

PLANNING DEPARTMENT SHORELINE SETBACK APPLICATION

FOR OFFICIAL USE ONLY:	
SSD	2025 - 37
Acceptance Date:	5.1.25
Website Posting Date:	5.26.25
Determination Date:	5.19.25
Planning Commission Date:	6.10.25
Expiration Date:	5.17.26
Planner Assigned:	R1

Instructions: File all information requested under Part A for processing the Determination of Applicability (§8-27.1), including signature page. Fill out Parts A and B if you know that your parcel will require a Certified Shoreline Survey, due to the proximity to the shoreline. If you are proposing a permitted structure or subdivision within the shoreline setback area fill in Part C. For applications involving a variance, complete Part D.

Applicant Information		
Applicant:	Paia Fishmarket Ocean View LLC	
Mailing Address:	P.O. Box 791919 Paia, HI 96779-1919	Phone: (808) 245-4705 ext. 230 Email: jjc@kauai-law.com
Applicant's Status: (Check one)	<input checked="" type="checkbox"/> Owner of the Property (Holder of at least 100% of the equitable and legal title) <input type="checkbox"/> Authorized Agent Attach Letter of Authorization	
Transmittal Date:	_____	

Project Information (attach additional sheets, if necessary)		
County Zoning District:	CG	Tax Map Key(s): (4) 4-5-012-012
Building Permit Number:	_____	Land Area: 9,000 sq. ft
(If building plans submitted)	_____	
Nature of Development: (Description of proposed structure or subdivision)	Interior renovations to existing commercial building	

**NO PERMITS WILL BE ISSUED WITHOUT PLANNING COMMISSION ACCEPTANCE,
EXCEPT AS PROVIDED IN §8-27.8(c)(8)**

Part A

Shoreline Setback Determination of Applicability (§8-27.1)

Check all that apply, fill in applicable information. Any box checked must be accompanied by additional information, photos and/or documentation.

1. Property is Abutting the Shoreline
 Proposed project's approximate distance from shoreline (based on aerial map): _____ ft.
2. Property is Not Abutting the Shoreline
 Proposed project's approximate distance from shoreline (based on aerial map): 134.5 ft.
3. Additional Information:
 Shoreline Change (Erosion/Accretion) Rate: <-3.3 ft./year
(Information available here: [Kauai Shoreline Change \(arcgis.com\)](http://Kauai Shoreline Change (arcgis.com)))
 Number and description of parcels (including roads, buildings, structures) between Shoreline and this parcel:

County's Kapaa Park and bike path is between subject property and shoreline



PLANNING DEPARTMENT SHORELINE SETBACK APPLICATION

Topography (undulating, flat, slope, etc.) and ground elevation of subject parcel (Lowest and Highest elevations)

Fairly flat and even

Shoreline type (e.g. beach, dune, rocky, sandy with rocky outcropping, etc.)

Shoreline abutting County's beach park is sandy and rocky

Artificially armored Shoreline

If checked, what type of armoring (e.g. seawall, revetment, bulkhead): revetment

Is the armoring permitted/authorized? county

Date of authorization (attach copy of authorization letter): unknown

Is property in coastal floodplain (if checked, what zone)? _____

Has this property been subject to coastal hazards (i.e. flooding, erosion, tsunami, etc.) in the past?

Prior tsunami has impacted Kapaa area. Subject Property is not in the VE Zone but is within the AE (E1.8)

PLEASE NOTE:

Any misrepresentation of information in this shoreline setback application will result in revocation of this determination and may result in fines and criminal prosecution.

Applicant's Signature

Monstar Greene 12-28-24

Signature

Date

Applicability (to be completed by Planning Department)

Setback Determination necessary. Requirements of Ordinance No. 979 are applicable.

Setback Determination is NOT necessary. Requirements of Ordinance No. 979 are not applicable.

Ronie L. Dole
Planning Director or designee

5/19/25
Date

If Part A has been deemed that a Determination will be necessary, the additional information will be required for submission of this application.

Part B

A non-refundable processing fee of **one hundred dollars (\$100.00)** shall accompany a request for determination. (§8-27.8(e))

An aerial map/image (ex. Google Maps or Google Earth) with a line drawn from the shoreline/vegetation line (approximate shoreline) to the proposed project and the calculated distance in feet.

A detailed Plot Plan to scale with all existing and proposed structures including driveways, visible lot coverage, setbacks and measurement details, fences, gates, and walls, etc.

Coastal Hazard Disclosure Statement Form



PLANNING DEPARTMENT SHORELINE SETBACK DETERMINATION

Exemption Determination

Exemption 1

In cases where the applicant can demonstrate to the satisfaction of the Planning Director that the applicant's proposed structure or subdivision will not affect beach processes, impact public beach access, or be affected by or contribute to coastal erosion or hazards, excluding natural disasters. Factors to be considered shall include, but not be limited to, proximity to the shoreline, topography, properties between shoreline and applicant's property, elevation, and the history of coastal hazards in the area.

Exemption 2

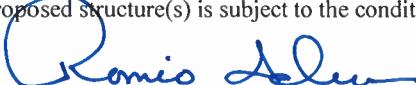
Pursuant to §8-27.7, those structures and uses found exempt in Table 3 (see pg. 7) including repairs and renovations to a lawfully existing structure, including nonconforming structures, provided that:

- (A) The repairs DO NOT enlarge, add to or expand the structure; increase the size or degree of non-conformity; or intensify the use of the structure or its impact on coastal processes;
- (B) The repairs DO NOT constitute a substantial improvement of the structure; and
- (C) The repairs are permitted by the Comprehensive Zoning Ordinance, Development Plans, building code, floodplain management regulations, special management area requirements under HRS Chapter 205A and any other applicable rule or law.

Letter from the Department of Public Works stating that the proposed project does **NOT** constitute "Substantial Improvement," pursuant to §8-27.2 (If applicable, will require valuation of project).

Exemption Determination (to be completed by Planning Department)

- Pursuant to §8-27.3 the Kaua'i County Code, 1987 as amended, the Planning Department hereby certifies the proposed structure(s) or subdivision(s) as exempt from those shoreline setback determination requirements established under §8-27.8.
- Pursuant to §8-27.7 the Kaua'i County Code, 1987 as amended, the proposed structure(s) is permitted within the shoreline setback area. While exempt from those shoreline setback determination requirements established under §8-27.8, the proposed structure(s) is subject to the conditions of §8-27.7(b). (See pg. 8)

Ronia
Planning Director or designee

5/19/25
Date

- Additional comments/conditions:



PLANNING DEPARTMENT SHORELINE SETBACK DETERMINATION

Part C

Shoreline Setback Determination (§8-27.8)

(This document is the request for a shoreline setback structure or subdivision determination form.)

Please complete this section if you are proposing a structure or subdivision that is *not* exempt (pursuant to Part B) and requires a certified shoreline. Determination of applicability (Part A) from the Planning Director shall first be obtained.

Certified Shoreline	
Select the appropriate option:	
<input type="checkbox"/> Certified Shoreline	
<input type="checkbox"/> Survey Map (showing Certified Shoreline, Shoreline Setback, and Structure(s) OR Subdivision)	
<input type="checkbox"/> Average Lot Depth: _____ ft.	
<input type="checkbox"/> Setback (Table 1 or Table 2): _____ ft.	
<input type="checkbox"/> Affidavit: Statement of inability to certify shoreline, pursuant to §8-27.3(d)	
Planning Director or its designee	Date

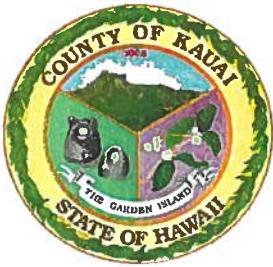
Public Projects less than \$125,000	
<input type="checkbox"/> Public Projects less than \$125,000 Declaration ((§8-27.8(c)(2)))	
Planning Director or designee	Date
<input type="checkbox"/> Certified Shoreline Required	
<input type="checkbox"/> Certified Shoreline Not Required	

Describe proposed structure(s), including but not limited to the landscaping plan (please attach):

--

Explain how the proposed structure is in compliance with §8-27.8(c)(2) (attach additional information if necessary):

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PLANNING DEPARTMENT SHORELINE SETBACK VARIANCE

Part D

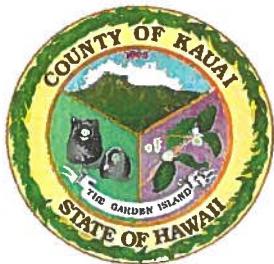
Shoreline Setback Variance (§8-27.9)

This part is the request for a shoreline setback variance. In addition to the documentation and information requested in Parts A, B, and C, the Applicant applying for a variance is required to submit all required information, per §8-27.9 listed in the checklist below.

