions**

**Mixed-Use.** Multiple functions within the same building or the same general area through superimposition or within the same area through adjacency.

**Mixed-Use Project.** A development that combines both commercial and residential uses on the same site, typically with the commercial uses occupying the ground floor street frontage and the residential uses above.

#### **N. Definitions**

**Naturally Disposed.** A preservation of the existing natural condition or a composition of elements arranged as they would appear in nature, with irregular shapes and asymmetry.

#### **O. Definitions**

No specialized terms beginning with the letter O are defined at this time.

#### **P. Definitions**

**Passive Recreation.** Recreation requiring little or no physical exertion focusing on the enjoyment of one's natural surroundings.

**Pedestrian Shed.** An area centered on a major destination. Its size is limited by an average distance that may be traversed at an easy walking pace in a given amount of time from its center to its edge. Pedestrian sheds are useful for planning walkable areas. See Section 5.1.060 (Pedestrian Sheds).

#### **Q. Definitions**

No specialized terms beginning with the letter Q are defined at this time.

#### **R. Definitions**

**Residential.** Premises used primarily for human habitation.

#### **S. Definitions**

**Setback.** The mandatory clear distance between a property line and a structure.

**Shared Parking.** Any parking spaces assigned to more than one user, where different persons utilizing the spaces are unlikely to need the spaces at the same time of day.

**Storefront.** The portion of a frontage composed of the display window and/or entrance and its components, including windows, doors, transoms and sill pane, that is inserted into various frontage types, such as a shopfront or gallery, to accommodate retail uses.

**Story.** An above-grade habitable floor level within a building.

1. **Half.** A conditioned space that rests primarily underneath the slope of the roof, usually having dormer windows.

**Structure.** Anything constructed or erected, the use of which requires attachment to the ground, attachment to something located on the ground, or placement on the ground.

#### **T. Definitions**

**Tandem Parking.** A parking space deep enough to allow two cars to park, one behind the other.

**Temporary Parking Lots.** Parking lots that are not permanent, are only intended to fulfill a short-term need, and ultimately will be replaced by a permanent building or structure. Temporary parking lots are not subject to the parking location regulations

and liner requirements for above grade parking in the building form standards but must comply with all landscaping standards.

**Transect.** A cross-section of the environment showing a range of different habitats. The rural-to-urban transect of the human environment is divided into multiple transect zones that describe the physical form and character of a place according to the intensity of its land use and urbanism.

**Transect Zone.** One of several areas on the regulating plan. See Sub-Article 2.2 (Transect Zones).

**Transit Station.** A lot or structure used for the purpose of parking, loading and unloading freight and passengers from train or bus transportation. May include parking facilities and other commercial amenities to service transit passengers.

**Transit Stop.** A location where buses stop to load and unload passengers. A transit stop may or may not include a shelter or a pullout.

#### U. Definitions

**Use Permit.** These permits are issued by the Planning Commission for conditional uses allowed within a district.

**Utilities.** Installations or facilities or means for furnishing to the public, electricity, gas, steam, communications, water, drainage, sewage disposal, or flood control, irrespective of whether such facilities or means are underground or above ground. Utilities may be owned and operated by any person, firm, corporation, municipal department or board, duly appointed by state or municipal regulations. Utility or utilities as used herein may also refer to such persons, firms, corporations, departments, or boards.

#### V. Definitions

No specialized terms beginning with the letter V are defined at this time.

#### W. Definitions

**Work/Live Unit.** An integrated housing unit and working space in a structure that has been designed or structurally modified to accommodate joint residential occupancy and work activity with a substantial commercial component that may accommodate employees and walk-in trade.

#### X. Definitions

No specialized terms beginning with the letter X are defined at this time.

#### Y. Definitions

No specialized terms beginning with the letter Y are defined at this time.

#### Z. Definitions

No specialized terms beginning with the letter Z are defined at this time.

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## 7.1.020 Definitions of Land Uses

### A. Definitions

**Accessory Use.** A use customarily incidental, appropriate and subordinate to the main use of the parcel or building.

**Adult Family Boarding Home.** Any family home providing for a fee, twenty-four (24) hour living accommodations to no more than five (5) adults unrelated to the family, who are in need of minimal “protective” oversight care in their daily living activities. These facilities are licensed by the Department of Health, State of Hawai‘i under the provisions of Hawai‘i Administrative Rules (HAR) sections 17-883-74 to 17-883-91.

**Adult Family Group Living Home.** Any family home providing twenty-four (24) hour living accommodations for a fee to five (5) to eight (8) elderly, handicapped, developmentally disabled or totally disabled adults, unrelated to the family, who are in need of long-term minimal assistance and supervision in the adult’s daily living activities, health care, and behavior management. These facilities are licensed by the Department of Health, State of Hawai‘i, under the provisions of HAR sections 17-883-74 to 17-883-91.