- A non-refundable administrative fee of three hundred dollars (**\$300.00**).
- Certification from the owner or lessee of the lot which authorizes the application for variance;
- An environmental assessment and or EIS, if required, prepared in accordance with HRS Chapter 343, and the environmental impact statement rules and applicable guidelines of the State of Hawai‘i;
- The names, addresses, and the tax map key identification of owners of real property situated adjacent to and abutting the boundaries of the land on which the proposed structure or subdivision and/or landscaping is to be located; or operation is to occur (attach information);
- A site plan of the shoreline setback area, drawn to scale, showing:
 - Existing natural and man-made features and conditions within;
 - Existing natural and man-made features and conditions along properties immediately adjacent to the shoreline setback area and proposed improvements;
 - The certified shoreline and the shoreline setback line (submitted under **Part B**);
 - Contours at a minimum interval of two (2) feet unless waived by the Director; and
 - Proposed development and improvements showing new conditions with a typical section (if a structure).
- A copy of the certified shoreline survey map of the property (submitted under **Part B**);
- Detailed justification of the proposed project, which addresses the purpose and intent of these rules and the criteria for approval of a variance (attach written statement);
- Analysis and report of coastal erosion rates and coastal processes; and
- Any other information required by the Director (listed below).

Any structure approved within the shoreline setback area by variance shall not be eligible for protection by shoreline hardening during the life of the structure, and this limitation and the fact that the structure does not meet setback requirements under §8-27.3 and could be subject to coastal erosion and high wave action shall be written into a unilateral agreement that is recorded by the Bureau of Conveyances of Land Court, as the case may be. A copy of the unilateral agreement shall be submitted to the Planning Department prior to the issuance of the required zoning and/or shoreline setback variance. Failure of the grantor to record these deed restrictions shall constitute a violation and the grantor shall be subject to the penalties set forth in this Article 3.

For any structure approved within the shoreline setback area by variance, the Applicant shall agree in writing that the Applicant, its successors and permitted assigns shall defend, indemnify and hold the County of Kaua‘i harmless from and against any and all loss, liability claim, or demand arising out of damages to said structure and this indemnification shall be included in the unilateral agreement required above.



PLANNING DEPARTMENT SHORELINE SETBACK INFORMATION

Table 1. (This table is included for illustrative purposes only.)

Lots Included in the Kaua'i Coastal Erosion Study. The distance in feet of the shoreline setback line as measured from the certified shoreline based on the average lot depth in feet.

LOTS INCLUDED IN KAUAI COASTAL EROSION STUDY

Average Lot Depth	Setback Line
Less than 140 feet (<140 feet)	40 feet plus (70 X annual coastal erosion rate) plus 20 feet
140 feet to 220 feet (140-220 feet)	<u>Greater of:</u> 40 feet plus (70 X annual coastal erosion rate) plus 20 feet <u>or</u> (Average Lot Depth minus 100 feet) ÷ by 2 plus 40
Greater than 220 feet <td><u>Greater of:</u> 40 feet plus (70 X annual coastal erosion rate) plus 20 feet <u>or</u> 100 feet from the certified shoreline</td>	<u>Greater of:</u> 40 feet plus (70 X annual coastal erosion rate) plus 20 feet <u>or</u> 100 feet from the certified shoreline

View erosion rate maps from the County website at
Kaua'i Coastal Erosion Study Update 2020
[Kauai Shoreline Change \(arcgis.com\)](http://Kauai Shoreline Change (arcgis.com))

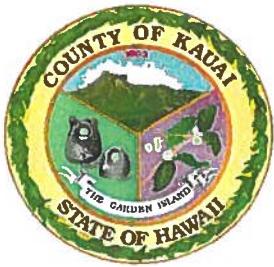
Table 2. (This table is included for illustrative purposes only.)

Lots Not Included in the Kaua'i Coastal Erosion Study.

LOTS NOT INCLUDED IN KAUAI COASTAL EROSION STUDY

Setback Calculation	
(Average Lot Depth – 100/2+40) Subject to the Following:	
1	For lots with naturally <i>occurring rocky shorelines</i> , the shoreline setback line shall be <u>no less than 40 feet</u> .
2	For all other lots, the shoreline setback line shall be <u>no less than 60 feet</u> .
3	<i>For all lots, the <u>maximum</u> setback that can be required <u>shall be 100 feet</u>.</i>

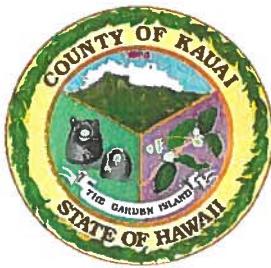
Non-Abutting Lots. If an Applicant is unable to secure permission from the abutting landowner to complete a certified shoreline for a non-abutting lot within approximately five hundred fifty (550) feet of the shoreline, the Planning Director may, pursuant to §8-4.3, impose conditions to zoning permits to increase setbacks where evidence exists that a proposed structure may be affected by coastal hazards or erosion.



PLANNING DEPARTMENT SHORELINE SETBACK INFORMATION

Table 3. This table is presented for **Exemption 3** (§8-27.7).

Permitted Structures within the shoreline setback area	
(a)	The following structures are permitted in the shoreline setback area. All structures and/or landscaping not specifically permitted in this section are prohibited without a variance.
(1)	Existing conforming or legally nonconforming structures.
(2)	Structure that received a shoreline variance or administrative approval prior to February 26, 2008.
(3)	A structure that is necessary for, or ancillary to, continuation of agriculture or aquaculture existing in the shoreline setback area on June 16, 1989.
(4)	“Temporary structures” as defined in Section 8-27.2. To ensure that there will be no irreversible or long-term adverse effects, the Director shall require as a condition of a permit the restoration of the site to its original condition or better, and the Director may require a bond to ensure such restoration.
(5)	A structure that consists of maintenance, repair, reconstruction, and minor additions or alterations that results in no interference with natural beach processes and is ancillary or associated with one of the following sites: (A) A Hawaiian fish pond; (B) A publicly owned and legal boating, maritime, or water sports recreational facility.
(6)	Repairs to a lawfully existing structure, including nonconforming structures, provided that: (A) The repairs do not enlarge, add to or expand the structure; increase the size or degree of non-conformity; or intensify the use of the structure or its impact on coastal processes; (B) The repairs do not constitute a substantial improvement of the structure; (C) The repairs are permitted by the Comprehensive Zoning Ordinance, Development Plans, building code, floodplain management regulations, special management area requirements under HRS Chapter 205A and any other applicable rule or law; and (D) The Planning Director determines that the proposal complies with the definition of “repair” under Sec. 8-1.5, Kaua‘i County Code 1987, as amended.
(7)	Beach nourishment or dune restoration projects approved by all applicable governmental agencies.
(8)	A structure approved by the Director as a minor structure.
(9)	Qualified demolition of existing structures.
(10)	Unmanned civil defense facilities installed for the primary purposes of: (i) warning the public of emergencies and disasters; or (ii) measuring and/or monitoring geological, meteorological and other events.
(11)	Scientific studies and surveys, including archaeological surveys.
(12)	Structures built by a governmental agency to address an emergency as declared by the Governor of the State of Hawai‘i, the Mayor of the County of Kaua‘i or any other public official authorized by the law to declare an emergency.
(13)	Structures relating to film productions that have received a County Revocable Film Permit. Structures undertaken for film productions must be removed within thirty (30) days following the completion of the film production.
(14)	Structures required for remedial and removal actions undertaken pursuant to Chapter 128D of the Hawai‘i Revised Statutes.



PLANNING DEPARTMENT SHORELINE SETBACK INFORMATION

(15)	Repair and/or rebuilding of existing public park facilities, excluding shoreline armoring structures or improvements.
(b)	<p>The following conditions shall apply to any new structure or any substantial improvement permitted in the shoreline setback area:</p> <p>(1) All new structures shall be constructed in accordance with the standards for development in Chapter 15, Article 1, Flood Plain Management, Kaua'i County Code 1987, as amended, relating to coastal high hazard districts and FEMA guidelines regarding construction in areas mapped on Flood Insurance Rate Maps as flood hazard areas.</p> <p>(2) The applicant shall agree in writing that the applicant, its successors, and permitted assigns shall defend, indemnify, and hold the County of Kaua'i harmless from and against any and all loss, liability, claim or demand arising out of damages to said structures from any coastal natural hazard and coastal erosion.</p> <p>(3) The applicant shall agree in writing for itself, its successors and assigns that the construction of any erosion control or shoreline hardening structure and/or landscaping shall not be allowed to protect the permitted structure during its life, with the exception of approved beach or dune nourishment fill activities, and landscape planting and irrigation located more than forty feet (40') from the shoreline.</p> <p>(4) Unless otherwise provided, all new structures and/or landscaping shall not:</p> <ul style="list-style-type: none">(i) adversely affect beach processes,(ii) artificially fix the shoreline,(iii) interfere with public access or public views to and along the shoreline,(iv) impede the natural processes and/or movement of the shoreline and/or sand dunes, or(v) alter the grade of the shoreline setback area. <p>(5) All new structures shall be consistent with the purposes of this article and HRS Chapter 205A, as amended, and shall be designed and located to minimize the alteration of natural landforms and existing public views to and along to the shoreline.</p> <p>(6) The requirements of this Subsection (b) shall run with the land and shall be set forth in a unilateral agreement recorded by the applicant with the Bureau of Conveyances or the Land Court, whichever is applicable, no later than thirty (30) days after the date of final shoreline approval of the structure under Section 8-27.8. A copy of the recorded unilateral agreement shall be filed with the Director and the County Engineer no later than forty-five (45) days after the date of the final shoreline determination and approval of the structure and the filing of such with the Director shall be a prerequisite to the issuance of any related building permit. (Ord. No. 979, December 5, 2014; Ord. No. 1088, February 4, 2021)</p>



County of Kaua'i

State of Hawai'i



Overview

Legend

- Parcels
- CPR Units
- Roads

The Geographic Information Systems (GIS) maps and data are made available solely for informational purposes. The GIS data is not the official representation of any of the information included, and do not replace a site survey or legal document descriptions. The County of Kauai (County) makes or extends no claims, representations or warranties of any kind, either express or implied, including, without limitation, the implied warranties of merchantability and fitness for a particular purpose, as to the quality, content, accuracy, currency, or completeness of the information, text, maps, graphics, links and other items contained in any of the GIS data. In no event shall the County become liable for any errors or omissions in the GIS, and will not under any circumstances be liable for any direct, indirect, special, incidental, consequential, or other loss, injury or damage caused by its use or otherwise arising in connection with its use, even if specifically advised of the possibility of such loss, injury or damage. The data and or functionality on this site may change periodically and without notice. In using the GIS data, users agree to indemnify, defend, and hold harmless the County for any and all liability of any nature arising out of or resulting from the lack of accuracy or correctness of the data, or the use of the data.

Date created: 1/7/2025

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PLANNING DEPARTMENT
SHORELINE SETBACK INFORMATION

COASTAL HAZARD DISCLOSURE STATEMENT FORM

4-1546 Kuhio Highway, Kapaa, HI TMK (4) 4-5-012-012

Project Address and TMK Number (the "Property"), and Shoreline Setback Permit Number

Interior renovations to existing commercial building

Scope of Construction for the Project or Description of Work

Disclosure: THE PROPERTY OWNER ACKNOWLEDGES AND UNDERSTANDS THAT THE PROPERTY MAY BE SUBJECT TO COASTAL HAZARDS AS DEFINED UNDER KAUAI COUNTY CODE (KCC) SECTION 8-27.1. THESE COASTAL HAZARDS MAY LIMIT THE ABILITY TO DEVELOP THE PROPERTY AND FUTURE DEVELOPMENT MAY BE SUBJECT TO FURTHER RESTRICTIONS AND LIMITATIONS PURSUANT TO KCC CHAPTER 8, ARTICLE 27, AS AMENDED, AS WELL AS FEDERAL, STATE, AND COUNTY LAWS AND REGULATIONS THAT GOVERN COASTAL PROPERTIES. Additional information can be obtained from the County of Kauai Planning Department (<https://www.kauai.gov/Government/Departments-Agencies/Planning-Department/Shoreline-Setback>) including but not limited to links to the State of Hawaii, Department of Land and Natural Resources, Flood Hazard Assessment Tool and the State of Hawai'i Sea Level Rise Viewer.

Declaration: I declare under penalty of perjury and under the laws of the State of Hawai'i (Unsworn Falsification HRS §710-1063) that I am the property owner for the address listed above, I personally filled out the above information, that the foregoing is true and correct, and I certify its accuracy.

***The property owner signature is required to be notarized when property owner is not present at time of submitting the permit application. In lieu of notarization, the Planning Department will accept forms that are electronically signed using secure software that verifies the identity of the user (e.g., DocuSign or Adobe Sign).*

Moonstar Greene
Property Owner Name (print)

Moonstar Greene
Property Owner Signature

12-30-2024
Date

Property Owner Name (print)

Property Owner Signature

Date

Property Owner Name (print)

Property Owner Signature

Date

Property Owner Name (print)

Property Owner Signature

Date

**** Attach Notary Jurat ****

Doc. Date: 12/30/24 # Pages: 2

Doc. Description: Coastal Hazard Disclosure Statement
Form Re Paia Fishmarket Ocean View LLC

Notary Name: Kayla Cho 2nd Circuit

Subscribed and sworn to before me this
30th day of December, 2024

Kayla Cho

Notary Public, State of Hawai'i

My commission expires: 3/13/26



DCCA State of Hawaii

Downloaded on January 7, 2025.

The information provided below is not a certification of good standing and does not constitute any other certification by the State.
Website URL: <http://hbe.ehawaii.gov/documents>

Business Information

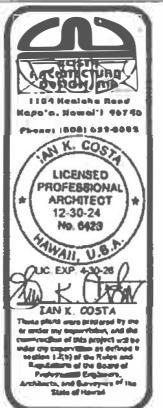
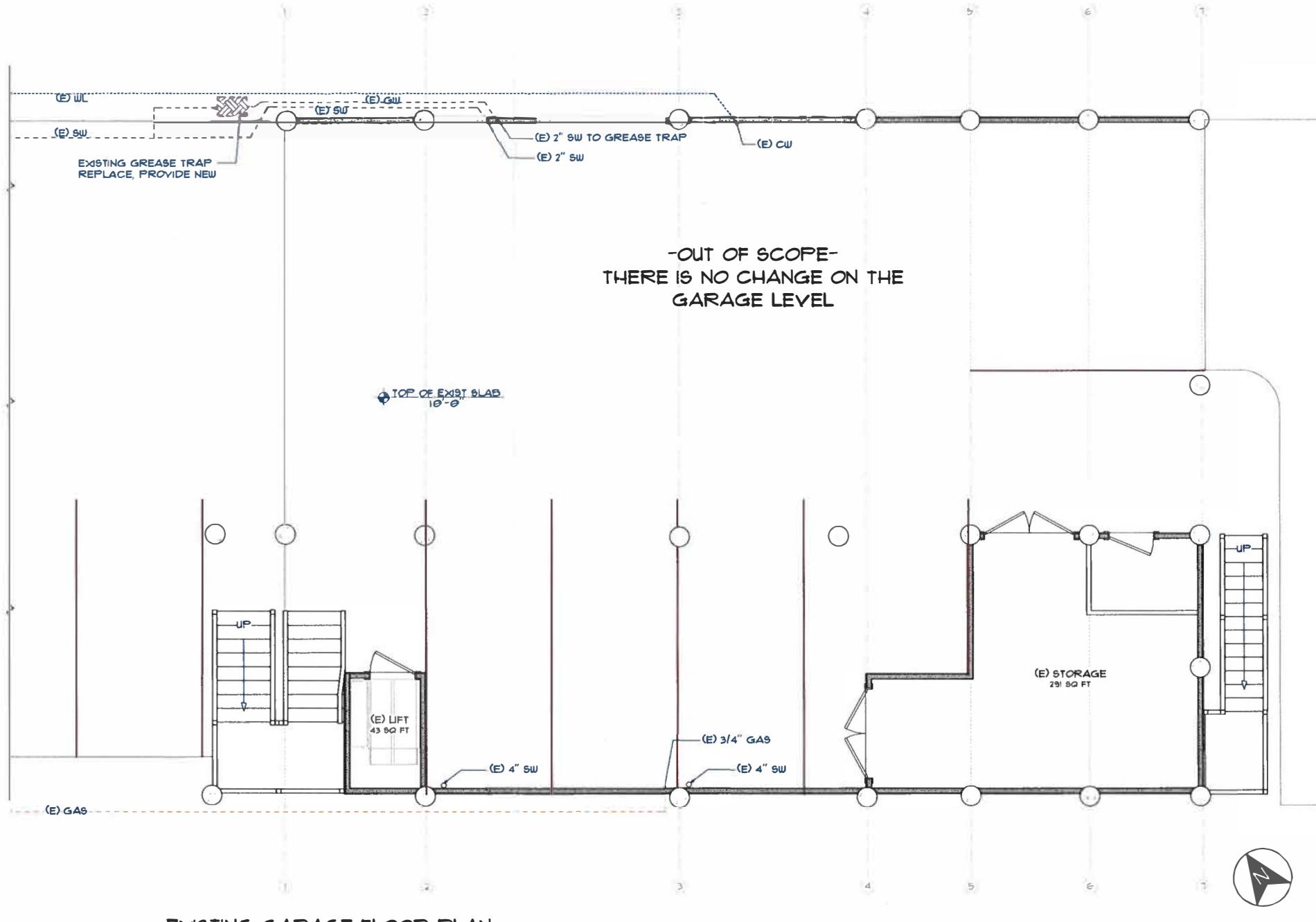
MASTER NAME	PAIA FISHMARKET OCEAN VIEW LLC
BUSINESS TYPE	Domestic Limited Liability Company (LLC)
FILE NUMBER	314225 C5
STATUS	Active
ORGANIZED IN	Hawaii UNITED STATES
REGISTRATION DATE	Feb 9, 2024
MAILING ADDRESS	PO BOX 791919 PAIA, Hawaii 96779 UNITED STATES
CROSS REFERENCE NAME	PAIA FISH MARKET OCEAN VIEW LLC
MANAGED BY	MEMBER(S)
AGENT NAME	R. CLAY SUTHERLAND, A LAW CORPORATION
AGENT ADDRESS	173 HOOHANA STREET SUITE 101 KAHULUI, Hawaii 96732 UNITED STATES