**Agriculture and Nurseries, Diversified and Specialized.** The breeding, planting, nourishing, caring for, gathering and processing of any animal or plant organism for the purpose of nourishing people or any other plant or animal organism; or for the purpose of providing the raw material for non-food products. For the purposes of this Chapter, Agriculture shall include the growing of flowers and other ornamental crops and the commercial breeding and caring for animals as pets.

**Alcoholic Beverage Sales.** The retail sale of beer, wine, and/or spirits for on-site or off-site consumption, either as part of another retail use or as a primary business activity.

**Animal Hospital.** An establishment for the care and treatment of small animals, including household pets.

**Automobile Repair.** A garage wherein major repairs are made to motor vehicles or in which any major repairs are made to motor vehicles other than those normally used by the occupants of the parcel on which the garage is located.

**Automobile Sales.** Retail or wholesale establishment selling automobiles, trucks, vans, trailers, motorcycles, boats, and/or scooters with internal combustion engines. May also include repair shops and the sales of parts and accessories incidental to vehicle dealerships. Does not include businesses dealing exclusively in used parts, auto wrecking and/or salvage; the sale of auto parts/accessories separate from a vehicle dealership or service stations.

**Automobile Services.** The provision of services related to the maintenance of automobiles, not including automobile sales or repair, that are performed on motor vehicles other than those normally used by the occupants of the parcel. An example of this is a car wash.

**Automobile Storage.** Any garage used exclusively for the storage of vehicles.

## **B. Definitions**

**Botanical and Zoological Gardens.** Public or quasi-public facilities, examples of which include: aquariums, arboretums, art galleries and exhibitions, botanical gardens, historic sites and exhibits, libraries, museums, planetariums, and zoos. May also include accessory retail uses such as a gift/book shop, restaurant, etc.

## **C. Definitions**

**Cemetery.** Land used or intended to be used for the burial of the dead and dedicated for cemetery purposes, including columbaria, mausoleums, mortuaries and crematoriums, provided the crematorium has the approval of the Department of Health, Planning



Commission and Council when operated in conjunction with and within the boundary of the cemetery.

**Church.** A building designed for or used principally for religious worship or religious services.

**Clubs, Lodges and Community Centers.** Facilities for public or private meetings, including: Community centers, religious assembly facilities (e.g., churches, mosques, synagogues, etc.), civic and private auditoriums, Grange halls, union halls, meeting halls for clubs and other membership organizations, etc. Also includes functionally related internal facilities such as kitchens, multi-purpose rooms, and storage. Does not include conference and meeting rooms accessory and incidental to another primary use, and which are typically used only by on-site employees and clients, and occupy less floor area on the site than the offices they support. Does not include: Cinemas, performing arts theaters, indoor commercial sports assembly or other commercial entertainment facilities. Related on-site facilities such as day care centers and schools are separately defined and regulated.

**Communication Facilities.** Public, commercial and private electromagnetic and photoelectric transmission, broadcast, repeater and receiving stations for radio, television, telegraph, telephone, data network, and wireless communications, including commercial earth stations for satellite-based communications. Includes antennas, commercial satellite dish antennas, and equipment buildings. Does not include telephone, telegraph and cable television transmission facilities utilizing hard-wired or direct cable connections.

**Construction Material Storage.** See “Storage, Construction Material.”

**Crematorium.** See “Mortuary or Crematorium.”

#### D. Definitions

**Day Care Center.** Any facility which complies with the State of Hawai‘i licensing requirements where seven or more children under the age of 18 are cared for without overnight accommodations at any location other than their normal place of residence. This term includes child care services and other similar uses and facilities consistent with this definition, and not covered by the “Family Care Home” definition.

**Dormitories, Guest and Boarding Houses.** A building or portion thereof which contains living quarters for nine or more students, staff, or members of a college, university, primary or secondary boarding school, theological school, or other comparable organization, provided that such building is either owned or managed by such organization. Single-Family and two-family dwellings are defined separately.

**Dwelling.** A building or portion thereof designed or used exclusively for residential occupancy and having all necessary facilities for permanent residency such as living, sleeping, cooking, eating and sanitation.

1. **Multiple Family.** A building or portion thereof consisting of two (2) or more dwelling units and designed for occupancy by two (2) or more families living independently of each other, where anyone (1) of the constructed units is structurally dependent on any other unit.
2. **Single Family Attached.** A building consisting of two (2) or more dwelling units designed for occupancy by two (2) or more families living independently of each other where each unit is structurally independent although superficially attached or close enough to appear attached.