Annual Filings

FILING YEAR	DATE RECEIVED	STATUS
2025		Not Filed

Officers

NAME	OFFICE	DATE
SOLEDADE,YURI	MEM	Feb 9, 2024
GREENE,MOONSTAR	MEM	Feb 9, 2024
EISELE,ANOTOL	MEM	Apr 22, 2024



DATE	REVISION

EXISTING GARAGE FLOOR PLAN
PAIA FISH MARKET OCEANVIEW RESTAURANT
KITCHEN RENOVATION
(FORMER SAM'S OCEAN VIEW RESTAURANT)
LOT 4-A-1, KAPAA, KAUAI, HAWAII
TMK (4-4-5-012012)

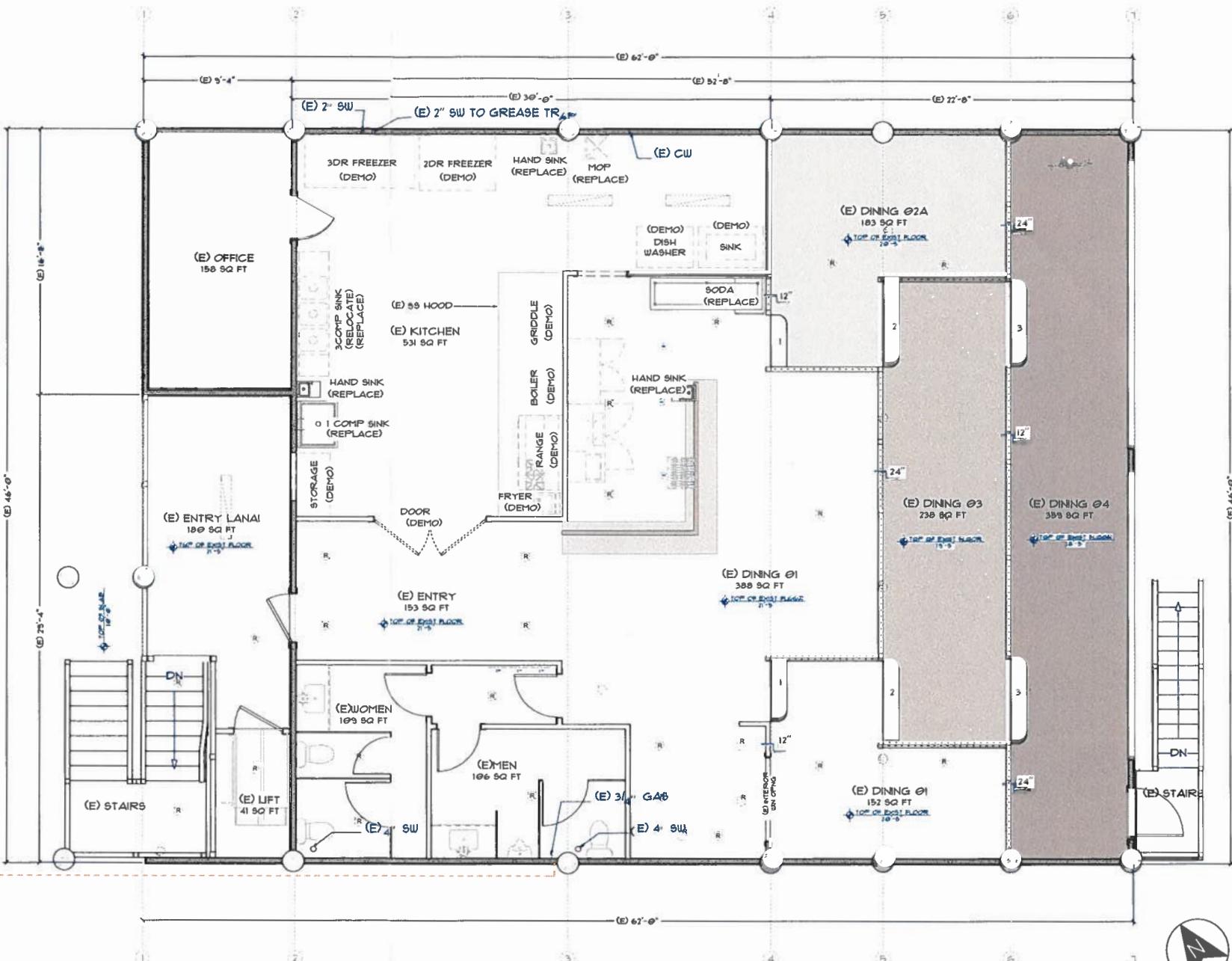


12/23/2024

A02

GENERAL NOTES

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE 2018 WITH AMMENDED ORDINANCES AS ADOPTED BY THE COUNTY OF KAUAI AND THE NATIONAL FIRE PROTECTION ASSOCIATION LIFE SAFETY CODE. CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE COUNTY OF KAUAI, HAWAII'
2. WRITTEN DIMENSIONS PREVAIL SHOULD DIMENSIONAL DISCREPANCY BE FOUND, NOTIFY THE DESIGNER/ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
3. CONSTRUCTION PLANS REASONABLY DESCRIBE THE INTENT OF THE QUALITY AND SCOPE OF THE CONSTRUCTION FOR THE PROJECT. WHERE DETAILS ARE NOT SHOWN, THE CONTRACTOR SHALL PROCEED FOLLOWING THE ACCEPTED QUALITY STANDARDS AND PROCEDURES OF THE CONSTRUCTION INDUSTRY IN THE STATE OF HAWAII, AS WELL AS THE GENERAL INTENT OF THE CONSTRUCTION PLANS. SUBMIT CLARIFICATION REQUEST(S) TO THE DESIGNER/ENGINEER/ARCHITECT FOR REVIEW AND DIRECTION BEFORE PROCEEDING.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING ANY WORK AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY AND/ OR CONDITION THAT WILL PREVENT FULFILLMENT OF THE TERMS OF THE CONTRACT. WHERE CONDITIONS REQUIRE DETAILS AND/OR SPECIFICATIONS TO VARY FROM THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER/ENGINEER/ARCHITECT IN WRITING AND PROPOSE ALTERNATE METHODS AND MATERIALS FOR CONSIDERATION.
5. QUANTITIES SHOWN AND/OR SPECIFIED IN THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR.
6. THE GENERAL CONTRACTOR SHALL REVIEW ALL SUBMITTALS AND COORDINATE THE WORK OF THE VARIOUS TRADES TO FIT ACTUAL CONDITIONS AND MAKE INTERFACING ADJUSTMENTS AS REQUIRED.
7. DIMENSIONS:
 - A. DIMENSIONS ARE MEASURED TO FRAMING MEMBERS UNLESS NOTED OTHERWISE.
 - B. DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE.
 - C. DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK.
8. (E) MEANS "EXISTING" DIMENSION. CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS AND CONFIRM SIZES.
9. ± (PLUS OR MINUS) DIMENSION SHALL BE VERIFIED BY THE CONTRACTOR.
10. MATERIALS, ITEMS, AND WORK NOTED IN THE DRAWINGS SHALL BE "NEW" UNLESS OTHERWISE INDICATED AS EXISTING.
11. "REPLACE" MEANS TO REMOVE EXISTING ITEM(S) AND TO PROVIDE NEW ITEM(S) AS INDICATED (I.E. MATERIAL, THICKNESS, COLOR, QUALITY, CONSTRUCTION, ETC.), UNLESS OTHERWISE DETAILED OR NOTED. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITION AND DESIGN PRIOR TO REMOVAL.
12. CONTRACTOR TO CONSTRUCT AS NECESSARY CONSTRUCTION FOR THE PROTECTION OF LIFE, SAFETY, AND PROPERTY.
13. THE JOB SITE MUST LEFT IN A SAFE, SECURE CONDITION AT THE END OF EACH WORKDAY. CLEAR AND MAINTAIN THE PREMISES IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES.
14. SHOULD THE CONTRACTOR UNCOVER ANY SIGNS OF STRUCTURAL FAILURE AT ANY STUD, COLUMN, BEAM, TRUSS, OR CONNECTION LOCATIONS DURING THE DEMO OR AT ANY OTHER TIME DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER/DESIGNER/ARCHITECT IMMEDIATELY IN ORDER TO DECIDE ON A FURTHER COURSE OF ACTION. PROCEED WITH WORK UPON COMPLETION OF EVALUATION AND APPROVAL FROM OWNER.
15. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO COMPLETED STRUCTURES.
16. UPON CONSTRUCTION COMPLETION, THE ENTIRE JOB SITE SHALL BE CLEANED OF ALL RUBBISH AND DEBRIS.
17. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND THE ENCLOSED DRAWING. THE CONTRACTOR MUST CHECK ALL DIMENSIONS AND OTHER DETAILS BEFORE CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER.
18. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION BEFORE PROCEEDING WITH ANY WORK INVOLVED.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL TRADES' WORK AND CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO ATTENTION AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
20. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS ARE GIVEN AS BEST PRESENT KNOWLEDGE, WITHOUT GUARANTEE OF ACCURACY, WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED SO THE PROPER REVIEW MAY BE MADE. MODIFICATIONS OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL.



① EXISTING MAIN FLOOR PLAN, EXISTING LIGHTING & DEMO EQUIPMENT PLAN
SCALE 1/4" = 1'-0"

SCALE 1/4": 1'-0"

EXISTING MAIN FLOOR PLAN

PAIA FISH MARKET OCEANVIEW RESTAURANT
KITCHEN RENOVATION
(FORMER SAM'S OCEAN VIEW RESTAURANT)
LOT 4-A-1, KAPĀ'A, KAUAI, HAWAII

FORMER SAH 9 OCEAN VIEW RESTAURANT
LOT 4-A-1, KAPĀ'A, KAUAI, HAWAII
TMK (4) 4-5-012:012

PAIA
SHMARKET

KAUAI. HI

12/23/2024

AO



PAIA FISH MARKET OCEANVIEW RESTAURANT
KITCHEN RENOVATION
(Former Sam's Ocean View Restaurant)
LOT 4-A-1, KAPĀ'A, KAUAI, HAWAII
TRK (4) 4-5-012-012

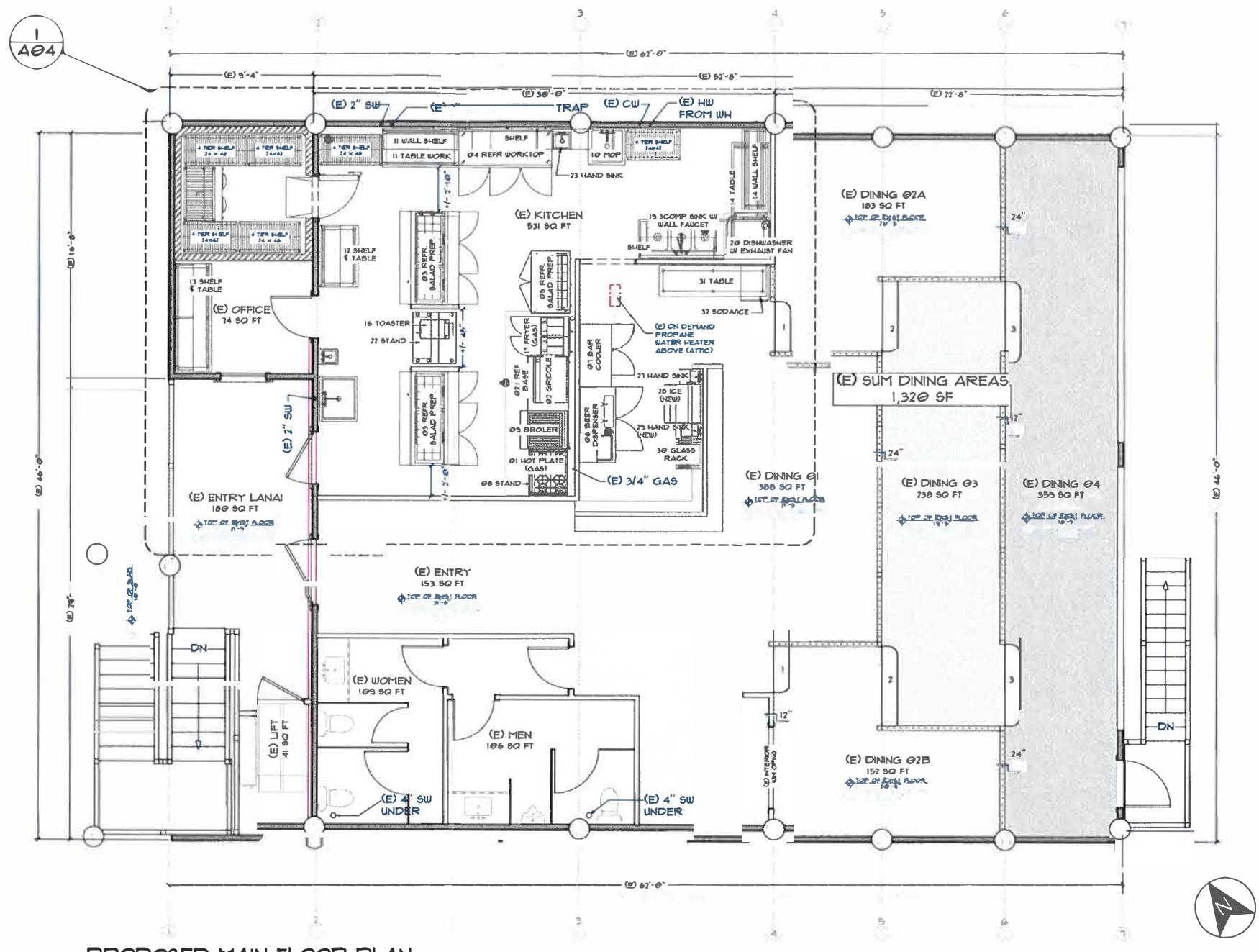
AIA
MARKET
KAUAI, HI

2/23/2024

A03

LEGEND:

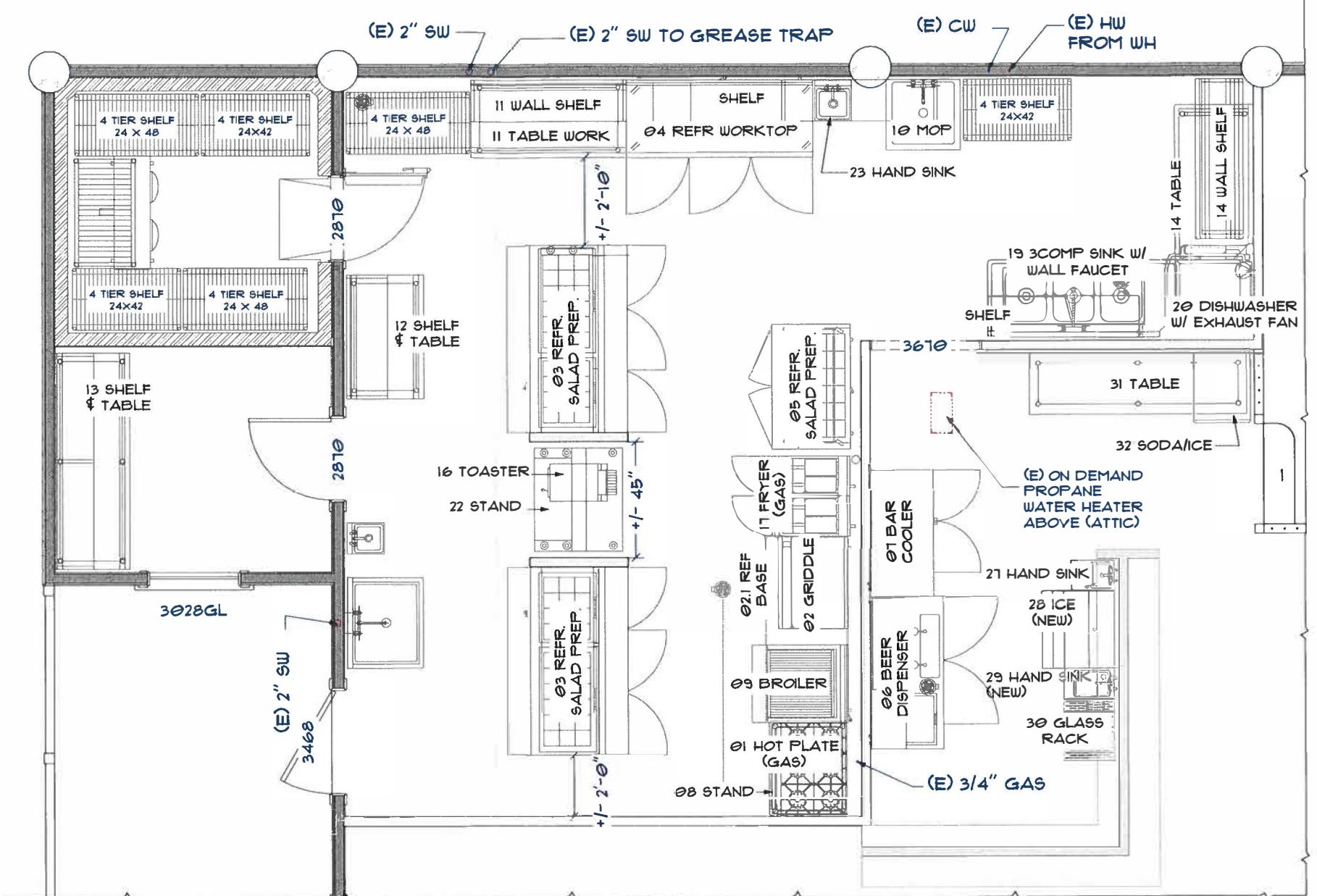
(E) : EXISTING
CW : COLD WATER
HW : HOT WATER
SW : SEWER
GAS : PROPANE
WH : WATER HEATER