3. **Single Family Detached.** A building consisting of only one (1) dwelling unit designed for or occupied exclusively by one (1) family.

**Dwelling Unit.** Any building or any portion thereof which is designed or intended for occupancy by one (1) family or persons living together or by a person living alone and providing complete living facilities, within the unit for sleeping, recreation, eating and sanitary facilities, including installed equipment for only one (1) kitchen. Any building or portion thereof that contains more than one (1) kitchen shall constitute as many dwelling units as there are kitchens.

#### **E. Definitions**

No land uses beginning with the letter E are defined at this time.

#### **F. Definitions**

**Family Care Home.** Providing child care services and other similar uses consistent with this definition where six or fewer children under the age of 18 are cared for in a private dwelling unit without overnight accommodations at any location other than the children's normal place of residence and which complies with State of Hawai'i licensing requirements.

**Food Processing and Packaging.** Facilities where raw and/or refined agricultural products are made suitable for human consumption and prepared for transport and sale.

#### **G. Definitions**

**Golf Course.** This land use consists of golf courses and accessory facilities and uses including: clubhouses with bar and restaurant; locker and shower facilities; "pro shops" for on-site sales of golfing equipment and clothing; and golf cart storage and sales facilities.

**Guest House.** A building with a floor area of no more than five hundred (500) square feet, contains no kitchen, is used for dwelling purposes by guests, and is located on a parcel of at least nine thousand (9,000) square feet that contains one (1) or more dwelling units.

#### **H. Definitions**

**Home Business.** Any use customarily conducted entirely within a dwelling and carried on solely by the inhabitants thereof, in connection with which there are: no display from the outside of the building; no mechanical equipment used except as is normally used for domestic or household purposes; and no selling of any commodity on the premises; which use is clearly incidental and secondary to the use of the dwelling for dwelling purposes and does not change the character thereof. The office, studio, or occupational room of an architect, artist, engineer, lawyer or other similar professional person; a family child care home; business conducted entirely by phone or by mail (not involving frequent bulk shipments); and an office for "homework" of a person in business elsewhere; all shall be permitted as home businesses except that no activity involving, encouraging, or depending upon frequent visits by the public and no shop or clinic of any type shall be deemed to be a home business.

**Hotel.** Any building containing six (6) or more rooms intended or designed to be used, or which are used, rented or hired out to be occupied for sleeping purposes by guests when the rooms are open to the occupancy by the general public on a commercial basis whether the establishment is called a hotel, resort hotel, inn, lodge or otherwise which rooms do not constitute dwelling units.

**Household Services.** Office and/or work space for services related to domestic maintenance such as laundries, house cleaning, pool cleaning and supplies, yard maintenance, pest control, etc.

**I. Definitions**

No land uses beginning with the letter I are defined at this time.

**J. Definitions**

No land uses beginning with the letter J are defined at this time.

**K. Definitions**

No land uses beginning with the letter K are defined at this time.

**L. Definitions**

**Library.** See “Museums, Libraries and Public Services and Facilities.”

**Lodges.** See “Clubs, Lodges and Community Centers.”

**M. Definitions**

**Manufacturing, Light.** A facility accommodating manufacturing processes involving less intense levels of fabrication and/or production such as the assembly, fabrication, and conversion of already processed raw materials into products, where the operational characteristics of the manufacturing processes and the materials used are unlikely to cause significant impacts on surrounding land uses or the community. The premises may include secondary retail or wholesale sales.

**Medical and Nursing Facilities.** A facility other than a hospital where medical, dental, mental health, surgical, and/or other personal health care services are provided on an outpatient basis. Examples of these uses include: medical offices with five or more licensed practitioners and/or medical specialties, outpatient care facilities, urgent care facilities, other allied health services. These facilities may also include incidental medical laboratories.

**Monastery.** A building or portion thereof consisting of rooms, designed for or used by members of a religious order or organization as primary dwelling place and/or workplace. This facility generally includes or is adjoined by a church or temple.

**Mortuary or Crematorium.** A facility that exists expressly as a venue for funeral and wake services and that may include cremator units for the purpose of cremation.

**Motel.** A group of attached or detached buildings containing rooms, designed for or used temporarily by automobile tourists or transients, with garages attached or parking space conveniently located to each unit, including auto court, tourist court or motor lodge, or otherwise, which rooms do not constitute dwelling units.

**Museums, Libraries and Public Services and Facilities.** Public or quasi-public facilities, examples of which include: aquariums, arboretums, art galleries and exhibitions, botanical gardens, historic sites and exhibits, libraries, museums, planetariums, and zoos. May also include accessory retail uses such as a gift/book shop, restaurant, etc.