① PROPOSED MAIN FLOOR PLAN

KITCHEN EQUIPMENT

ITEM No	QTY	EQUIPMENT
01	1	HOT PLATE, GAS
02	1	GRIDDLE, GAS
02.1	1	REFRIGERATOR, SHORTY
03	2	REFRIGERATOR, SANDWICH/SALAD PREP
04	1	REFRIGERATOR, WORKTOP
05	1	REFRIGERATOR, SANDWICH/SALAD PREP
06	1	DISPENSER, BEER
07	1	BACK BAR COOLER
08	1	STAND, EQUIPMENT
09	1	BROILER, UNDER-FIRED, GAS, RANGE MATCH, COUNTER
10	2	SHELF, WALL MOUNT 1 FAUCET, SPLASH MOUNT 1 SINK, MOP
11	2	SHELF, WALL MOUNT 1 TABLE, WORK 16/300, 5" BACKSPLASH, SS SHELF
12	1	SHELF, WALL MOUNT 1 TABLE, WORK 16/300, 5" BACKSPLASH, SS SHELF
13	2	SHELF, WALL MOUNT 1 TABLE, WORK 16/300, 5" BACKSPLASH, SS SHELF
14	1	SHELF, WALL MOUNT 1 SHELF, TUBULAR SORTING 1 DISHTABLE, STRAIGHT, CLEAN
15	0	BIN, ICE 0 ICE MAKER W/O BIN
16	1	TOASTER, CONVEYOR
17	2	FRYER, DEEP FAT, GAS
18		
19	1	PRE-RINSE FAUCET, WALL MOUNT
	1	SHELF, WALL MOUNT
	1	DISHTABLE, STRAIGHT, 3 COMPARTMENT SINK
20	1	CORNER DISH MACHINE WITH VAPOR HOOD
21	1	SHELVING, ADJUSTABLE
22	1	S/S OVERSTRUCTURE AND TABLE
23	1	HAND SINK
24	1	SINK, HAND, WALL MOUNT
25	1	FAUCET, WALL MOUNT 1 SINK, 1 COMP, 16/300, PRO-BOWL
26	1	FAUCET, SPLASH MOUNT 1 UNDERBAR SINK
27	1	UNDERBAR ICE CHEST
	1	UNDERBAR SPEED RAIL
28	1	FAUCET, SPLASH MOUNT 1 UNDERBAR SINK
29	1	UNDERBAR GLASS RACK
30	1	BEVERAGE TABLE
31	1	SODA/ICE MACHINE



① KITCHEN FLOOR PLAN DETAIL

SCALE 1/8" = 2"

LEGEND:

(E) : EXISTING
CW : COLD WATER
HW : HOT WATER
SW : SEWER
GAS : PROPANE
WH : WATER HEATER

KITCHEN FLOOR PLAN DETAIL

PAIA FISH MARKET OCEANVIEW RESTAURANT
KITCHEN RENOVATION
(FORMER SAM'S OCEAN VIEW RESTAURANT)
LOT 4-1, KAPAA, KAUAI, HAWAII
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PLUMBING SYMBOL & ABBREVIATIONS	
	PIPE UP
	PIPE DOWN
AP	ACCESS PANEL
BFP	BACKFLOW PREVENTER
C.O.P	CLEAN OUT PLUG
CW	COLD WATER
DW	DISHWASHER MACHINE
EX.	EXISTING
HW	HOT WATER
LAV	LAVATORY
OSD	OPEN SITE DRAIN
TPV	TRAP PRIMER VALVE
TV	TEMPERING VALVE
S.A.	SHOCK ABSORBER (WATER HAMMER)
SK	SINK
V	VENT
VTR	VENT THROUGH ROOF
W	WASTE
WC	WATER CLOSET
WCO	WALL CLEAN OUT
	PONT OF CONNECTION OF NEW WORK TO EXISTING WORK
	END OF DEMOLITION
27	WORK KEYED NOTES
W 2	REFERENCE WATER RISER TAG NUMBER
WH 1	EQUIPMENT NUMBER

GENERAL NOTES	
1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST UNIFORM PLUMBING CODE AND INTERNATIONAL BUILDING CODE WITH AMENDED ORDINANCES AS ADOPTED BY THE COUNTY OF KAUAI AND THE NATIONAL FIRE PROTECTION ASSOCIATION LIFE SAFETY CODE.	
2. CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS OF THE COUNTY OF KAUAI, HAWAII.	
3. WRITTEN DIMENSIONS SHALL PREVAIL. SHOULD A DIMENSIONAL DISCREPANCY BE FOUND OR ANY OTHER DRAWING INCONSISTENCY, NOTIFY THE DESIGNER FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.	
4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONSTRUCTABILITY OF PLANS PRIOR TO COMMENCING OF WORK AND ORDERING OF MATERIALS. SUBMIT A REQUEST FOR INFORMATION TO THE DESIGNER IN CASE OF ANY DISCREPANCY.	
5. THE INTENT OF THESE DRAWINGS ARE TO PROVIDE COMPLETE OPERATIONAL SYSTEMS. EVEN THOUGH ALL FITTINGS & COMPONENTS MAY NOT BE SHOWN ON THE DRAWINGS, THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING ALL SERVICES, LABOR, MATERIALS, TOOLS, AND EQUIPMENT TO CONSTRUCT, INSTALL AND COMMISSION COMPLETE OPERATIONAL SYSTEMS.	
6. COORDINATE ALL INSTALLATIONS WITH ALL OTHER TRADES.	
7. VERIFY ALL DIMENSIONS AND FINAL LOCATIONS WITH THE OWNER OR OWNER'S REPRESENTATIVE OR ARCHITECT.	
8. VERIFY THE FINISHES FOR FIXTURES WITH OWNER OR OWNER'S REPRESENTATIVE OR ARCHITECT PRIOR TO PROCUREMENT.	
9. FURNISH TO THE OWNER A SET OF AS-BUILT DRAWINGS IN PDF FORMAT.	
10. THE LOCATION OF THE PLUMBING FIXTURES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLAN AND THE OWNER FOR FINAL CONNECTION.	
11. THE PLUMBING ROUTING ARE SHOWN DIAGRAMMATICALLY, AND CONTRACTOR MUST FIELD VERIFY THE ROUTING AND COORDINATE IT WITH THE OWNER AND ARCHITECTURE AND ADJUST IT IF NEEDED.	

Fixture Unit Calculations for the Restaurant					
Fixture Type	QTY	Demand Weight in WSFU1		Drainage ¹	
		Fixture Demand	Total Demand	DFU	Total
3 COMPARTMENT SINK	1	3.0	3.0	3	3.0
SERVICE / MOP SINK	2	3.0	6.0	3	6.0
HAND SINK / BAR SINK	4	2.0	8.0	2	8.0
DISHWASHER	1	1.5	1.5	2	2.0
ICE MECHANE	2	0.5	1.0	0	0.0
FLOOR DRAIN	3	0.0	0.0	2	6.0
TOTAL FIXTURE UNITS		19.5			25.0
EQUIVALENT/EQUIVALENT WATER DEMAND IN GPM ²		19.2			
OTHER REQUIRED WATER OUTLETS IN GPM		0.0			
TOTAL WATER DEMAND IN GPM		19.2			
REQUIRED MINIMUM PIPE SIZE ³			1"		3"

1. FIXTURE UNITS ARE BASED ON 2018UPC TABLE 610.3 FOR WATER AND TABLE 702.1 FOR DRAINAGE
 2. THE SEPARATE COLD WATER AND HOT WATER FIXTURE UNITS ARE TAKEN AS THREE-QUARTER (3/4) OF TOTAL FIXTURE DEMAND, PER 2018 UPC TABLE 610.3 NOTE a.
 3. GPM EQUIVALENTS ARE BASED ON 2018 UPC TABLE E103.3(3)
 4. PIPE SIZE ARE BASED ON 2018 UPC CHART 610.4 AND E201.1 FOR WATER AND TABLE 710.1(1) AND TABLE C.5.3 FOR SEWER.

Gravity Grease Interceptor Sizing Calculation			
Drainage Fixture Unit Values (DFU)			
Fixture Type	QTY	DFU	Total
Commercial Sink/CS. with Food Waste	1	3	3.0
1 Compartment Sink	1	2	2.0
Service or Mop Sink	1	3	3.0
Dishwasher (domestic)	1	2	1.5
Floor Drain	1	2	2.0
Total Drainage Fixture Units		11.5	
Minimum Required Gravity Grease Interceptor Size: (gallons)		500 ₂	
Provided Interceptor Size: (gallons)		500.0	
REQUIRED MINIMUM PIPE SIZE ⁴		4"	

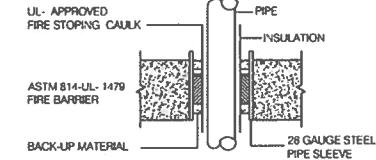
1. Drainage Fixture Unit Values (DFUs) are derived from the 2018 Uniform Plumbing Code, Tables 702.1, 702.2(a), and 702.2(b).
 2. Gravity Grease Interceptor Sizing derived from the 2018 Uniform Plumbing Code, Table 1014.3.6 and is based on a 30-minute retention time.
 For SI units: 1 gallon = 3.785 L

TABLE 1014.3.6 GRAVITY GREASE INTERCEPTOR SIZING	
DRAINAGE FIXTURE UNITS ^{1,2} (DFUs)	INTERCEPTOR VOLUME ³ (gallons)
8	500
21	750
35	1000
90	1250
172	1500
216	2000
307	2500
342	3000
428	4000
576	5000
720	7500
2112	10 000
2640	15 000

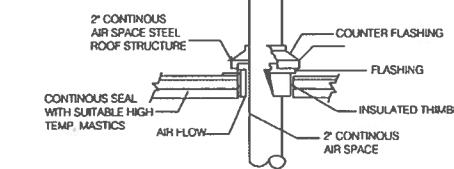
MINIMUM SLOPE FOR GRAVITY DRAINAGE PIPING:
 1/4" PER FT 2'
 1/8" PER FT 3'
 1/8" PER FT 4"

DRAWING LEGEND

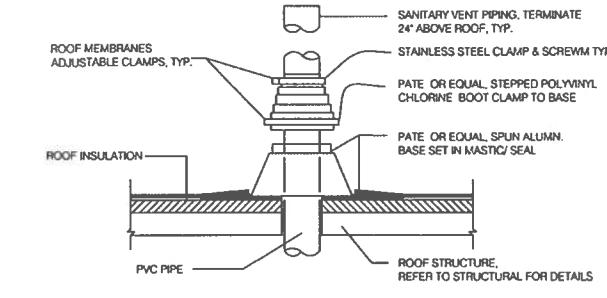
DESCRIPTION	LINE SYMBOL
SANITARY LINE	S
VENT PIPING	—
FLOOR/HUB DRAIN	FD/HD
HOT WATER SUPPLY	—
COLD WATER SUPPLY	—
LPG LINE	GAS GAS GAS
GREASE LINE	—
CLEAN OUT	CO
WATER METER	M
WATER SHUTOFF VALVE	—
GAS SHUTOFF VALVE	—
HOT WATER TEMPERATURE CONTROL VALVE	—