**N. Definitions**

**Nursing Facilities.** See “Medical and Nursing Facilities.”

**O. Definitions**

**Offices, Professional.** Office-type facilities occupied by businesses that provide professional services, or are engaged in the production of intellectual property. Examples of these uses include: accounting, auditing and bookkeeping services, advertising agencies, attorneys, business associations, chambers of commerce, commercial art and design services, construction contractors (office facilities only), counseling services, court reporting services, design services including architecture, engineering, landscape architecture, urban planning, detective agencies and similar services, doctors, educational, scientific and research organizations, financial management and investment counseling, literary and talent agencies, management and public relations services, media postproduction services, news services, photographers and photography studios, political campaign headquarters, psychologists, secretarial, stenographic, word processing, and temporary clerical employee services, security and commodity brokers, writers' and artists' offices.

**On-site Production of Items Sold.** The assembly, fabrication, and conversion of materials into products for sale as an accessory use to a permitted Retail activity. Such uses include, but are not limited to: artisan/craft products such as jewelry, pottery and other ceramics, small glass and metal art; tailoring of clothing; small, handmade custom furniture; musical instruments; toys; and other similar uses.

#### P. Definitions

**Parks, Public or Private.** Facilities which include community centers, playing fields, courts, gymnasiums, swimming pools, wave pools, spraygrounds, picnic facilities, golf courses and country clubs, zoos and botanical gardens, as well as related food concessions.

**Personal Services.** Establishments that provide non-medical services to individuals as a primary use. Examples of these uses include: barber and beauty shops, clothing rental, dry cleaning pick-up stores with limited equipment, home electronics and small appliance repair, laundromats (self-service laundries), locksmiths, massage (licensed, therapeutic, non-sexual), nail salons, pet grooming with no boarding, shoe repair shops, tailors, tanning salons. These uses may also include accessory retail sales of products related to the services provided.

**Public Service Facilities.** See "Museums, Libraries and Public Services and Facilities."

#### Q. Definitions

No land uses beginning with the letter Q are defined at this time.

#### R. Definitions

**Residential Care Home.** Any care home facility occupied by more than five (5) care home residents.

**Retail Shop or Store.** An establishment primarily engaged in selling goods, wares or merchandise directly to the ultimate consumer.

**Restaurants and Food Services.** A retail business selling ready-to-eat food and/or beverages for on- or off-premise consumption. These include eating establishments where customers are served from a walk-up ordering counter for either on- or off-premise consumption ("counter service"); and establishments where customers are served food at their tables for on-premise consumption ("table service"), that may also provide food for take-out, but does not include drive-through services, which are separately defined and regulated.

#### S. Definitions

**School.** An institution with an organized curriculum offering instruction to children in the grade range kindergarten through twelve (12), or any portion thereof.

**Storage, Construction Material:** The storage of various materials related to the construction industry as an accessory or primary use.

**Studio: Dance or Exercise.** Small-scale facility, typically accommodating no more than two groups of students at a time, in no more than two instructional spaces. Examples of these facilities include: individual and group instruction and training in the arts; production rehearsal; photography, and the processing of photographs produced only by users of the studio facilities; martial arts training studios; gymnastics instruction, and aerobics and gymnastics studios with no other fitness facilities or equipment. Also includes production studios for individual musicians, painters, sculptors, photographers, and other artists.

#### **T. Definitions**

**Temple.** A building designed for or used principally for religious worship or religious services.

**Transient Vacation Rental.** A dwelling unit which is provided to transient occupants for compensation or fees, including club fees, or as part of interval ownership involving persons unrelated by blood, with a duration of occupancy of one hundred eighty (180) days or less.

**Transportation Terminals and Docks.** Facilities for the embarkation and departure of surface transit facilities, including but not limited to: bus transit stations, rail transit stations, and ferry terminals. Does not include airports or related services.

#### **U. Definitions**

**Utilities and Facilities, Private and Public.** A use or structure used directly in distribution or transmission of utility services.

#### **V. Definitions**

No land uses beginning with the letter V are defined at this time.

#### **W. Definitions**

**Warehouse.** Facilities for the storage of furniture, household goods, or other commercial goods of any nature. May include an outdoor storage component, provided that the outdoor storage is not the primary use. Does not include warehouse, storage, or mini-storage facilities offered for rent or lease to the general public, warehouse facilities primarily used for wholesaling and distribution, or terminal facilities for handling freight.

#### **X. Definitions**

No land uses beginning with the letter X are defined at this time.

#### **Y. Definitions**

No land uses beginning with the letter Y are defined at this time.

#### **Z. Definitions**

**Zoological Gardens.** See “Botanical and Zoological Gardens.”

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