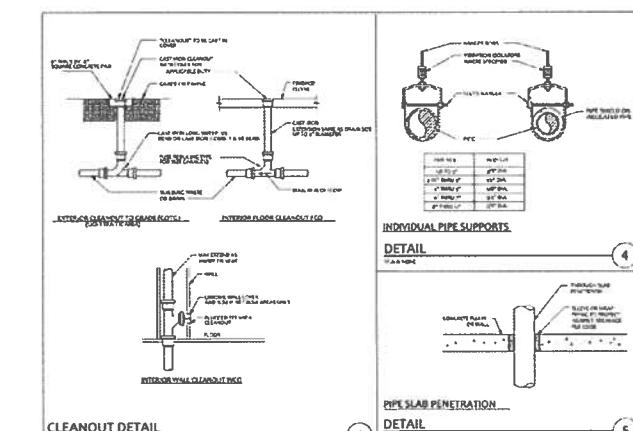
FLOOR PENETRATION DETAIL
NOT TO SCALE



DETAIL OF VENT PIPE PASSING THRU ROOF
NOT TO SCALE

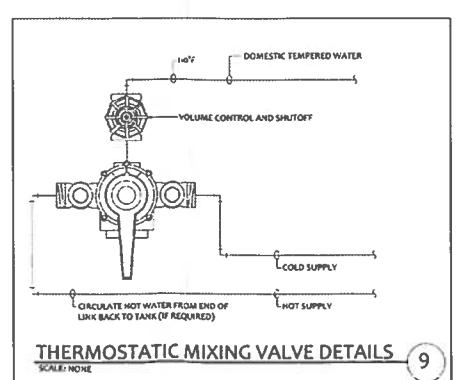


SANITARY VENT THRU DETAIL
NOT TO SCALE

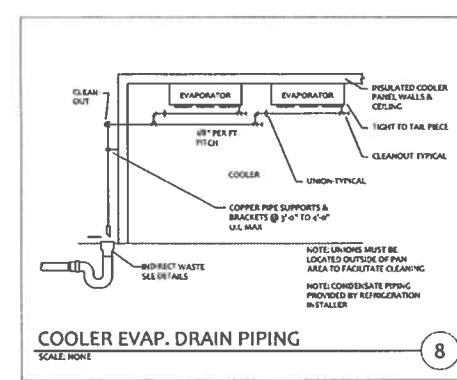


INDIVIDUAL PIPE SUPPORTS
DETAIL 4

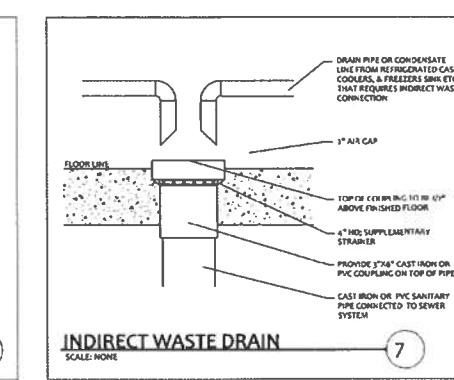
PIPE SLAB PENETRATION
DETAIL 5



THERMOSTATIC MIXING VALVE DETAILS 9



COOLER EVAP. DRAIN PIPING 8

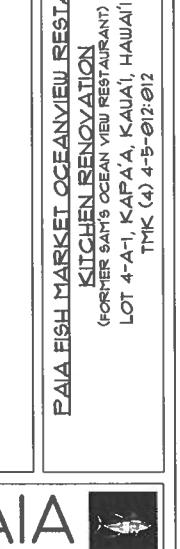


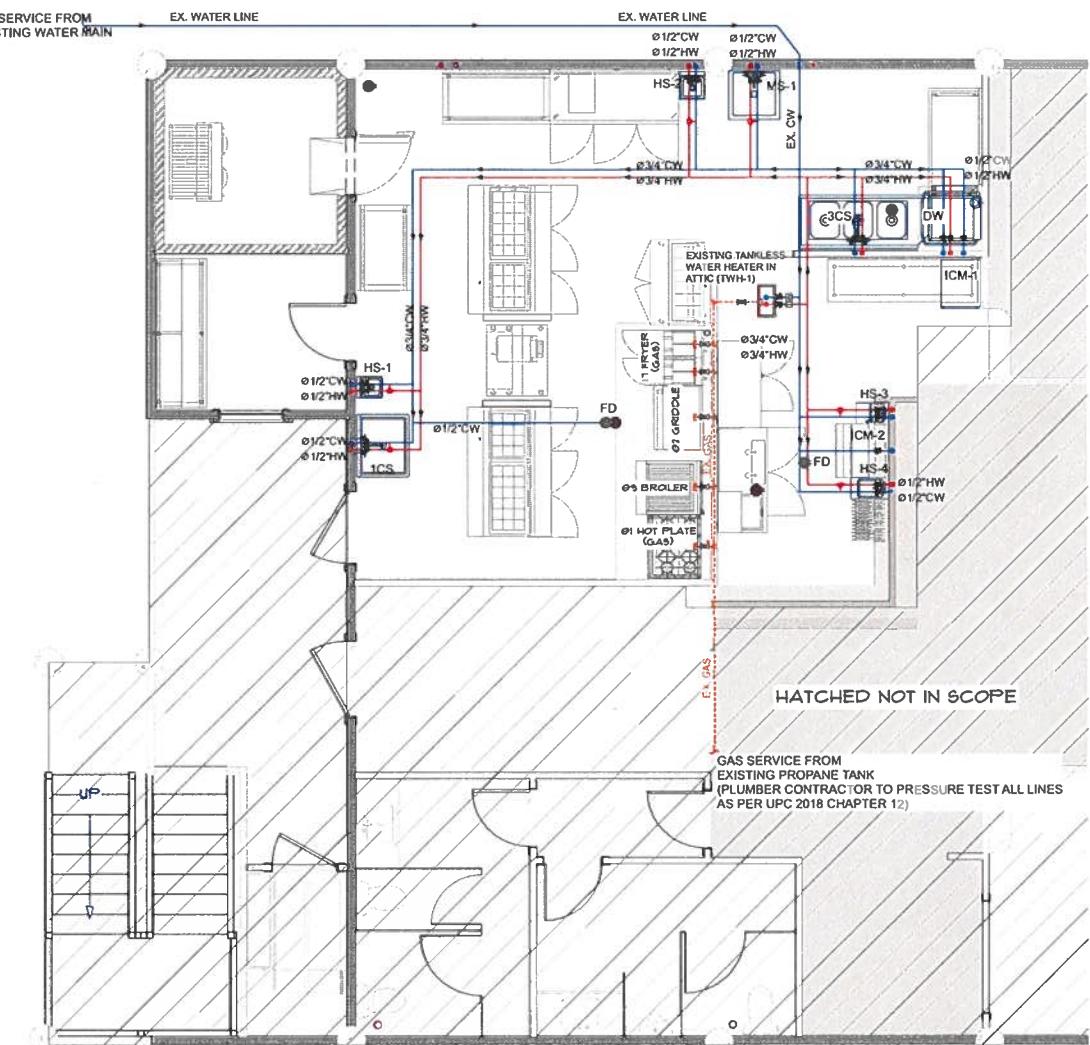
INDIRECT WASTE DRAIN 7

PLUMBING GENERAL NOTES

KITCHEN RENOVATION
(FORMER SAM'S OCEAN VIEW RESTAURANT)
LOT 4-A-1 KAPAA, KAUAI, HAWAII
T.M.C. (4) 4-5-012/012

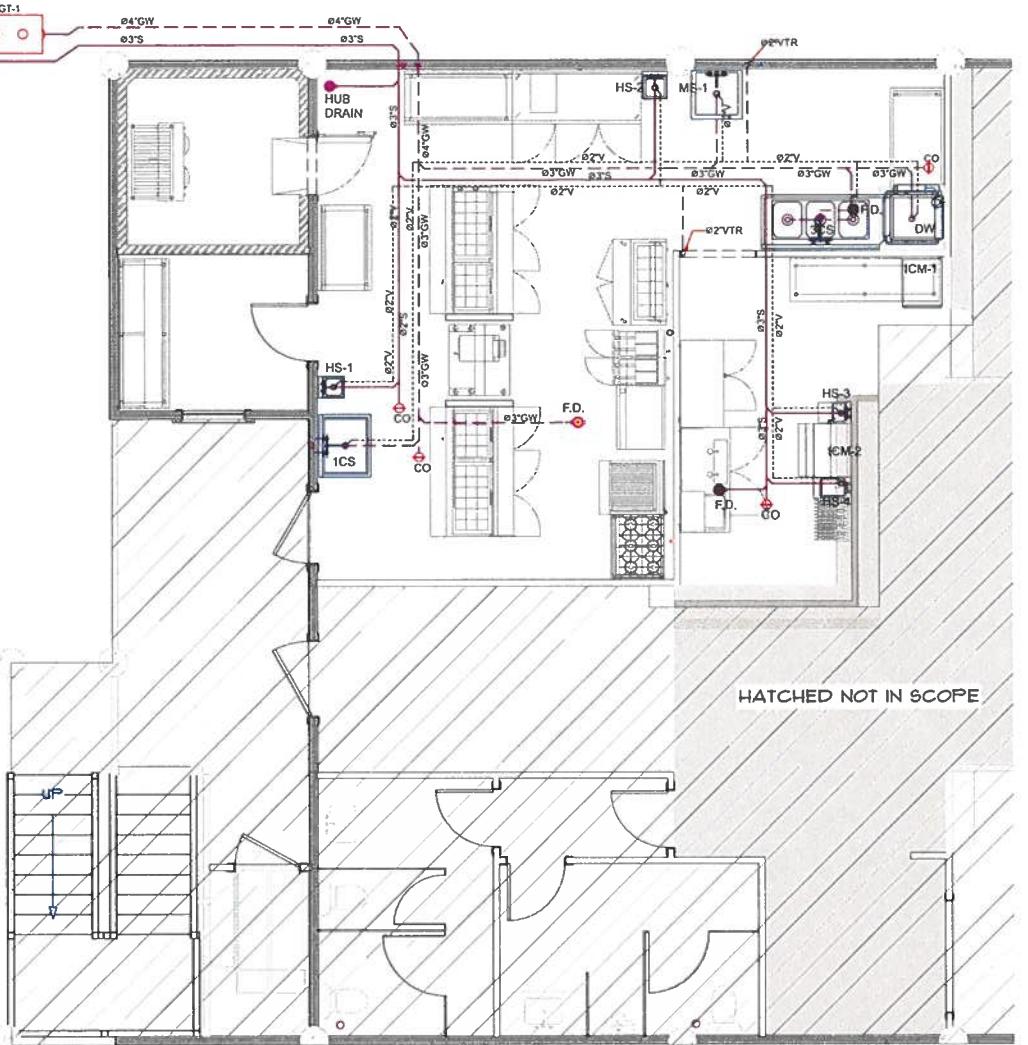
PAIA
FISHMARKET
OCEAN VIEW
PAIA, HI
12/23/2024
P01





1 WATER AND GAS SUPPLY FLOOR PLAN
SCALE 1/4":1'-0"

SCALE 1/4":1'-0"



② SANITARY AND GREASE LINES FLOOR PLAN

SCALE 1/4":1'-0"



WATER SUPPLY FIXTURE UNITS (WSFU) 2018 UPC (Table 610.3)					
Fixture	FU	Exist	New	Total Qty	Σ FU
Water Closet 1.6 GPF Tank	2.5		3		3
Urinal 1.0 GPF Tank	2		1		1
Lavatory	1		2		2
1 Comp Sink	1.5		1		1
Hand Sink	1		3	1	4
Mop Basin	1.5		1		1
3 Comp Sink	1.5		1		1
Dishwasher	1.5		1		1
Drinking Water Connect (Ice + Soda)	0.5		1	1	2
Hose Bib 1st	2.5		1		1
Hose Bib 2nd	1		1		1
TOTAL FIXTURE UNITS					26

Fixture Schedule							
Item	Fixture	Cold Water	Hot Water	Waste	Vent	Storm Drain	Description
 1	WATER CLOSET	3/4"	-	3"	2"	-	1.6 GALLONS / FLUSH SELECTION TBD BY OWNER.
 1	LAVATORY	1/2"	1/2"	2"	1-1/2"	-	0.5 GPM, SELECTION TBD BY OWNER
 3	3 COMPARTMENT SINK	3/4"	3/4"	2"	2"	-	1.8 GPM, SELECTION TBD BY OWNER
 1	1 COMPARTMENT SINK	1/2"	1/2"	2"	1-1/2"	-	2.2 GPM, SELECTION TBD BY OWNER
 1	MOP SINK	1/2"	1/2"	2"	1-1/2"	-	2.2 GPM @60 PSI SELECTION TBD BY OWNER.
 1	HAND SINK	1/2"	1/2"	2"	1-1/2"	-	2.2 GPM @60 PSI SELECTION TBD BY OWNER.
 DW	DISHWASHER	3/4"	1/2"	2"	1-1/2"	-	2.2 GPM @60 PSI SELECTION TBD BY OWNER.
 ICM	ICE MACHINE/MAKER	1/4"	-	-	-	-	CONNECT WITH BACKFLOW VALVE

NOTE:
EXISTING CONDITION SHOWN ON DRAWINGS ARE BASED ON
BEST AVAILABLE SOURCES AND MAY DIFFER FROM ACTUAL
CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL
DIMENSIONS AND ELEVATIONS OF EXISTING STRUCTURE AND
SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND
INTERFERENCE BEFORE PROCEEDING WITH THE WORK.

NOTES
THE CONTRACTOR TO VERIFY THE EXACT LOCATION
IN FIELD OF WATER, SEWER AND GAS LINE.

PLUMBING PLAN

KAIA FISH MARKET OCEANVIEW RESTAURANT
KITCHEN RENOVATION
(Former Sam's Ocean View Restaurant)
LOT 4-A-1, KAPAA, KAUAI, HAWAII
TRIC (4) 4-5-012012

PAIA FISHMARKET

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P02

